

877 Euclid Avenue NE - Project Description

This Type III COA application is submitted for renovations and additions to the existing house at 877 Euclid Avenue NE. The house was originally constructed in 1930, according to Fulton County records.

Proposed renovations to the existing house:

1. Renovate interior of house.
2. Reopen enclosed front porch, installing new 2-level railings to meet building code fall-protection requirements. The second lower rail will be at a more historically appropriate height above the porch floor.
3. Install new wood door with 3/4 glass lite in original door opening.

Proposed additions to the house:

1. Construct rear addition with family room, bedroom, bath, and closet, with exterior fireplace facing the rear yard. The addition will be slightly narrower than the existing house, and will be visually differentiated through the use of lap siding and stucco foundation rather than continuing the brick veneer found on the existing house. Due to proximity of neighboring houses and mature landscaping, the addition will have minimal visibility from street.

Proposed modifications to the site:

1. Remove existing deck, patio, swingset, and garage/shed.
2. Construct new paver stone walk and patio behind house.



Front of house - existing porch to be reopened



Rear of house - deck and patio to be removed



Left side from front



Right side from front



Your Home. You're Home. adam@adamstillman.net (770) 330-3389

877 Euclid Avenue NE

Atlanta, Georgia

CONTRACTOR/OWNER/24 HR CONTACT

Catelyn Givens and Austin Day
877 Euclid Ave NE
ATLANTA, GA 30307
austln.blake.day@gmail.com

ARCHITECT

ADAM STILLMAN
350 SINCLAIR AVE NE
ATLANTA, GA 30307
770-330-3389

STANDARD CONSTRUCTION CODES:

International Building Code, 2018 Edition, with Georgia Amendments
International Residential Code, 2018 Edition, with Georgia Amendments
International Fire Code, 2018 Edition, with Georgia Amendments
International Plumbing Code, 2018 Edition, with Georgia Amendments
International Mechanical Code, 2018 Edition, with Georgia Amendment
International Fuel Gas Code, 2018 Edition, with Georgia Amendment
International Electrical Code, 2015 Edition, with Georgia Amendments
International Energy Code, 2015 Edition, with Georgia Amendments
International Swimming Pool and Spa Code, 2018 Edition, with GA Amendments
2018 NFPA 101 - Life Safety Code with State Amendments

FLOOD HAZARD: NO

TYP. DEAD LOADS: 10 psf
TYP. LIVE LOADS: 40 psf
TYP. ROOF LOADS: 20 psf LIVE/15 psf DEAD
WIND SPEED/CATEGORY: 90 mph/B
TERMITE: SEVERE
WEATHER: MODERATE
FROST LINE DEPTH: 12"
MEAN ANNUAL TEMP: 66.2°
WINTER DESIGN TEMP: 22°
GROUND SNOW LOAD: 5 psf
SEISMIC DESIGN CATEGORY: B

PROJECT NAME: Givens/Day Residence

SCOPE OF WORK: Interior renovations to existing house, re-open enclosed front porch, construct rear addition with family room, bedroom, bath, closet, and exterior fireplace. Install paver stone walk and patio.

TYPE OF CONSTRUCTION: V-B

NUMBER OF STORIES: 1

BUILDING HEIGHT: 14.5'

DRAWING INDEX:

- A-0 COVER SHEET
- S-1 SITE PLAN
- A-1 PLANS
- A-2 ELEVATIONS

FLOOR AREA:

EXISTING: 994 sf

ADDITION: 461 sf

TOTAL: 1455 sf

UNHEATED FLOOR AREAS:

REOPENED PORCH: 120 sf

revisions

architect seal

ISSUED FOR CONSTRUCTION

All drawings are the property of Adam Stillman, and must be returned at the completion of work. They shall not be reproduced, modified, or revised in any way without written consent. The contractor shall check and verify all dimensions and report any discrepancies before proceeding with the work. Adam Stillman shall protect this copyright and be reimbursed for all legal and court costs, etc., for any necessary protection of the drawings. Submission of these drawings to any public body for any use does not release in any way the copyright and ownership of drawings provisions listed herein.

title
COVER SHEET

scale
-

drawn
APS

checked

date
11-01-2020

project no.
877Euclid

sheet no.
A-0

Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY) Establish temporary protective cover over disturbed areas where seedlings may not have a sufficient growing season to produce an erosion-retarding cover.	Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) Establish permanent protective cover over disturbed areas, using grasses, sod, or legumes on disturbed areas.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) Establish a temporary vegetative cover with fast growing seedlings on disturbed areas.	Ds4	DISTURBED AREA STABILIZATION (WITH SODDING) Establish permanent vegetative cover with sod grass on disturbed areas.

EROSION AND SEDIMENT CONTROL PRACTICES

- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures prior to or concurrent with land-disturbance activities.
- Erosion and sediment control measures shall be maintained at all times. Additional measures beyond the approved plan shall be implemented as necessary.
- Disturbed areas idle 14 days shall be stabilized with temporary vegetation; disturbed areas idle 30 days shall be stabilized with permanent vegetation.
- Erosion and sediment control measures shall be inspected at least twice weekly, after each rain, and repaired as necessary.
- Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.
- Silt fence shall meet the requirements of Section 171 - Type C temporary silt fence, of the Georgia Department of Transportation Standard Specifications, 1993 Edition.

