

# 915 AUSTIN AVE NE RENOVATION

915 AUSTIN AVE NE  
ATLANTA, GA 30307

SUBMITTAL FOR TYPE III



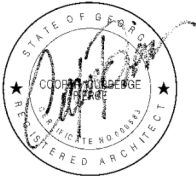
## KEY PLAN

## KEYNOTE LEGEND

### DRAWING LIST

- A0.0 - COVER SHEET
- A0.1 - SITE PLAN
- A0.2 - COMPATABILITY
- A0.3 - DEMOLITION PLAN
- A0.4 - AS-BUILT/DEMOLITION ELEVATIONS
- A1.1 - LEVEL 1 PLAN
- A1.2 - LEVEL 2 PLAN
- A1.3 - ROOF PLAN
- A2.1 - PROPOSED EXTERIOR ELEVATIONS
- A2.2 - PROPOSED EXTERIOR ELEVATIONS
- A3.1 - DETAILS

01	HP TYPE III SUBMISSION	06/22/2021
No.	REVISIONS/SUBMISSIONS	Date



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## COVER SHEET

Project No.	21056	Drawing No.	
Date	06/22/2021	Scale	1/4"=1'-0"

A0.0

H. P. SUBMISSION

ROGER HORNER HOUSE RENOVATION

915 AUSTIN AVE NE, ATLANTA, GA 30307

JONES PIERCE  
400 PLASTER AVENUE, SUITE 225, ATLANTA, GEORGIA 30324 :: 404.688.1050 ::

# SURVEYOR'S CERTIFICATION

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.



*Virgil F. Gaddy, Jr.* 5/28/21  
Virgil F. Gaddy, Jr., GA PLS # 2667 DATE

THIS BLOCK RESERVED FOR THE CLERK  
OF THE SUPERIOR COURT

## LEGEND

IPS	IRON PIN SET (1/2" REBAR)
RBF	REBAR FOUND
CTF	CRIMP TOP FOUND
OTF	OPEN TOP FOUND
JB	JUNCTION BOX
RAW	RIGHT-OF-WAY
B.L.	BUILDING LINE
P	PROPERTY LINE
CB	CATCH BASIN
HW	HEADWALL
SSMH	SEWER MANHOLE
-X-	FENCE
L.L.L.	LAND LOT LINE
OLL	ORIGINAL LOT LINE
D.E.	DRAINAGE EASMT.
S.E.	SEWER EASMT.
U.E.	UTILITY EASMT.
C.L.	CHAIN LINK
PP	POWER POLE
DI	DROP INLET
LP	LIGHT POLE
EP	EDGE OF PAVEMENT
C	CENTERLINE

MAGNETIC NORTH

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 26,538 FEET AND AN ANGULAR ERROR OF 1" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,459 FEET.

A LEICA TS13 03" R500 TOTAL STATION WAS USED TO OBTAIN ANGULAR AND LINEAR MEASUREMENTS.

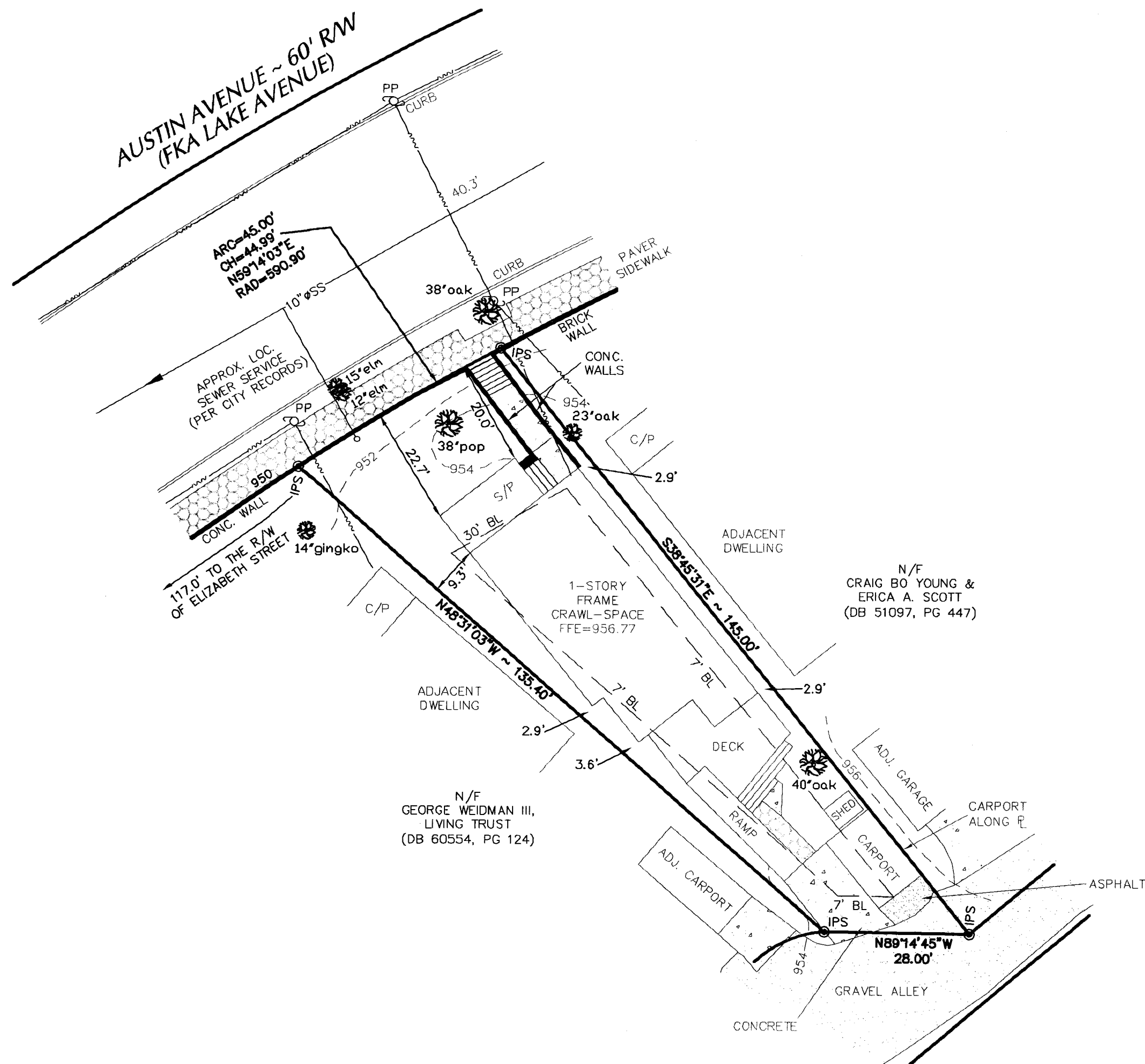
TOPOGRAPHIC DATUM BASED ON CITY OF ATLANTA G.I.S. DEPARTMENT MAPS.

THIS PROPERTY IS NOT LOCATED INSIDE A DESIGNATED F.I.A. SPECIAL FLOOD HAZARD AREA AS PER FULTON COUNTY FLOOD INSURANCE RATE MAP #13121C0263G, EFFECTIVE DATE: 09-18-2013; HOWEVER, A SHADED FLOOD ZONE "X" EXISTS IMMEDIATELY ADJACENT TO THE SUBJECT PROPERTY ALONG THE "ALLEY".

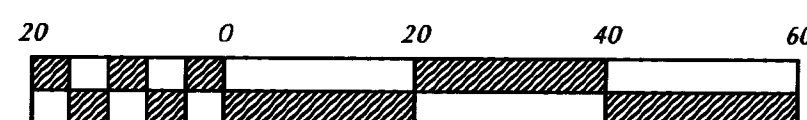
AREA = 0.10 ACRE

PROPERTY ZONED R-5 (CITY OF ATLANTA) (INMAN PARK OVERLAY DISTRICT)

SETBACKS SHOWN HEREON ARE BASED ON CITY OF ATLANTA ZONING REQUIREMENTS AND ARE SUBJECT TO APPROVAL BY CITY OF ATLANTA DEPARTMENT OF PLANNING.



## GRAPHIC SCALE



1 INCH = 20 FEET

PROJECT NUMBER  
HBC-21-014

BY FIELD DRAWING  
PJB 5-24-21 5-28-21

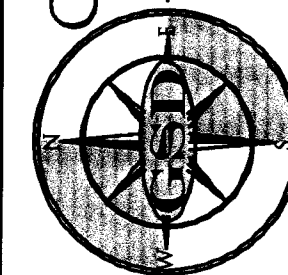
TOPOGRAPHIC SURVEY FOR:  
HORNER HOMES, INC.

