

PROJECT INFORMATION

APARTMENT RENOVATION

782 DIXIE AVE.
ATLANTA, GA 30307

OWNER

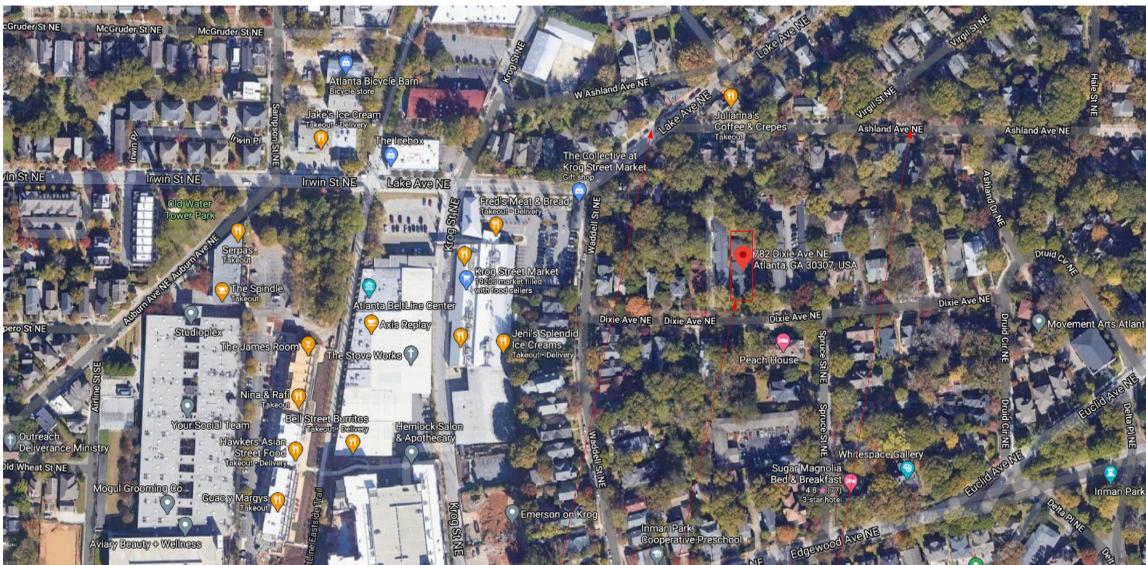
Owner

ARCHITECT

WRIGHT GARDNER ARCHITECT, LLC
154 KROG STREET NE, SUITE 125
ATLANTA, GEORGIA 30307
PHONE: 404-2 18-8460
EMAIL: wright@wrightgardnerarchitect.com

CONTRACTOR

VICINITY MAP



LAKE AVE. DIXIE AVE. ASHLAND AVE.