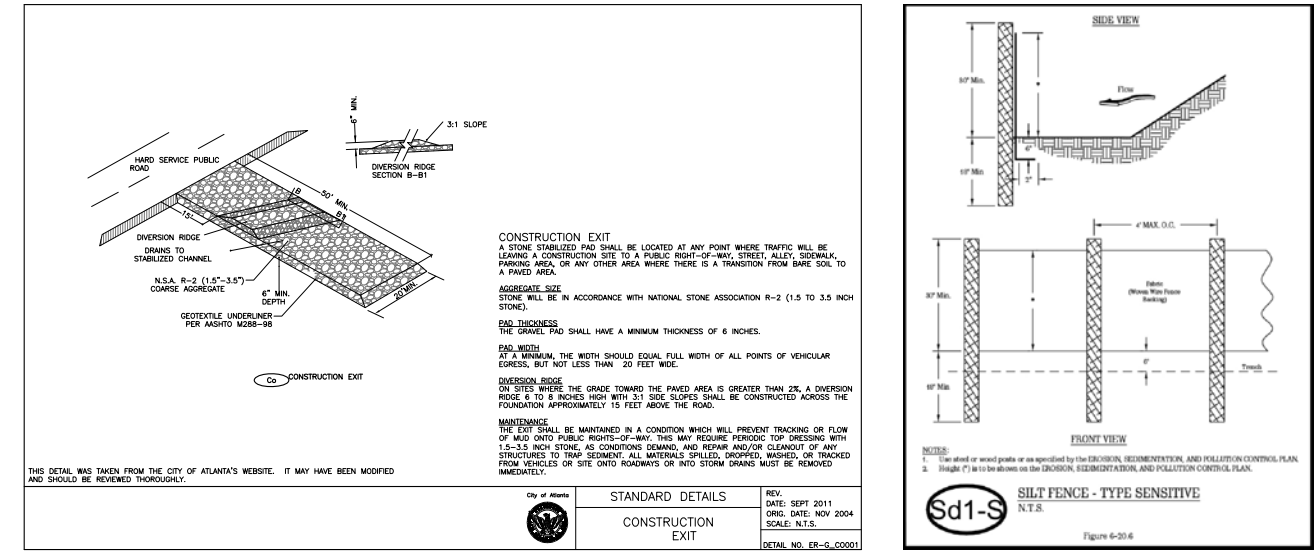
VEGETATIVE PLAN

FALL SEEDING

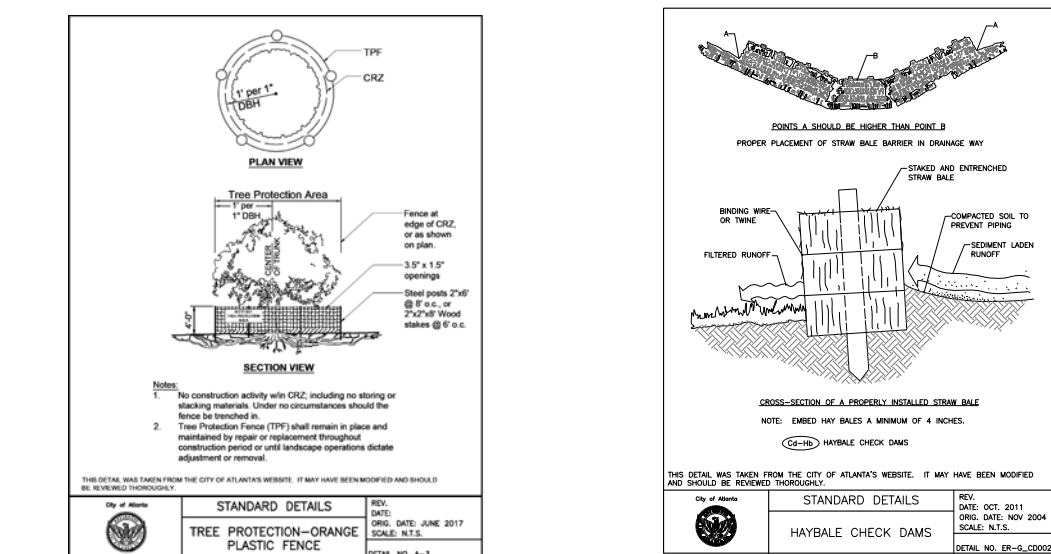
- Treat soil with 40lbs/1000sf lime, till soil, and water thoroughly. Seed with 6-lbs./1000sf Bermuda (Cynodon dactylon) and Centipede (Eremochloa ophiuroides) with 4lbs/1000sf starter fertilizer (20-27-5) and mulch with straw at a rate of 1 bale/800sf. Fertilize with 24-6-12 at 60 and 150 days after seeding. Skip 150 day fertilizing if within 30 days of Spring Seeding.