#915 AUSTIN AVENUE  
LOT 5 & PART OF LOT 4  
COPENHILL SUBDIVISION  
(PLAT BOOK 6, PAGE 196)  
LAND LOT 14 ~ 14TH DISTRICT

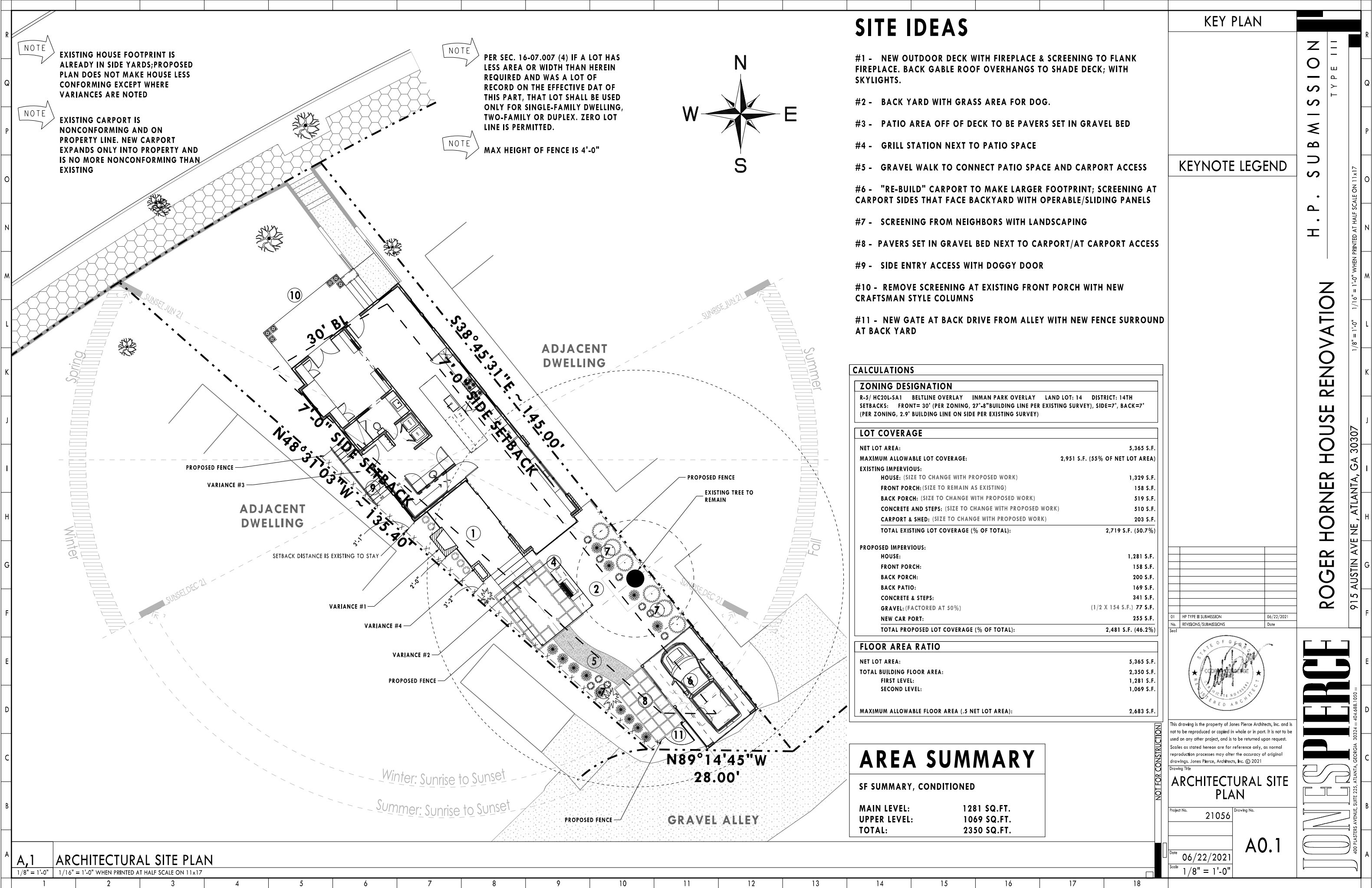
CITY OF ATLANTA ~ FULTON COUNTY, GEORGIA

GADDY SURVEYING  
& DESIGN, INC.

1215 PLEASANT HILL ROAD  
LAWRENCEVILLE, GEORGIA 30044  
PHONE - (770) 931-5920  
FAX - (770) 931-5903



L.S. CERTIFICATE OF AUTHORIZATION #LS001014  
P.E. CERTIFICATE OF AUTHORIZATION #PE0005450



## SITE IDEAS

- #1 - NEW OUTDOOR DECK WITH FIREPLACE & SCREENING TO FLANK FIREPLACE. BACK GABLE ROOF OVERHANGS TO SHADE DECK; WITH SKYLIGHTS.
- #2 - BACK YARD WITH GRASS AREA FOR DOG.
- #3 - PATIO AREA OFF OF DECK TO BE PAVERS SET IN GRAVEL BED
- #4 - GRILL STATION NEXT TO PATIO SPACE
- #5 - GRAVEL WALK TO CONNECT PATIO SPACE AND CARPORT ACCESS
- #6 - "RE-BUILD" CARPORT TO MAKE LARGER FOOTPRINT; SCREENING AT CARPORT SIDES THAT FACE BACKYARD WITH OPERABLE/SLIDING PANELS
- #7 - SCREENING FROM NEIGHBORS WITH LANDSCAPING
- #8 - PAVERS SET IN GRAVEL BED NEXT TO CARPORT/AT CARPORT ACCESS
- #9 - SIDE ENTRY ACCESS WITH DOGGY DOOR
- #10 - REMOVE SCREENING AT EXISTING FRONT PORCH WITH NEW CRAFTSMAN STYLE COLUMNS
- #11 - NEW GATE AT BACK DRIVE FROM ALLEY WITH NEW FENCE SURROUND AT BACK YARD

### CALCULATIONS

ZONING DESIGNATION	
R-5/ HC20L-SA1 BELTLINE OVERLAY INMAN PARK OVERLAY LAND LOT: 14 DISTRICT: 14TH	
SETBACKS: FRONT= 30' (PER ZONING, 27'-8"BUILDING LINE PER EXISTING SURVEY), SIDE=7', BACK=7' (PER ZONING, 2.9' BUILDING LINE ON SIDE PER EXISTING SURVEY)	
LOT COVERAGE	
NET LOT AREA:	5,365 S.F.
MAXIMUM ALLOWABLE LOT COVERAGE:	2,951 S.F. (55% OF NET LOT AREA)
EXISTING IMPERVIOUS:	
HOUSE: (SIZE TO CHANGE WITH PROPOSED WORK)	1,329 S.F.
FRONT PORCH: (SIZE TO REMAIN AS EXISTING)	158 S.F.
BACK PORCH: (SIZE TO CHANGE WITH PROPOSED WORK)	519 S.F.
CONCRETE AND STEPS: (SIZE TO CHANGE WITH PROPOSED WORK)	510 S.F.
CARPORT & SHED: (SIZE TO CHANGE WITH PROPOSED WORK)	203 S.F.
TOTAL EXISTING LOT COVERAGE (% OF TOTAL):	2,719 S.F. (50.7%)
PROPOSED IMPERVIOUS:	
HOUSE:	1,281 S.F.
FRONT PORCH:	158 S.F.
BACK PORCH:	200 S.F.
BACK PATIO:	169 S.F.
CONCRETE & STEPS:	341 S.F.
GRAVEL: (FACTORED AT 50%)	(1/2 X 154 S.F.) 77 S.F.
NEW CAR PORT:	255 S.F.
TOTAL PROPOSED LOT COVERAGE (% OF TOTAL):	2,481 S.F. (46.2%)

FLOOR AREA RATIO	
NET LOT AREA:	5,365 S.F.
TOTAL BUILDING FLOOR AREA:	2,350 S.F.
FIRST LEVEL:	1,281 S.F.
SECOND LEVEL:	1,069 S.F.
MAXIMUM ALLOWABLE FLOOR AREA (.5 NET LOT AREA):	2,683 S.F.

## AREA SUMMARY

SF SUMMARY, CONDITIONED	
MAIN LEVEL:	1281 SQ.FT.
UPPER LEVEL:	1069 SQ.FT.
TOTAL:	2350 SQ.FT.

### KEY PLAN

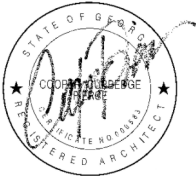
### KEYNOTE LEGEND

H.P. SUBMISSION  
TYPE III

ROGER HORNER HOUSE RENOVATION

915 AUSTIN AVENUE NE, ATLANTA, GA 30307

JONES PIERCE  
400 PLASTERS AVENUE, SUITE 225, ATLANTA, GEORGIA 30324 :: 404.688.1050 ::