RESIDENTIAL CODE COMPLIANCES NOTES

- GOVERNING BUILDING CODES: THE GOVERNING CODE IS THE 2018 INTERNATIONAL RESIDENTIAL CODE WITH 2020 GEORGIA STATE AMENDMENTS. UNLESS INDICATED OTHERWISE, CODE REFERENCES CONTAINED HEREIN ARE TO THE 2018 IRC WITH GEORGIA STATE AMENDMENTS.
- MANUFACTURERS INSTALLATION INSTRUCTIONS, AS REQUIRED BY THIS CODE, SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION (R106.1.2).
- EXTERIOR WALL, BOTTOM SILL PLATES, SHALL BE PRESSURE TREATED OR EQUAL, AND SHALL BEAR/EXTEND MINIMUM 8 INCHES ABOVE FINISH GRADE. (R319.11)
- ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE (R310.1.4 AND 311.4.4).
- DOORS LEADING INTO THE HOUSE FROM THE GARAGE SHALL BE 1 3/8" THICK SOLID CORE, HONEY COMB CORE STEEL DOOR, SOLID WOOD OR 20 MINUTE FIRE-RATED DOOR. (R309.1).
- IRC R309.2 (AMENDED): PROVIDE 1/2 INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE FOR SEPARATION FROM GARAGE FOR ATTIC AND RESIDENCE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS THAN 5/8" TYPE X GYP BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT. DCA AMENDMENTS ALLOW INSTALLATION OF AN AUTOMATIC SPRINKLER SYSTEM FOR PROTECTION IN GARAGE IN LIEU OF SEPARATION (2007).
- PROVIDE ROOF ATTIC VENTILATION PER R806.1.
- FIRE BLOCKING SHALL COMPLY WITH (R602.8) AND BE MAXIMUM 10 FT. O.C., HORIZONTAL OR VERTICAL.
- FLOOR-CEILING ASSEMBLIES WITH A CONCEALED SPACE IN EXCESS OF 1000 SQUARE FEET SHALL HAVE DRAFT STOPS INSTALLED THAT DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS (R502.1.2). DRAFT-STOPPING MATERIAL SHALL COMPLY WITH (R502.12.1).
- WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE BY MINIMUM 1/2" GYPSUM BOARD. (R311.2.2)
- GYPSUM BOARD APPLIED TO A CEILING WITH WATER-BASED TEXTURING, SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C. OR USE LABELED 1/2" SAG-RESISTANT GYPSUM CEILING BOARD. (TABLE R702.3.5 (D)).
- SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NON-ABSORBENT SURFACE, SUCH AS ADHESIVE APPLICATION OF CERAMIC TILE, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE FLOOR (R307.2). WHEN GYPSUM WALLBOARD IS USED AS A BASE FOR TILE OR WALL PANELS, WATER-RESISTANT GYPSUM WALLBOARD SHALL BE USED. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED OVER A VAPOR RETARDER, IN AREAS OF HIGH HUMIDITY OR ON CEILINGS WHERE THE FRAME SPACING EXCEEDS 12 INCHES ON CENTER FOR 1/2" GYPSUM, AND 16 INCHES ON CENTER FOR 5/8" GYPSUM. (R702.3.8). CEMENT, FIBER-CEMENT AND GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1288, C 1325, OR C 1178 SHALL BE USED FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. (R702.4.2)
- PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING CONSERVATION REQUIREMENTS:
 - WATER CLOSETS-TANK TYPE = 1.6 GAL. /FLUSH.
 - SHOWER HEADS- 2.75 GAL. /MINUTE.
 - FAUCETS- 3.0 GAL. /MINUTE, PROVIDE AERATOR.
- PROVIDE AN EXPANSION TANK OR CHECK VALVE FOR THE WATER HEATER IF A BACKFLOW PREVENTER IS OR WILL BE INSTALLED ON THE WATER LINE OR AT THE METER. (IPC607.3).
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. (IPC 424.3)
- DOMESTIC DISHWASHING MACHINES CONNECTED TO A DISPOSER SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE, BUT NOT LOWER THAN 2" ABOVE THE FLOOD RIM OF THE SINK. (IPC 802.1.6)
- PROVIDE MINIMUM CLEARANCES FROM CENTERLINE OF WATER CLOSETS TO FINISHED WALL, CABINETS, AND OTHER PLUMBING FIXTURES. (R307.1)
- THE CLOTHES DRYER SHALL BE PROVIDED WITH A 4-INCH DIAMETER EXHAUST DUCT TO THE EXTERIOR AND SHALL NOT EXCEED A TOTAL LENGTH OF 25 FEET, UNLESS AN ENGINEERED DUCT SYSTEM IS PROVIDED. (M1502.6) THE DUCT SHALL TERMINATE NOT LESS THAN 3 FEET FROM A PROPERTY LINE OR FROM OPENINGS INTO A BUILDING (TABLE R302.1, R303.4 AND R303.5).
- PROVIDE OUTSIDE COMBUSTION AIR FOR FIREPLACES LOCATED IN BEDROOMS. (M1701.4)
- PROVIDE REQUIRED ELEVATION, FOR MECHANICAL EQUIPMENT'S IGNITION SOURCE, WATER HEATERS AND APPLIANCES IF PLACED IN GARAGE OR ROOM WITH DIRECT ACCESS TO GARAGE OF 18 INCHES ABOVE THE FLOOR. (M1307.3).
- PROVIDE COMBUSTION AIR AND PROVIDE HIGH AND LOW VENT SIZES FOR GAS FUEL APPLIANCES LOCATED IN CONFINED SPACES. (M1702.2, AND M1703.2)
- LOCATION OF SMOKE DETECTORS SHALL COMPLY WITH IRC 313.
- PROVIDE IC-RATED RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILINGS. (NEC 110.3(B), 41.66(B)).
- FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE LISTED TO BE SUITABLE FOR SUCH LOCATION. (NEC 410.4)
- PROVIDE GFCI PROTECTION FOR RECEPTACLES WITHIN 6' OF ALL LAVATORIES, SINKS AND BASINS. (NEC 210.8)
- ALL KITCHEN COUNTER RECEPTACLES SHALL BE GFCI PROTECTED. (NEC 210.8(6))
- PROVIDE GFCI PROTECTED RECEPTACLES AT ALL EXTERIOR, BATHROOM AND GARAGE LOCATIONS. (NEC 210.8 & 210.52.)
- PROVIDE A WALL MOUNTED GFCI PROTECTED RECEPTACLE OUTLET WITHIN 36" OF A BATHROOM OR POWDER ROOM LAVATORY. (NEC 210.52(D))
- ALL CIRCUITS SUPPLYING RECEPTACLE OUTLETS IN BEDROOMS SHALL BE AFCI (ARC-FAULT CIRCUIT INTERRUPTER) PROTECTED. (NEC 210.12)

- RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH. (NEC 210.52 (A))
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (NEC 210.52 (D))
- PROVIDE A SEPARATE 20-AMPERE BRANCH CIRCUIT TO THE LAUNDRY. (NEC 210.11(C), 210.23 (A), 210.50 (C), 210.52(F & G), 220.14(J))
- PROVIDE A MINIMUM OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN/DINING/BREAKFAST. (NEC 210.11(C)(1), 210.52(B)(1), 220.14(J))
- THE TWO OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, EXCEPT THE RECEPTACLE INSTALLED SOLELY FOR ELECTRIC SUPPLY TO AN ELECTRICAL CLOCK IN THE KITCHEN/DINING/BREAKFAST AREAS OR RECEPTACLES FOR SUPPLEMENTAL EQUIPMENT AND LIGHTING FOR GAS-FIRED RANGES, OVENS, OR COUNTER-MOUNTED UNITS. (NEC 210.52 (B)(3))
- RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYERS SHALL BE A 3-POLE WITH GROUND TYPE. FOUR-WIRE, GROUNDING-TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES AND CLOTHES DRYERS. THE BONDING JUMPER SHALL NOT BE CONNECTED BETWEEN THE NEUTRAL TERMINAL AND THE FRAME OF THE APPLIANCE. (NEC 250.140 & 250.142)
- PROVIDE BONDING TO THE WATER PIPING, GAS AND METAL BUILDING SYSTEMS. (MINIMUM #4 FOR 200-AMP SERVICE). (NEC 250.50, 250.104 & 250.52)
- ALL METAL PIPING SYSTEMS, METAL PARTS OF ELECTRICAL EQUIPMENT, AND PUMP MOTORS ASSOCIATED WITH THE HYDRO MASSAGE TUB SHALL BE BONDED TOGETHER USING A COPPER BONDING JUMPER, INSULATED, COVERED, OR BARE, NOT SMALLER THAN NO. 8 SOLID. METAL PARTS OF LISTED EQUIPMENT INCORPORATING AN APPROVED SYSTEM OF DOUBLE INSULATION AND PROVIDING A MEANS FOR GROUNDING INTERNAL NON-ACCESSIBLE, NON-CURRENT-CARRYING METAL PARTS SHALL NOT BE BONDED. (NEC 680.62)
- FOR NEW WINDOWS, WINDOWS BEING REPLACED OR WINDOWS AFFECTED BY MODIFICATIONS ELSEWHERE THEY SHALL BE COMPLIANT WITH IRC R310: BASEMENTS WITH HABITABLE SPACES AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR EXTERIOR DOOR OPENING FOR EMERGENCY ESCAPE AND RESCUE. WHEN OPENINGS ARE PROVIDED . . . THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH R310.3. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE WINDOW OR DOOR OPENING FROM THE INSIDE. ESCAPE AND RESCUE WINDOW OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH R310.1. MINIMUM ESCAPE AND RESCUE OPENING DIMENSION SHALL BE A NET CLEAR OPENING OF 5.7 SQUARE FEET, EXCEPT AT GRADE FLOOR WHERE THE NET CLEAR OPENING SHALL BE A MINIMUM OF 5 SQUARE FEET. R310.1.2 MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES. R310.1.3 MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. R310.1.4 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF ROOM WITHOUT THE USE OF KEYS OR TOOLS.
- PROVIDE MECHANICAL EXHAUST VENTILATION FOR BATHROOMS, WATER CLOSET ROOMS, LAUNDRY ROOM, AND KITCHEN, DUCTED DIRECT TO OUTSIDE. (R303.4 TO R303.5)
- THE SOIL LOAD-BEARING CAPACITY SHALL BE PRESUMED TO BE 2,000 PSF MAX., UNLESS A GEOTECHNICAL INVESTIGATION, PROPERLY STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF GEORGIA, SUBSTANTIATES THE NOTED BEARING CAPACITY (TABLE R401.4.1).
- THE WOOD FLOOR SYSTEM DRAWINGS, STAMPED/NOTED AS REVIEWED BY DPOR, MUST BE AVAILABLE ON SITE PRIOR TO ERECTING A FLOOR FRAMING DRAWING USING THE FLOOR SYSTEM NOMENCLATURE IS REQUIRED (R502.8.2).
- PRESSURE TREATED WOOD IN CONTACT OR CLOSE PROXIMITY TO METAL, INCLUDING FASTENERS, WITH THE REMOVAL OF CCA TREATED LUMBER, MOST OF THE LUMBER AVAILABLE LOCALLY IS TREATED WITH ACQ AND CBA TREATMENTS. THESE TREATMENTS ARE MORE THAN TWICE AS CORROSIVE AS CCA. SANDY SPRINGS BUILDING INSPECTORS WILL LOOK FOR CONNECTORS AND FASTENERS THAT ARE HOT-DIPPED ZINC-COATED GALVANIZED STEEL IN ACCORDANCE WITH ASTM A153, STAINLESS STEEL, SILICON BRONZE OR COPPER (WITH EXCEPTIONS) IN CONTACT WITH PRESSURE TREATED WOOD (R319.3).
- FOUNDATION DRAINAGE WILL BE IN ACCORDANCE WITH SECTION R-405 OF IRC.
- ALL FOUNDATION WALLS OF BELOW GRADE SPACE WHICH MAY BE OCCUPIED SHALL BE WATERPROOFED TO ALLOW FOR FUTURE USE AS HABITABLE SPACE (I.E. FINISHED BASEMENT). THE MEMBRANES SHALL EXTEND FROM THE EDGE OF THE FOOTING TO THE FINISHED GRADE (R-406.1). NOTE METHOD OF WATERPROOFING TO BE USED ON BASEMENT WALLS. EXCEPTION: POURED CONCRETE FOUNDATION WALLS REQUIRE DAMPPROOFING ONLY (R406.2).
- IF PRE-ENGINEERED WOOD TRUSSES ARE USED IN FLOOR FRAMING, PROVIDE TRUSS DRAWINGS WHICH IDENTIFY MEMBER SIZES TO BE USED. WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH APPROVED ENGINEERING PRACTICE (SEC. R-502.11). IF MANUFACTURED TRUSSES ARE TO BE USED, THE TRUSS SUPPLIER'S DETAILED DRAWINGS FOR THE PROJECT SHALL BE AVAILABLE AT THE JOB SITE, PRIOR TO ERECTION.
- IF PRE-ENGINEERED WOOD TRUSSES ARE USED IN ROOF FRAMING, PROVIDE TRUSS DRAWINGS. WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH APPROVED ENGINEERING PRACTICE (SEC. R-802.10). IF MANUFACTURED TRUSSES ARE TO BE USED, THE TRUSS SUPPLIER'S DETAILED DRAWINGS FOR THE PROJECT SHALL BE AVAILABLE AT THE JOB SITE, PRIOR TO ERECTION