SPRING SEEDING

- Treat soil with 40lbs/1000sf lime, till soil, and water thoroughly. Seed with 6-lbs./1000sf Ryegrass (Lolium multiflorum) and Red Fescue (Festuca rubra) with 4lbs/1000sf starter fertilizer (20-27-5) and mulch with straw at a rate of 1 bale/800sf. Fertilize with 24-6-12 at 60 and 150 days after seeding. Skip 150 day fertilizing if within 30 days of Fall Seeding.
- Test soil and reapply 40lbs/1000sf lime as needed on an annual basis



Co CONSTRUCTION EXIT



Ts1 TREE PROTECTION FENCE

Sd1-HB SEDIMENT BARRIER



VICINITY MAP

CONTRACTOR/OWNER/24 HR CONTACT

Catelyn Givens and Austin Day
877 Euclid Ave NE
ATLANTA, GA 30307
austin.blake.day@gmail.com

ARCHITECT

ADAM STILLMAN
350 SINCLAIR AVE NE
ATLANTA, GA 30307
770-330-3389

Before starting land-disturbance activities, the Contractor is required to schedule a pre-construction meeting with Erosion & Sediment Control. Call (404) 546-1300

NOTES:

- DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
- SEPARATE PERMIT IS REQUIRED FOR SIDEWALK AND/OR DRIVEWAY CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY CONTACT TECHNICAL SERVICES AT (404) 330-6039.
- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181- TEMPORARY SILT FENCE, OF THE GEORGIA STANDARD SPECIFICATIONS, 1983 EDITION.
- MAINTENANCE STATEMENT- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR.
- STATEMENT- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION
- NO GRADED SLOPE SHALL EXCEED 2H:1V
- PROPERTY ADDRESS = 877 Euclid Ave NE ATLANTA, GEORGIA
- TOTAL LOT AREA = 0.01 acre
- TOTAL AREA DISTURBED: 0.03 acre
- CUT ± 5 C.Y. FILL ± 0 C.Y. BALANCE DIRT ON SITE. DEMOLITION DEBRIS ± 10 C.Y.
- THE BENCHMARK FOR THIS SITE Topo survey by Wedder Surveys & Associates
- PROPERTY IS NOT IN 100 YEAR FLOOD PLAIN, FEMA MAP 13121C0263G 09/18/13
- OWNER: Catelyn Givens and Austin Day

TREE SYMBOL LEGEND

SYMBOL:	DESCRIPTION:
⊕	NEW TREE
⊙	EXISTING TREE TO REMAIN
⊗	EXISTING TREE TO BE REMOVED

TREE REPLACEMENT CALCULATION CHART

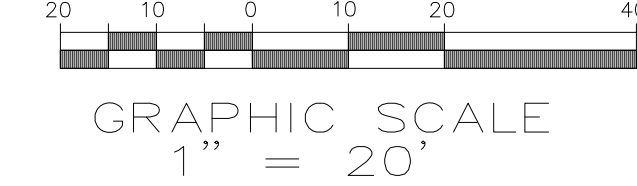
TREES RECOMPENSE:	
$\$ \text{ AMOUNT} = \$100.00[(\# \text{ OF TREES DESTROYED} + \# \text{ OF TREES LOST}) - \# \text{ OF TREES REPLACED}] + \$30.00 [(\# \text{ DBH INCHES DESTROYED} + \# \text{ DBH INCHES LOST}) - \# \text{ CALIPER INCHES REPLACED}]$	
+ \$100.00 x # OF TREES DESTROYED	+ \$100.00 x 1 = +\$ 100.00
+ \$100.00 x # OF TREES LOST	+ \$100.00 x 0 = +\$ 0.00
- \$100.00 x # OF TREES REPLACED	- \$100.00 x 1 = -\$ 100.00
+ \$30.00 # DBH INCHES DESTROYED	+ \$30.00 x 10 = +\$ 300.00
+ \$30.00 # DBH INCHES LOST	+ \$30.00 x 0 = +\$ 0.00
- \$30.00 # CALIPER INCHES REPLACED	- \$30.00 x 2.5 = -\$ 75.00
\$ AMOUNT = -\$ 225.00	

NO WATERS OF THE STATE EXIST WITHIN 200' OF THE PROJECT SITE

NO GRADED SLOPES SHALL EXCEED 2H:1V

CONTOUR TYPE
 --- EXISTING TO REMAIN
 --- EXISTING TO BE REMOVED
 --- NEW CONTOUR

LIMITS OF CONSTRUCTION COINCIDES WITH SILT FENCE



PROPERTY ZONED R-5/HC-20/USA-1
 LOT SIZE = 4533 sf (0.01 acre)
 MAX. FLOOR AREA RATIO = 0.50
 ACTUAL FLOOR AREA RATIO = 0.32
 MAX. LOT COVERAGE = 55.0%
 ACTUAL LOT COVERAGE = 54.4%
 PROPOSED HOUSE REAR SETBACK: 24.0'
 MINIMUM REAR SETBACK: 6.4' @ 853 Euclid
 MAXIMUM REAR SETBACK: 72.7' @ 881 Euclid