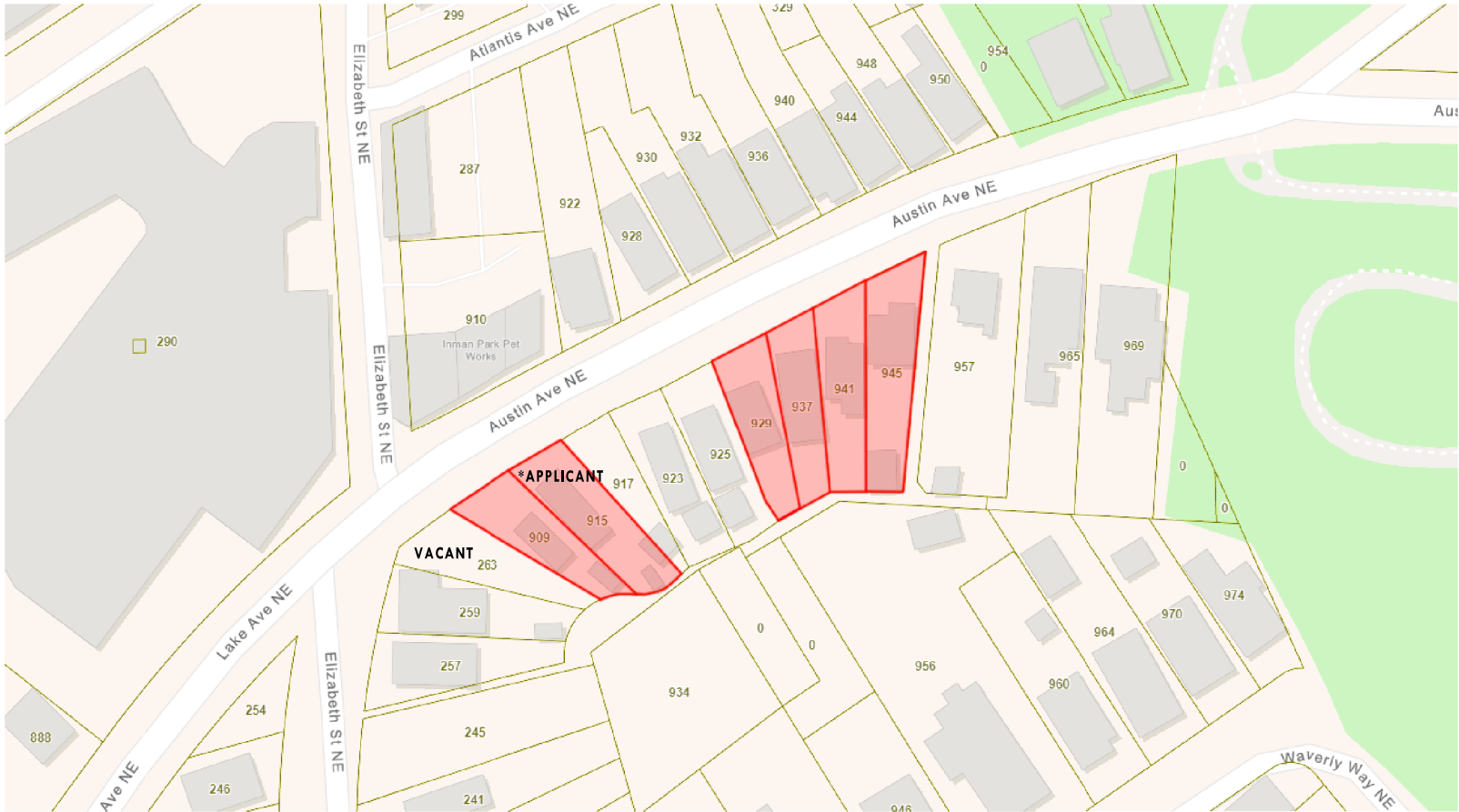
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### ARCHITECTURAL SITE PLAN

Project No.	21056	Drawing No.	
Date	06/22/2021	Scale	1/8" = 1'-0"

A0.1





 - CONTRIBUTING STRUCTURES ON BLOCK FACE ACCORDING TO INMAN PARK DESIGN GUIDELINES PG. 7

CONTRIBUTING STRUCTURES				
Lots	Description	Res. Sq Ft.	Roof Form/Type	Style/Form (Front Elevation)
909 Austin Ave NE	One-story residence with wood siding on brick base. Built in 1920. Craftsman Style. Accessory structure in rear.	832	Gable Roof in Front elevation and hip roof in rear.	Front porch is 2/3rds of front elevation merging with gable roof. Craftsman columns supporting porch. Little detailing besides windows.
915 Austin Ave NE *Applicant	One-story residence with vinyl siding and 5" reveal on brick base. Built in 1928. Accessory structure in rear.	1066	Gable roof in front elevation with hip roof in rear.	Screened front porch with no detailed columns. Brackets semi-hidden under fascia. Detail band under gable and band board below finished floor of porch only.
929 Austin Ave NE	One-story residence with wood siding on brick base. Built in 1920. Craftsman style.	1615	Gable roof over porch into hip roof.	Front porch is 2/3rds front elevation. Typical craftsman man detail band at bottom of gable. Typical craftsman detailed columns, railing, and openings. Detailed vent facing street. Band board at bottom of porch and main structure.
937 Austin Ave NE	Two-story residence with wood siding on brick base. Built in 1920. Style altered.	3204	Gable roof	Two story porch. Ground porch is full elevation and top porch is two-thirds of elevation. Detailing is not a consistent style.
941 Austin Ave NE	One-story residence with wood siding on granite foundation. Cottage style. Built in 1928.	1250	Cross gable roof with high pitch.	Porch with shallow pitch shed roof and granite chimney on front wall. Porch is 2/3 <sup>rd</sup> of front elevation. Detailing of porch is modern metal railing. Openings are typical craftsman details.
945 Austin Ave NE	One-story residence with wood siding on brick base. Craftsman style. Accessory structure in rear. Built in 1925.	960	Gable roof over porch into hip roof.	Screened in porch with gable roof. Porch is 2/3 <sup>rd</sup> elevation. Craftsman style column with brick base. Band board around porch only. Craftsman style openings.

KEY PLAN

KEYNOTE LEGEND

H. P. SUBMISSION

TYPE III

ROGER HORNER HOUSE RENOVATION

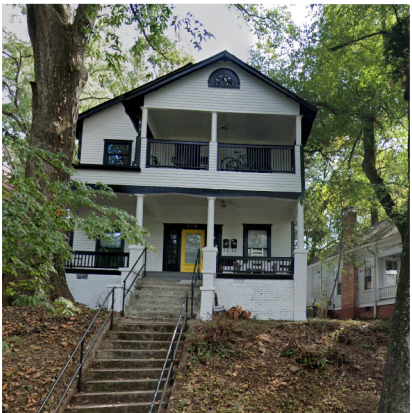
915 AUSTIN AVE NE, ATLANTA, GA 30307



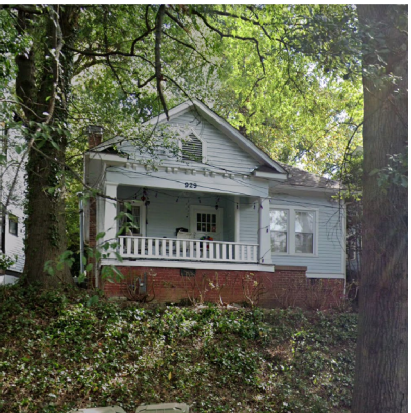
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941



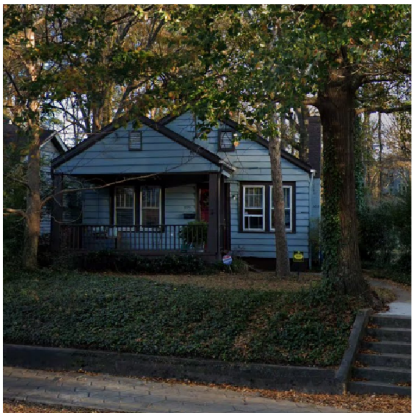
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929



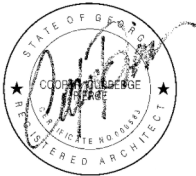
915



909

\*APPLICANT

NOT FOR CONSTRUCTION



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COMPATABILITY

Project No. 21056

Drawing No.

Date 06/22/2021

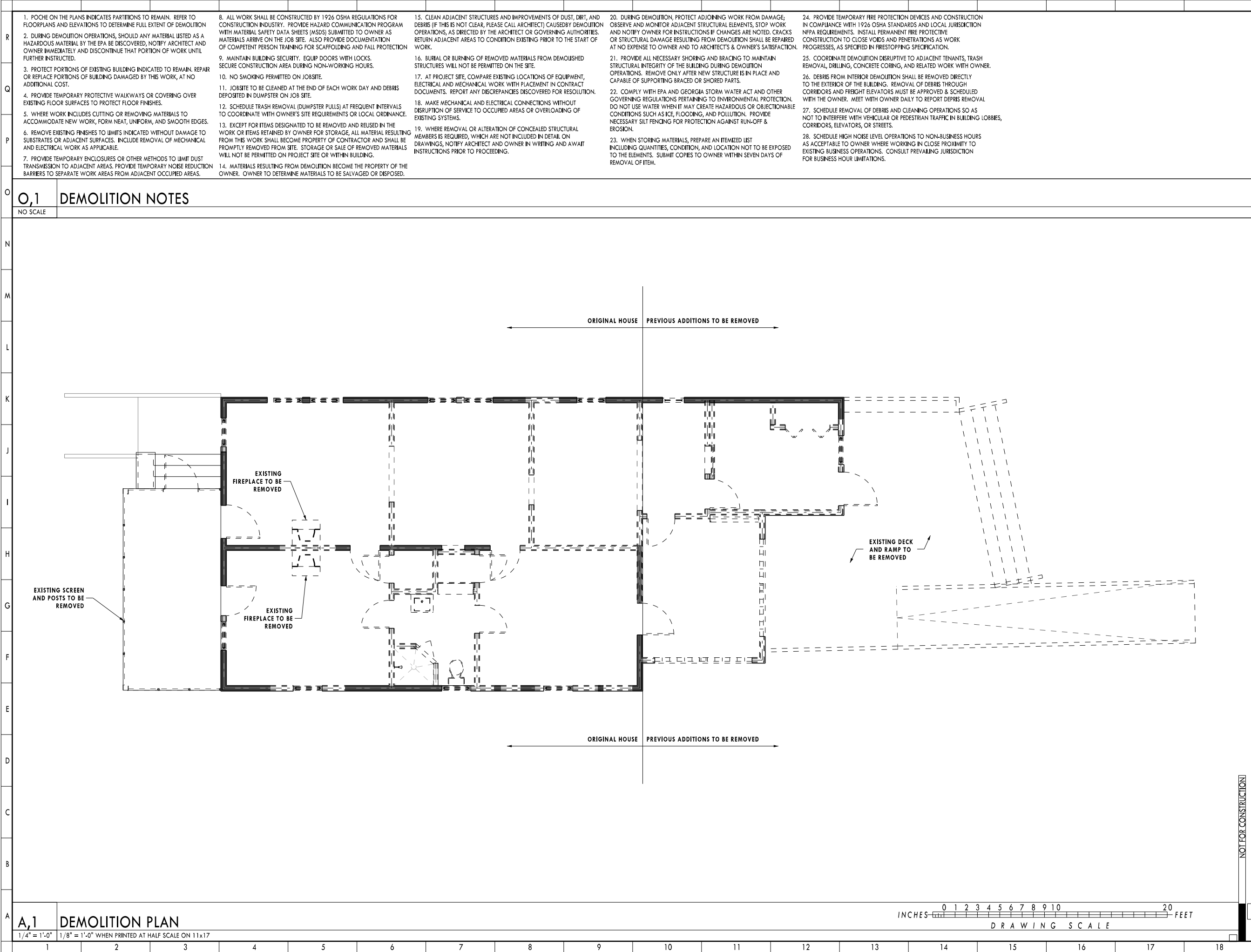
Scale VARIES

A0.2

JONES PIERCE

400 PLASTERS AVENUE, SUITE 225, ATLANTA, GEORGIA 30324 :: 404.688.1050 ::





1. POGE ON THE PLANS INDICATES PARTITIONS TO REMAIN. REFER TO FLOORPLANS AND ELEVATIONS TO DETERMINE FULL EXTENT OF DEMOLITION

2. DURING DEMOLITION OPERATIONS, SHOULD ANY MATERIAL LISTED AS A HAZARDOUS MATERIAL BY THE EPA BE DISCOVERED, NOTIFY ARCHITECT AND OWNER IMMEDIATELY AND DISCONTINUE THAT PORTION OF WORK UNTIL FURTHER INSTRUCTED.