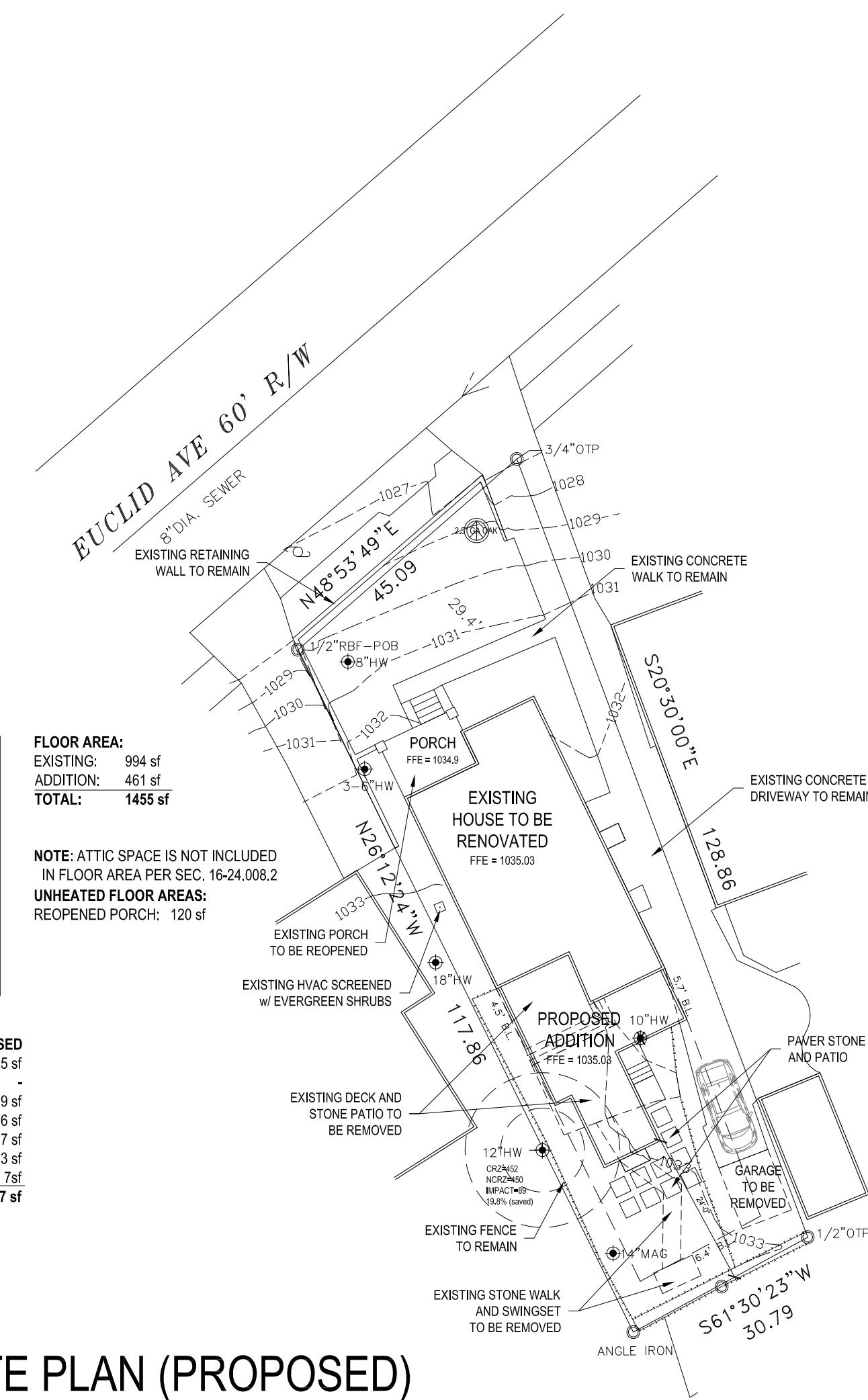
FLOOR AREA:
 EXISTING: 994 sf
 ADDITION: 461 sf
 TOTAL: 1455 sf

NOTE: ATTIC SPACE IS NOT INCLUDED IN FLOOR AREA PER SEC. 16-24.008.2
 UNHEATED FLOOR AREAS:
 REOPENED PORCH: 120 sf

LOT COVERAGE CALCULATIONS:	EXISTING	PROPOSED
HOUSE/PORCH:	1113 sf	1575 sf
GARAGE:	82 sf	-
DECK/REAR STEPS:	170 sf	19 sf
WALKS/STEPS/PATIO:	425 sf	186 sf
DRIVEWAY:	651 sf	647 sf
WALLS:	33 sf	33 sf
HVAC:	7 sf	7sf
TOTAL =	2481 sf	2467 sf

SITE PLAN (PROPOSED)

1" = 20'-0"



877 Euclid Avenue NE
 Atlanta, Georgia

revisions

architect seal

ISSUED FOR CONSTRUCTION

All drawings are the property of Adam Stillman, and must be returned at the completion of work. They shall not be reproduced, modified, or revised in any way without written consent. The contractor shall check and verify all dimensions and report any discrepancies before proceeding with the work. Adam Stillman shall protect this copyright and be reimbursed for all legal and court costs, etc., for any necessary protection of the drawings. Submission of these drawings to any public body for any use does not release in any way the copyright and ownership of drawings provisions listed herein.

title

SITE PLAN

scale

1" = 20'-0"

drawn

APS

checked

date

11-01-2020

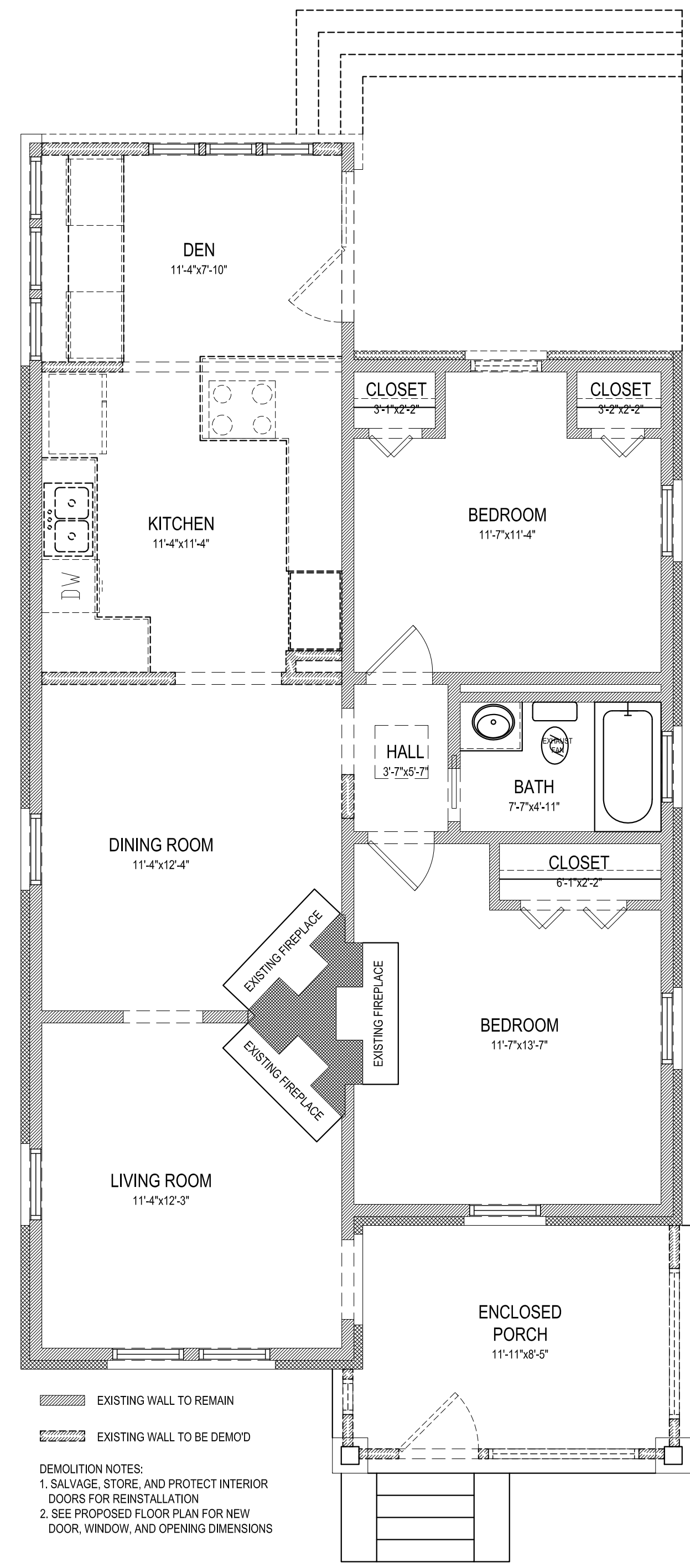
project no.

877Euclid

sheet no.

S-1

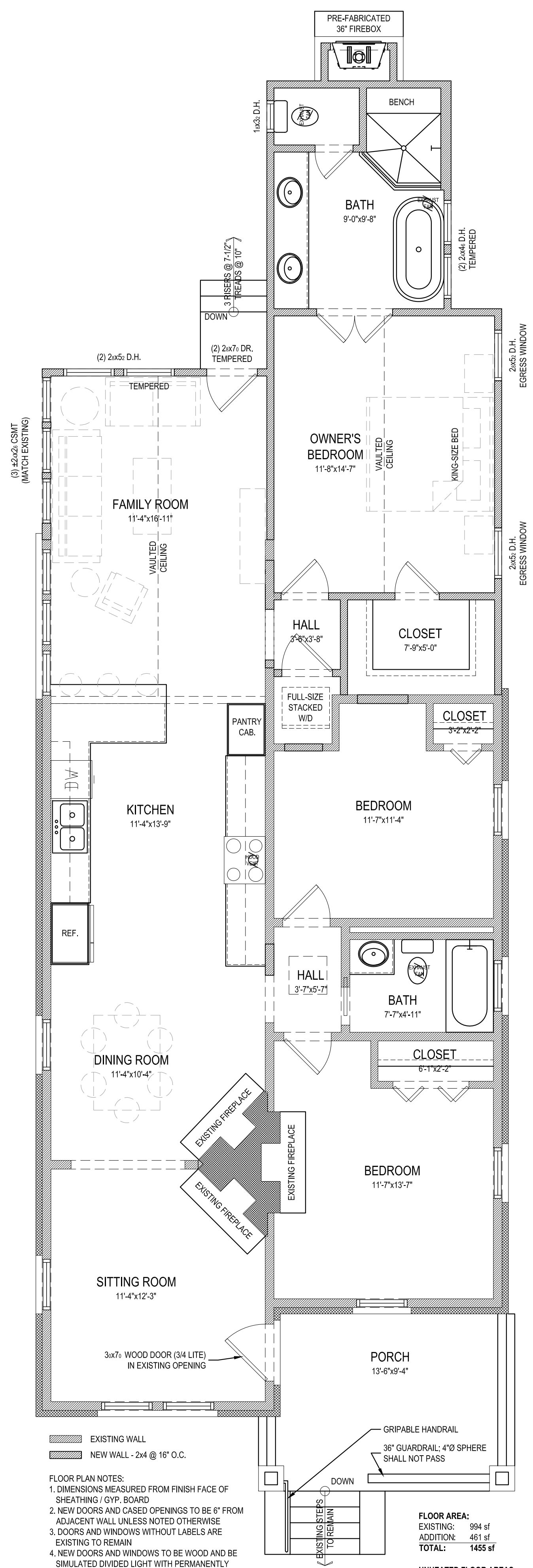
877 Euclid Avenue NE
Atlanta, Georgia



— EXISTING WALL TO REMAIN
 - - - - - EXISTING WALL TO BE DEMO'D

DEMOLITION NOTES:
 1. SALVAGE, STORE, AND PROTECT INTERIOR DOORS FOR REINSTALLATION
 2. SEE PROPOSED FLOOR PLAN FOR NEW DOOR, WINDOW, AND OPENING DIMENSIONS

EXISTING/DEMO FLOOR PLAN
1/4" = 1'-0"



— EXISTING WALL
 — NEW WALL - 2x4 @ 16" O.C.