3. PROTECT PORTIONS OF EXISTING BUILDING INDICATED TO REMAIN. REPAIR OR REPLACE PORTIONS OF BUILDING DAMAGED BY THIS WORK, AT NO ADDITIONAL COST.

4. PROVIDE TEMPORARY PROTECTIVE WALKWAYS OR COVERING OVER EXISTING FLOOR SURFACES TO PROTECT FLOOR FINISHES.

5. WHERE WORK INCLUDES CUTTING OR REMOVING MATERIALS TO ACCOMMODATE NEW WORK, FORM NEAT, UNIFORM, AND SMOOTH EDGES.

6. REMOVE EXISTING FINISHES TO LIMITS INDICATED WITHOUT DAMAGE TO SUBSTRATES OR ADJACENT SURFACES. INCLUDE REMOVAL OF MECHANICAL AND ELECTRICAL WORK AS APPLICABLE.

7. PROVIDE TEMPORARY ENCLOSURES OR OTHER METHODS TO LIMIT DUST TRANSMISSION TO ADJACENT AREAS. PROVIDE TEMPORARY NOISE REDUCTION BARRIERS TO SEPARATE WORK AREAS FROM ADJACENT OCCUPIED AREAS.
8. ALL WORK SHALL BE CONSTRUCTED BY 1926 OSHA REGULATIONS FOR CONSTRUCTION INDUSTRY. PROVIDE HAZARD COMMUNICATION PROGRAM WITH MATERIAL SAFETY DATA SHEETS (MSDS) SUBMITTED TO OWNER AS MATERIALS ARRIVE ON THE JOB SITE. ALSO PROVIDE DOCUMENTATION OF COMPETENT PERSON TRAINING FOR SCAFFOLDING AND FALL PROTECTION

9. MAINTAIN BUILDING SECURITY. EQUIP DOORS WITH LOCKS. SECURE CONSTRUCTION AREA DURING NON-WORKING HOURS.

10. NO SMOKING PERMITTED ON JOBSITE.

11. JOBSITE TO BE CLEANED AT THE END OF EACH WORK DAY AND DEBRIS DEPOSITED IN DUMPSTER ON JOB SITE.

12. SCHEDULE TRASH REMOVAL (DUMPSTER PULLS) AT FREQUENT INTERVALS TO COORDINATE WITH OWNER'S SITE REQUIREMENTS OR LOCAL ORDINANCE.

13. EXCEPT FOR ITEMS DESIGNATED TO BE REMOVED AND REUSED IN THE WORK OR ITEMS RETAINED BY OWNER FOR STORAGE, ALL MATERIAL RESULTING FROM THIS WORK SHALL BECOME PROPERTY OF CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM SITE. STORAGE OR SALE OF REMOVED MATERIALS WILL NOT BE PERMITTED ON PROJECT SITE OR WITHIN BUILDING.

14. MATERIALS RESULTING FROM DEMOLITION BECOME THE PROPERTY OF THE OWNER. OWNER TO DETERMINE MATERIALS TO BE SALVAGED OR DISPOSED.
15. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS (IF THIS IS NOT CLEAR, PLEASE CALL ARCHITECT) CAUSED BY DEMOLITION OPERATIONS, AS DIRECTED BY THE ARCHITECT OR GOVERNING AUTHORITIES. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO THE START OF WORK.

16. BURIAL OR BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON THE SITE.

17. AT PROJECT SITE, COMPARE EXISTING LOCATIONS OF EQUIPMENT, ELECTRICAL AND MECHANICAL WORK WITH PLACEMENT IN CONTRACT DOCUMENTS. REPORT ANY DISCREPANCIES DISCOVERED FOR RESOLUTION.

18. MAKE MECHANICAL AND ELECTRICAL CONNECTIONS WITHOUT DISRUPTION OF SERVICE TO OCCUPIED AREAS OR OVERLOADING OF EXISTING SYSTEMS.

19. WHERE REMOVAL OR ALTERATION OF CONCEALED STRUCTURAL MEMBERS IS REQUIRED, WHICH ARE NOT INCLUDED IN DETAIL ON DRAWINGS, NOTIFY ARCHITECT AND OWNER IN WRITING AND AWAIT INSTRUCTIONS PRIOR TO PROCEEDING.
20. DURING DEMOLITION, PROTECT ADJOINING WORK FROM DAMAGE; OBSERVE AND MONITOR ADJACENT STRUCTURAL ELEMENTS, STOP WORK AND NOTIFY OWNER FOR INSTRUCTIONS IF CHANGES ARE NOTED. CRACKS OR STRUCTURAL DAMAGE RESULTING FROM DEMOLITION SHALL BE REPAIRED AT NO EXPENSE TO OWNER AND TO ARCHITECT'S & OWNER'S SATISFACTION.

21. PROVIDE ALL NECESSARY SHORING AND BRACING TO MAINTAIN STRUCTURAL INTEGRITY OF THE BUILDING DURING DEMOLITION OPERATIONS. REMOVE ONLY AFTER NEW STRUCTURE IS IN PLACE AND CAPABLE OF SUPPORTING BRACED OR SHORED PARTS.

22. COMPLY WITH EPA AND GEORGIA STORM WATER ACT AND OTHER GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING, AND POLLUTION. PROVIDE NECESSARY SILT FENCING FOR PROTECTION AGAINST RUN-OFF & EROSION.

23. WHEN STORING MATERIALS, PREPARE AN ITEMIZED LIST INCLUDING QUANTITIES, CONDITION, AND LOCATION NOT TO BE EXPOSED TO THE ELEMENTS. SUBMIT COPIES TO OWNER WITHIN SEVEN DAYS OF REMOVAL OF ITEM.
24. PROVIDE TEMPORARY FIRE PROTECTION DEVICES AND CONSTRUCTION IN COMPLIANCE WITH 1926 OSHA STANDARDS AND LOCAL JURISDICTION NFPA REQUIREMENTS. INSTALL PERMANENT FIRE PROTECTIVE CONSTRUCTION TO CLOSE VOIDS AND PENETRATIONS AS WORK PROGRESSES, AS SPECIFIED IN FIRESTOPPING SPECIFICATION.

25. COORDINATE DEMOLITION DISRUPTIVE TO ADJACENT TENANTS, TRASH REMOVAL, DRILLING, CONCRETE CORING, AND RELATED WORK WITH OWNER.

26. DEBRIS FROM INTERIOR DEMOLITION SHALL BE REMOVED DIRECTLY TO THE EXTERIOR OF THE BUILDING. REMOVAL OF DEBRIS THROUGH CORRIDORS AND FREIGHT ELEVATORS MUST BE APPROVED & SCHEDULED WITH THE OWNER. MEET WITH OWNER DAILY TO REPORT DEBRIS REMOVAL

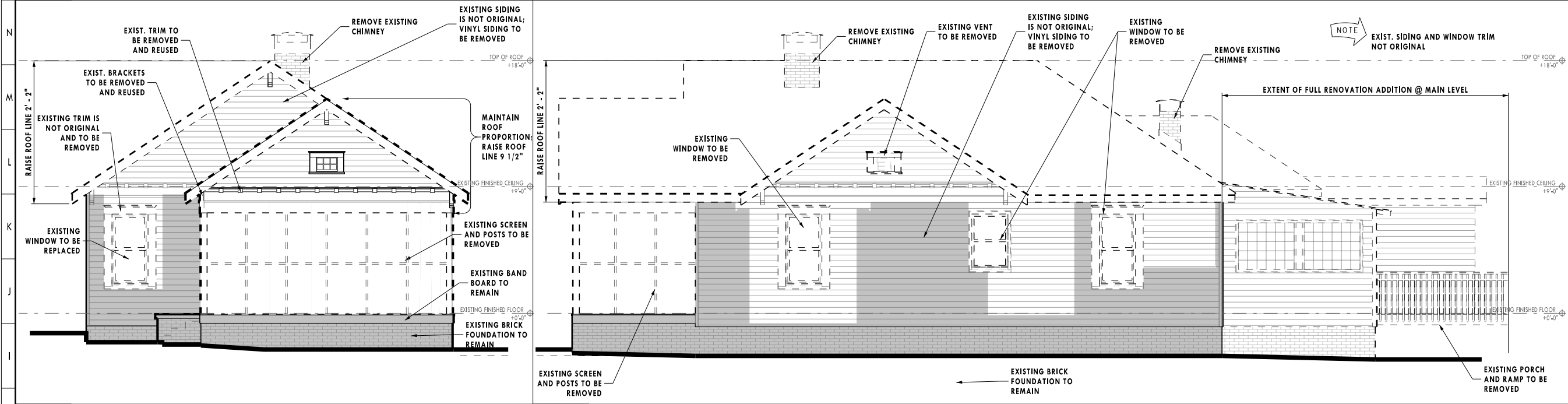
27. SCHEDULE REMOVAL OF DEBRIS AND CLEANING OPERATIONS SO AS NOT TO INTERFERE WITH VEHICULAR OR PEDESTRIAN TRAFFIC IN BUILDING LOBBIES, CORRIDORS, ELEVATORS, OR STREETS.

28. SCHEDULE HIGH NOISE LEVEL OPERATIONS TO NON-BUSINESS HOURS AS ACCEPTABLE TO OWNER WHERE WORKING IN CLOSE PROXIMITY TO EXISTING BUSINESS OPERATIONS. CONSULT PREVAILING JURISDICTION FOR BUSINESS HOUR LIMITATIONS.

O,1

DEMOLITION NOTES

NO SCALE



H,1

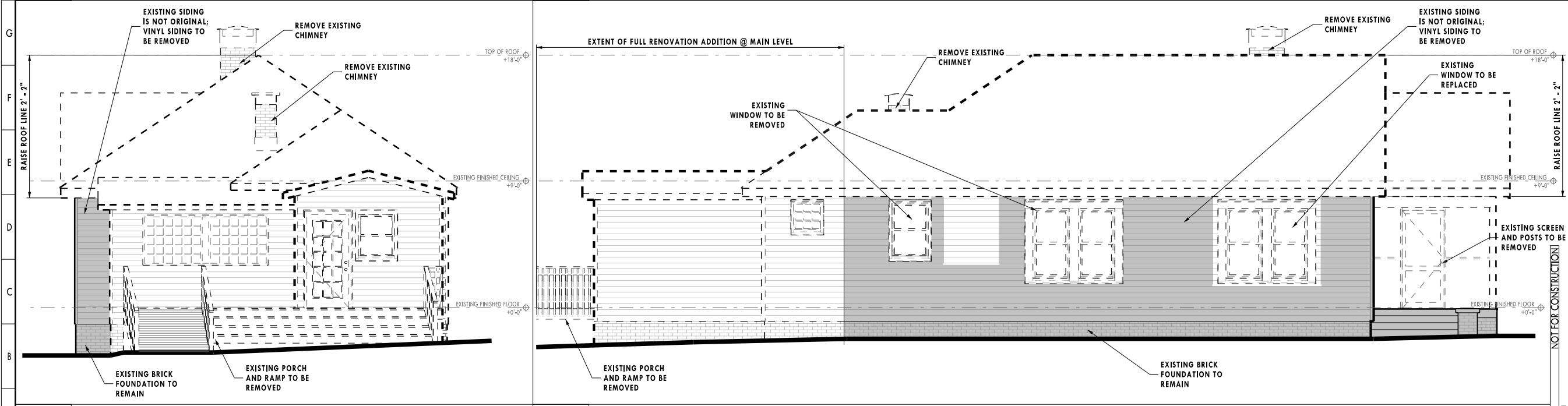
DEMOLITION ELEVATION - NORTH/FRONT SIDE

1/4" = 1'-0" 1/8" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

H,7

DEMOLITION ELEVATION - WEST/RIGHT SIDE

1/4" = 1'-0" 1/8" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



A,1

DEMOLITION ELEVATION - SOUTH/BACK SIDE

1/4" = 1'-0" 1/8" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

A,7

DEMOLITION ELEVATION - EAST/LEFT SIDE

1/4" = 1'-0" 1/8" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



KEY PLAN

KEYNOTE LEGEND

VIF = VERIFY IN FIELD

01

HP TYPE III SUBMISSION

06/22/2021

02

REVISIONS/SUBMISSIONS

Date

03

AS-BUILT/DEMOLITION ELEVATIONS

21056

04

AS-BUILT/DEMOLITION ELEVATIONS

21056

05

AS-BUILT/DEMOLITION ELEVATIONS

21056

06

AS-BUILT/DEMOLITION ELEVATIONS

21056

07

AS-BUILT/DEMOLITION ELEVATIONS

21056

08

AS-BUILT/DEMOLITION ELEVATIONS

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09

AS-BUILT/DEMOLITION ELEVATIONS

21056

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AS-BUILT/DEMOLITION ELEVATIONS

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AS-BUILT/DEMOLITION ELEVATIONS

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AS-BUILT/DEMOLITION ELEVATIONS

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AS-BUILT/DEMOLITION ELEVATIONS

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AS-BUILT/DEMOLITION ELEVATIONS

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AS-BUILT/DEMOLITION ELEVATIONS

21056

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AS-BUILT/DEMOLITION ELEVATIONS

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AS-BUILT/DEMOLITION ELEVATIONS

21056

18

AS-BUILT/DEMOLITION ELEVATIONS

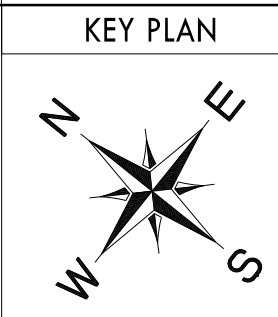
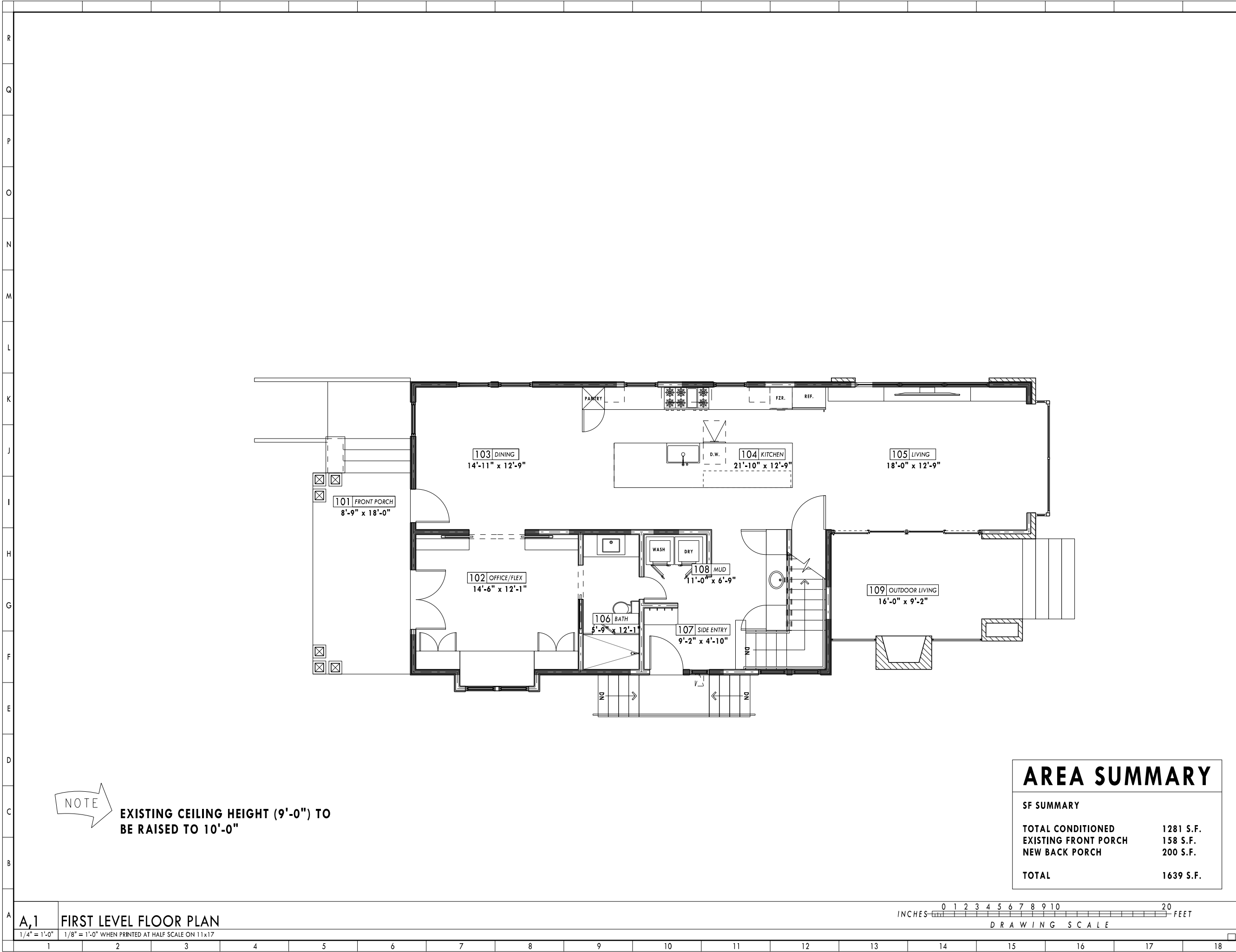
21056

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TYPE III

ROGER HORNER HOUSE RENOVATION

915 AUSTIN AVENUE NE, ATLANTA, GA 30307

JONES PIERCE  
400 PLASTER AVENUE, SUITE 222, ATLANTA, GEORGIA 30324 :: 404.688.1050 ::



### KEYNOTE LEGEND

#### WALL LEGEND

- EXISTING
- NEW EXTERIOR WITH SIDING
- NEW EXTERIOR WITH BRICK
- NEW INTERIOR

01	HP TYPE III SUBMISSION	06/22/2021
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Seal		

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Drawing Title

Project No. 21056

Date 06/22/2021

Scale 1/4" = 1'-0"

### LEVEL 1 PLAN

A1.1

### AREA SUMMARY

SF SUMMARY	
TOTAL CONDITIONED	1281 S.F.
EXISTING FRONT PORCH	158 S.F.
NEW BACK PORCH	200 S.F.
TOTAL	1639 S.F.