FLOOR PLAN NOTES:
 1. DIMENSIONS MEASURED FROM FINISH FACE OF SHEATHING / GYP. BOARD
 2. NEW DOORS AND CASED OPENINGS TO BE 6" FROM ADJACENT WALL UNLESS NOTED OTHERWISE
 3. DOORS AND WINDOWS WITHOUT LABELS ARE EXISTING TO REMAIN
 4. NEW DOORS AND WINDOWS TO BE WOOD AND BE SIMULATED DIVIDED LIGHT WITH PERMANENTLY AFFIXED EXTERIOR MUNTINS; GANGED WINDOWS TO HAVE 6" DIVIDING MULLIONS
 5. SOME EXISTING CONDITIONS ARE ASSUMED DUE TO CONCEALMENT WITHIN FINISHED WALLS AND CEILINGS. FIELD MODIFICATIONS MAY BE REQUIRED

3x7s WOOD DOOR (3/4 LITE) IN EXISTING OPENING

GRIPABLE HANDRAIL
 3" GUARDRAIL, 4" Ø SPHERE SHALL NOT PASS

FLOOR AREA:
 EXISTING: 994 sf
 ADDITION: 461 sf
 TOTAL: 1455 sf

UNHEATED FLOOR AREAS:
 REOPENED PORCH: 120 sf

PROPOSED FLOOR PLAN
1/4" = 1'-0"

revisions

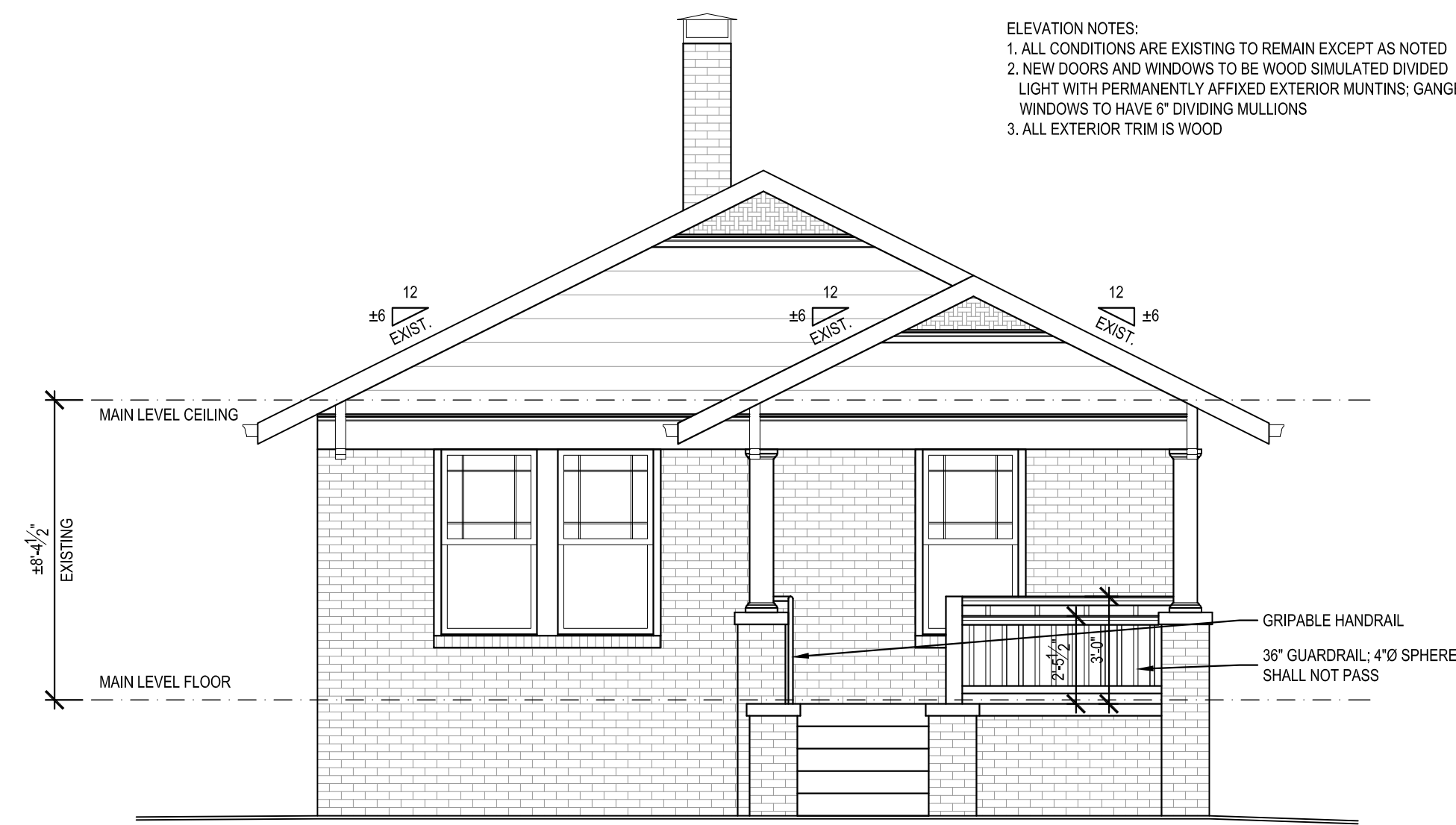
architect seal

ISSUED FOR CONSTRUCTION

All drawings are the property of Adam Stillman, and must be returned at the completion of work. They shall not be reproduced, modified, or revised in any way without written consent. The contractor shall check and verify all dimensions and report any discrepancies before proceeding with the work. Adam Stillman shall protect this copyright and be reimbursed for all legal and court costs, etc., for any necessary protection of the drawings. Submission of these drawings to any public body for any use does not release in any way the copyright and ownership of drawings provisions listed herein.

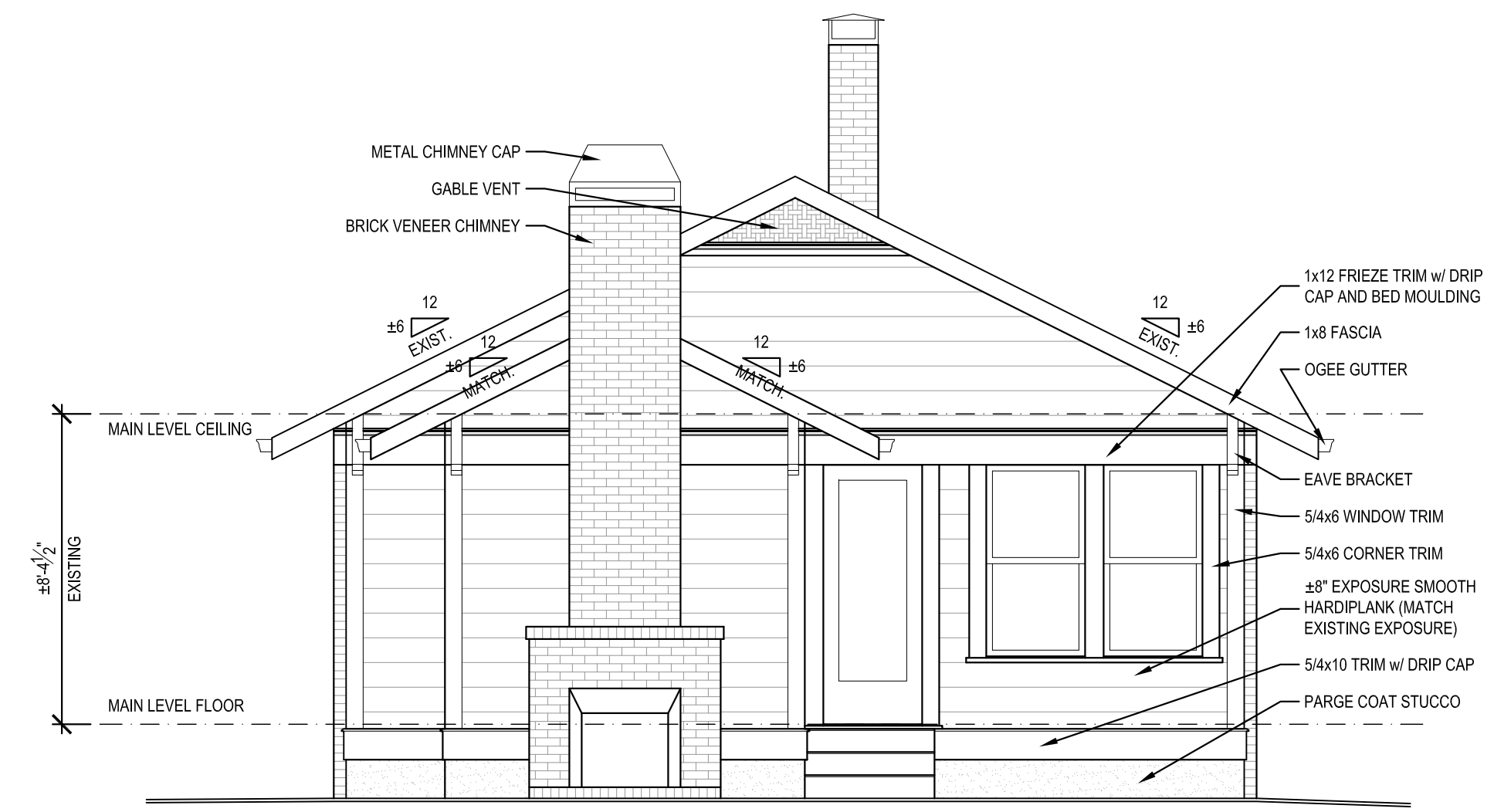
title PLANS	
scale 1/4" = 1'-0"	
drawn APS	checked
date 11-01-2020	sheet no.
project no. 877Euclid	A-1