## KEY PLAN

## KEYNOTE LEGEND

## WALL LEGEND

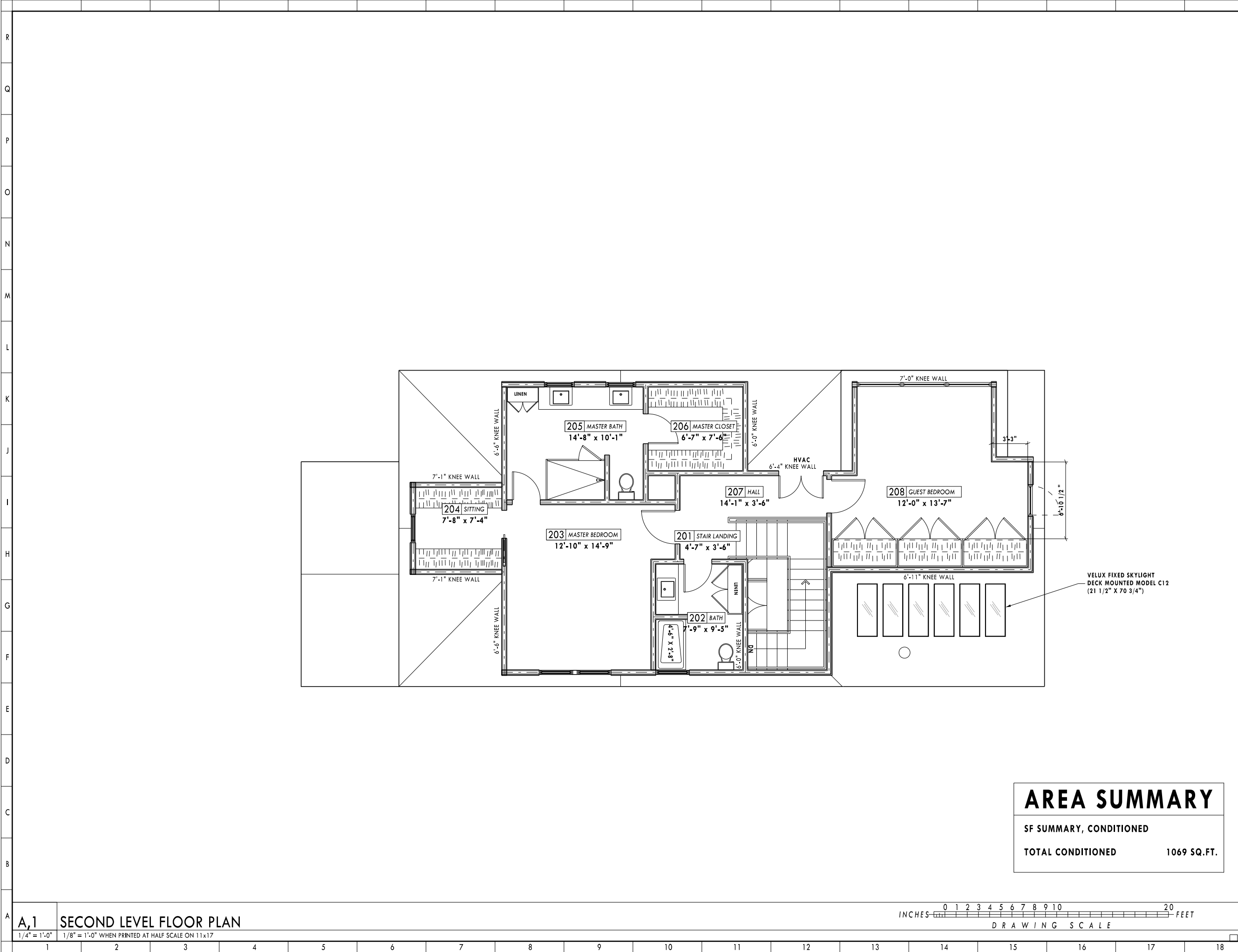
## HP TYPE III SUBMISSION

## ROGER HORNER HOUSE RENOVATION

## JONES PIERCE

400 PLASTERS AVENUE, SUITE 225, ATLANTA, GEORGIA 30324 :: 404.688.1050 ::





KEY PLAN

KEYNOTE LEGEND

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Project No. 21056

Date 06/22/2021

Scale 1/4" = 1'-0"

Drawing Title

LEVEL 2 PLAN

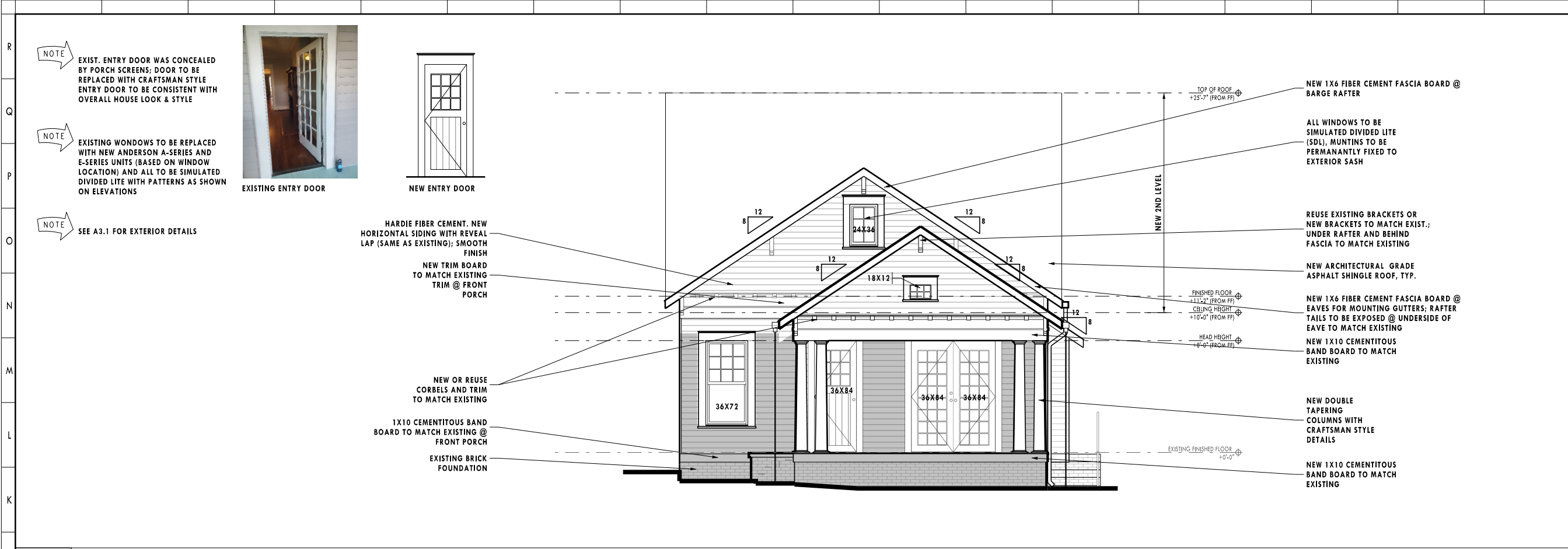
A1.2

AREA SUMMARY	
SF SUMMARY, CONDITIONED	
TOTAL CONDITIONED	1069 SQ.FT.



NOT FOR CONSTRUCTION





J,1 EXTERIOR ELEVATION - NORTH/FRONT SIDE

1/4" = 1'-0" 1/8" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



A,1 EXTERIOR ELEVATION - WEST/RIGHT SIDE

1/4" = 1'-0" 1/8" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

KEY PLAN

KEYNOTE LEGEND

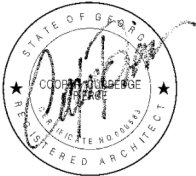
H. P. SUBMISSION

TYPE III

ROGER HORNER HOUSE RENOVATION

915 AUSTIN AVE NE, ATLANTA, GA 30307

01	HP TYPE III SUBMISSION	06/22/2021
No.	REVISIONS/SUBMISSIONS	Date
Seal		



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PROPOSED EXTERIOR ELEVATIONS

Project No. 21056 Drawing No.

Date 06/22/2021

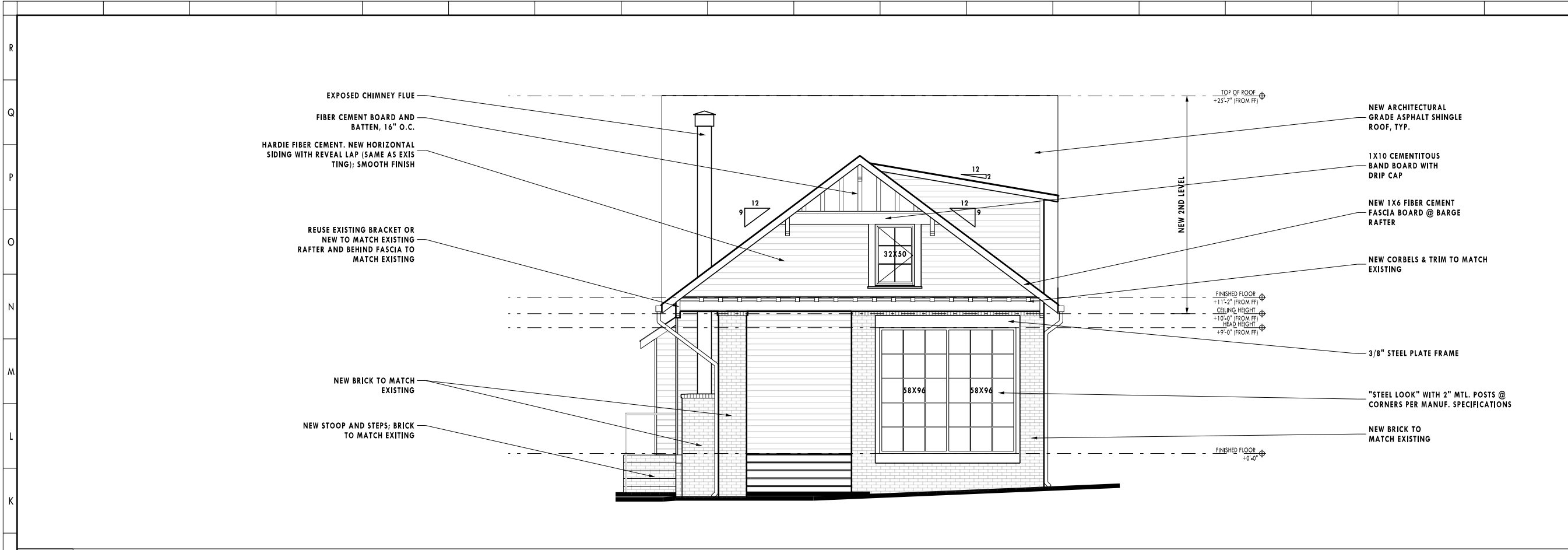
Scale 1/4" = 1'-0"

JONES PIERCE

400 PLASTER AVENUE, SUITE 225, ATLANTA, GEORGIA 30324 :: 404-688-1050 ::

A2.1





J,1 EXTERIOR ELEVATION - SOUTH/BACK SIDE

1/4" = 1'-0" 1/8" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



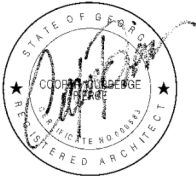
A,1 EXTERIOR ELEVATION - EAST/LEFT SIDE

1/4" = 1'-0" 1/8" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

KEY PLAN

KEYNOTE LEGEND

01	HP TYPE III SUBMISSION	06/22/2021
No.	REVISIONS/SUBMISSIONS	Date
Seal		



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PROPOSED EXTERIOR ELEVATIONS

Project No. 21056 Drawing No.

Date 06/22/2021

Scale 1/8"=1'-0"

H. P. SUBMISSION

TYPE III

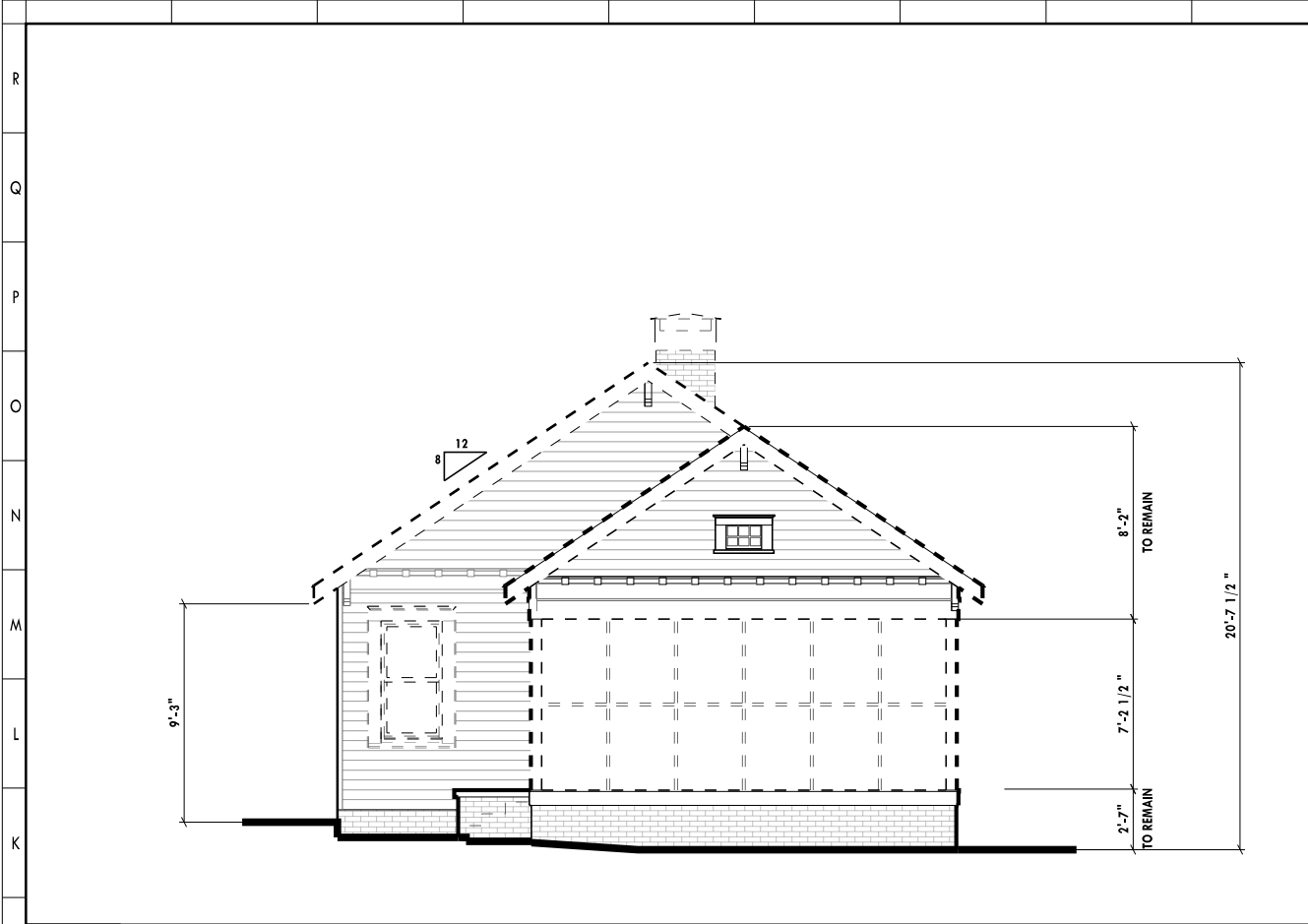
ROGER HORNER HOUSE RENOVATION

915 AUSTIN AVE NE, ATLANTA, GA 30307

JONES PIERCE

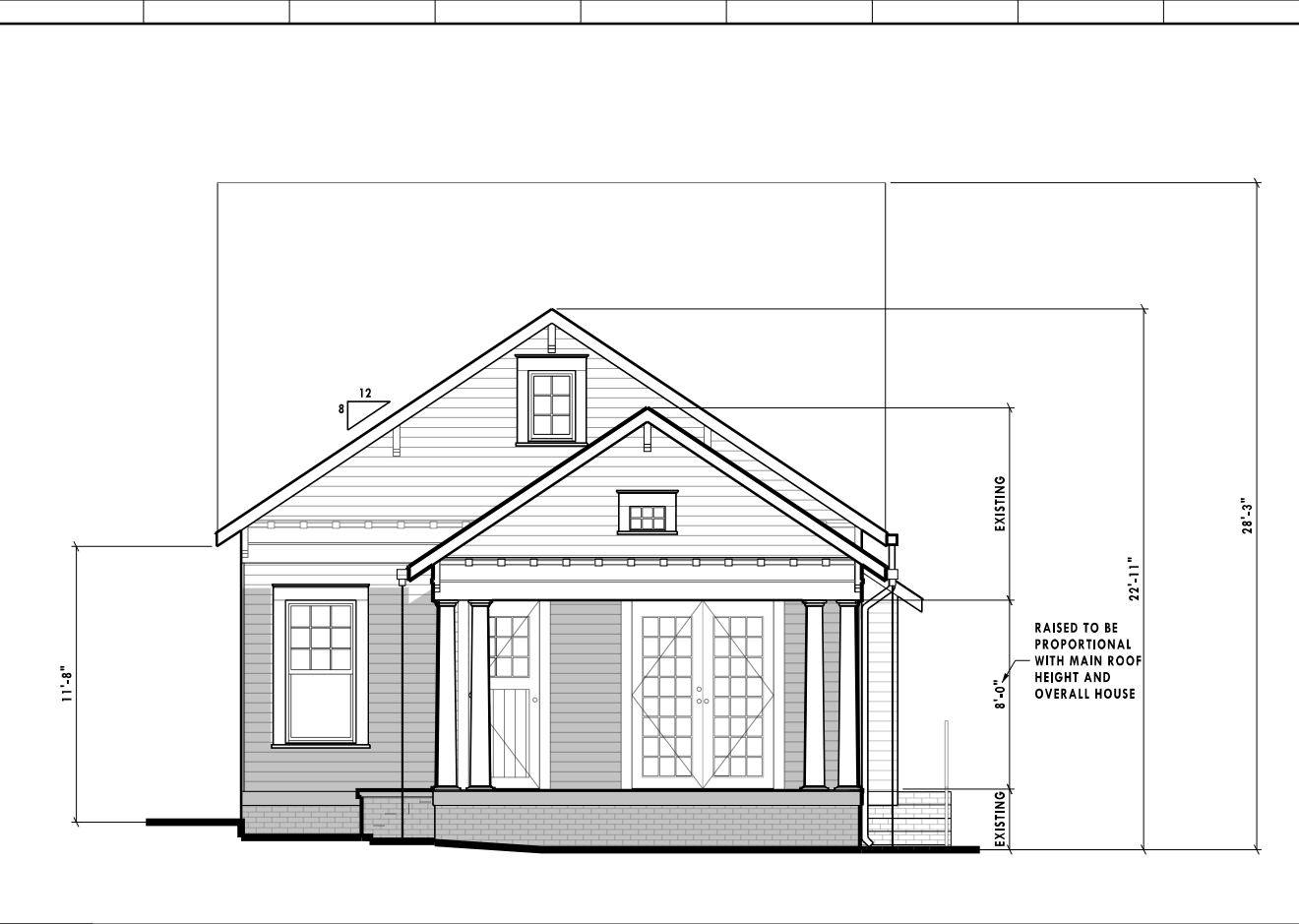
400 PLASTERS AVENUE, SUITE 225, ATLANTA, GEORGIA 30324 :: 404.688.1050 ::