ELEVATION NOTES:
1. ALL CONDITIONS ARE EXISTING TO REMAIN EXCEPT AS NOTED
2. NEW DOORS AND WINDOWS TO BE WOOD SIMULATED DIVIDED LIGHT WITH PERMANENTLY AFFIXED EXTERIOR MUNTINS; GANGED WINDOWS TO HAVE 6" DIVIDING MULLIONS
3. ALL EXTERIOR TRIM IS WOOD



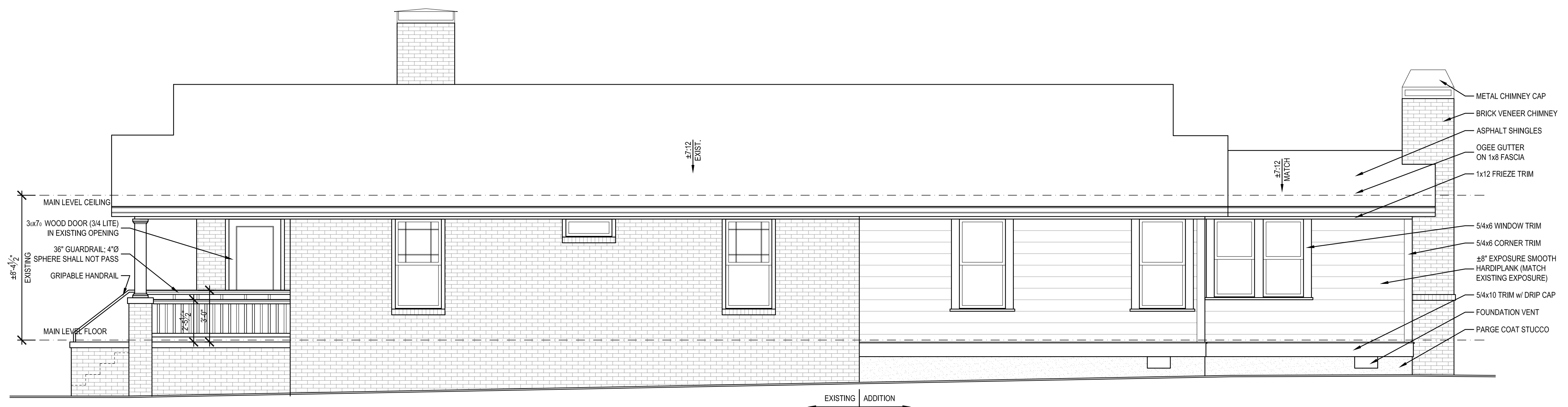
FRONT ELEVATION

1/4" = 1'-0"



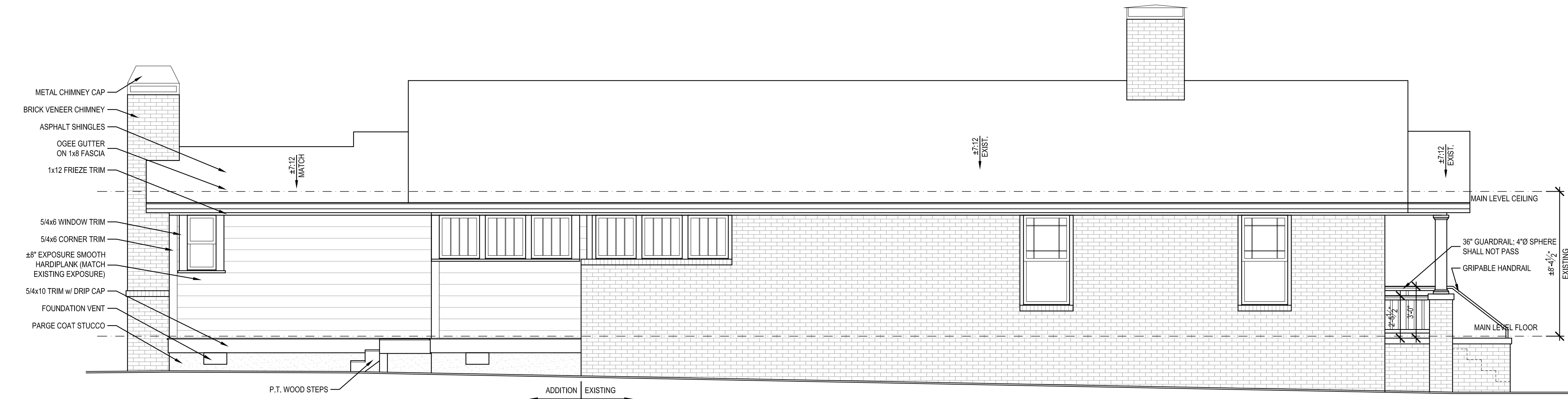
REAR ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

877 Euclid Avenue NE
Atlanta, Georgia

revisions

architect seal

ISSUED FOR CONSTRUCTION

All drawings are the property of Adam Stillman, and must be returned at the completion of work. They shall not be reproduced, modified, or revised in any way without written consent. The contractor shall check and verify all dimensions and report any discrepancies before proceeding with the work. Adam Stillman shall protect this copyright and be reimbursed for all legal and court costs, etc., for any necessary protection of the drawings. Submission of these drawings to any public body for any use does not release in any way the copyright and ownership of drawings provisions listed herein.

Title ELEVATIONS	
scale 1/4" = 1'-0"	
drawn APS	checked
date 11-01-2020	sheet no.
project no. 877Euclid	A-2