A2.2



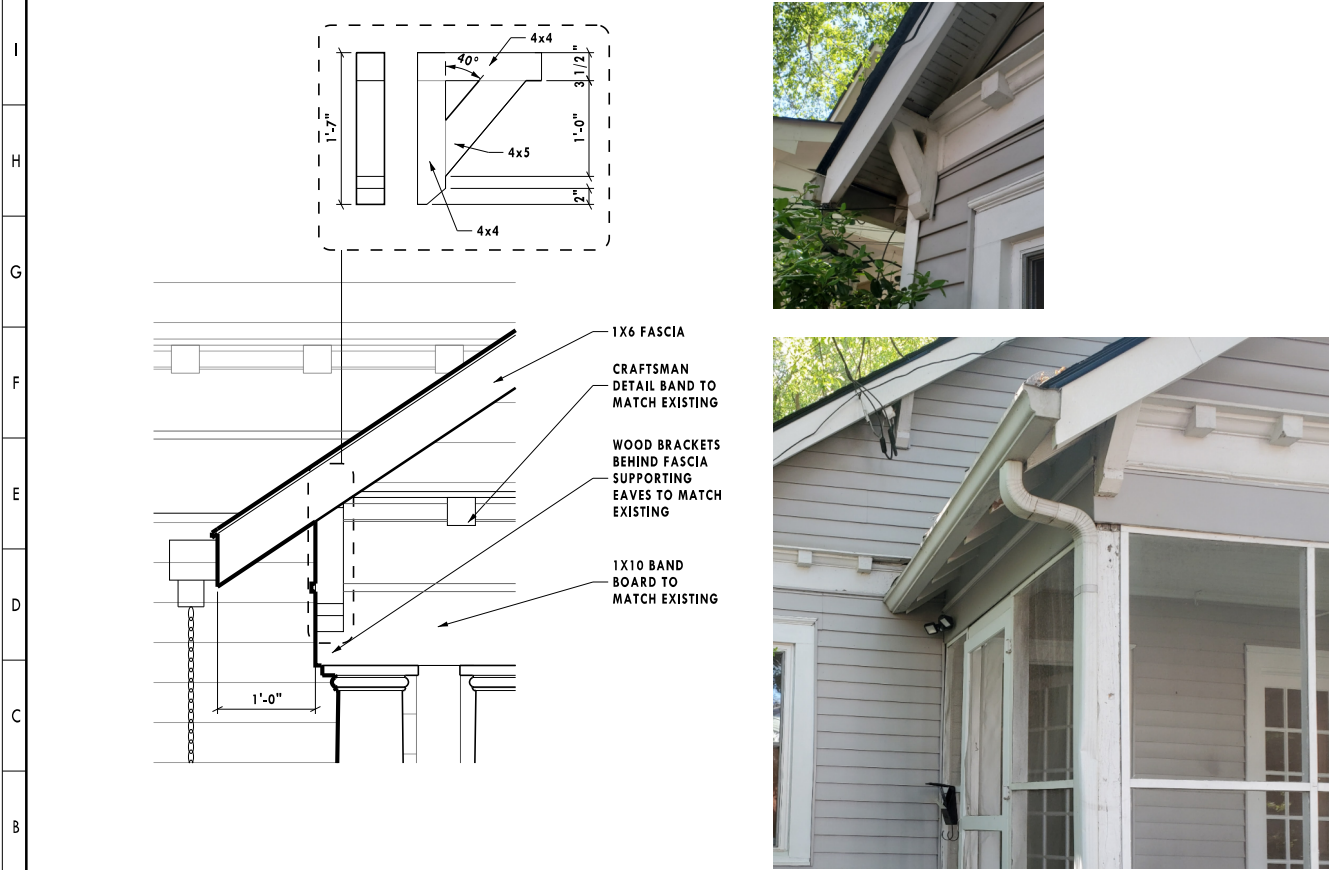
J,1 AS-BUILT ELEVATION - NORTH/FRONT SIDE

1/4" = 1'-0" 1/8" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



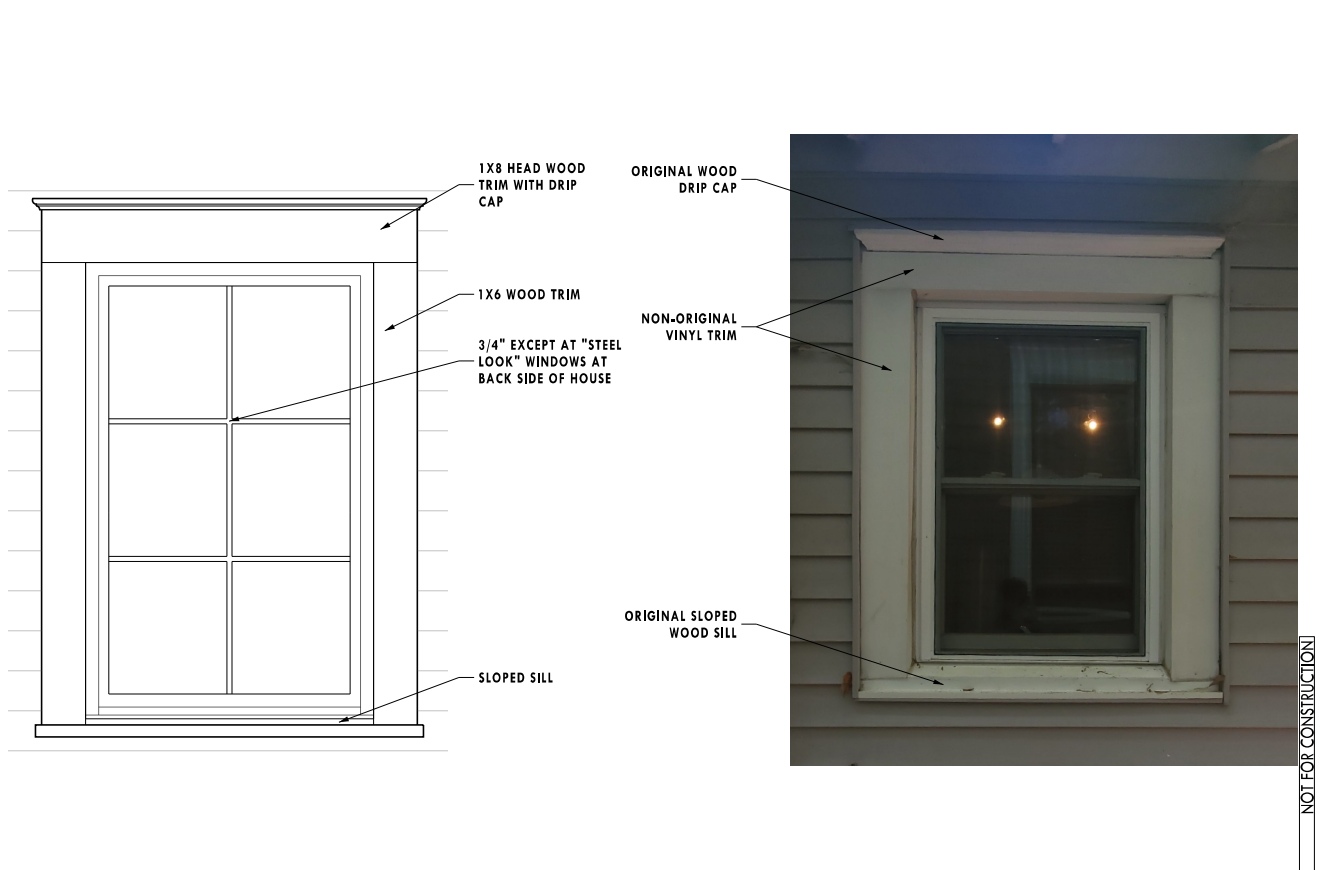
J,10 PROPOSED ELEVATION - NORTH/FRONT SIDE

1/4" = 1'-0" 1/8" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



A,1 CORNER TRIM AT GABLE - COMPATIBILITY

1" = 1'-0" 1/2" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



A,10 WINDOW TRIM DETAIL - COMPATIBILITY

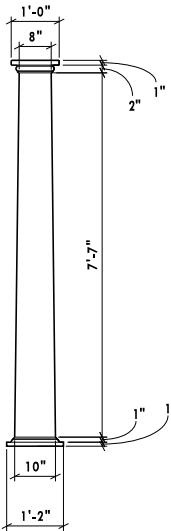
1" = 1'-0" 1/2" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

KEY PLAN

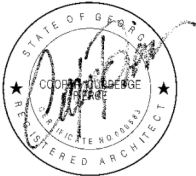
KEYNOTE LEGEND

NEW COLUMN  
DETAIL

1/2" = 1'-0" 1/4" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



01	HP TYPE III SUBMISSION	06/22/2021
No.	REVISIONS/SUBMISSIONS	Date
Seal		



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DETAILS

Project No.	21056	Drawing No.	
Date	06/22/2021		
Scale	VARIES		

A3.2

H.P. SUBMISSION

TYPE III

ROGER HORNER HOUSE RENOVATION

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