DRAWING CONVENTION

SHEET NUMBER	SHEET NAME
G0-01	COVER SHEET
A0-01	SITE PLAN
A0-10	EXISTING / DEMO PLAN
A0-20	EXISTING ELEVATIONS
A1-10	PROPOSED PLAN & 3D's
A1-11	ENLARGED FLOOR PLAN
A1-12	ENLARGED FLOOR PLANS
A1-13	ROOF PLAN & FRAMING
A1-30	SECTIONS
A1-20	PROPOSED ELEVATIONS
A2-03	PROPOSED ELEVATION 3D'S

PROJECT DESCRIPTION/CODE INFORMATION

PROJECT IS A RENOVATION TO A SINGLE STORY MULTI UNIT APARTMENT, WITH MINOR ADJUSTMENTS TO THE UNITS, AS WELL AS A NEW GABLE ROOF TO REPLACE THE EXISTING HIP ROOF. EXISTING FOOTPRINT REMAIN THE SAME.

ZONING:

PROJECT ADDRESS: (REFER TO SITE PLAN AND SURVEY FOR ADDITIONAL LOT INFORMATION)

AREA SUMMARY:

EXISTING/PROPOSED UNIT AREA'S	
LEVEL	AREA
UNIT #1	805.23 SF
UNIT #2	573.10 SF
UNIT #3	523.93 SF
UNIT #4	632.12 SF
UNIT #5	652.89 SF
	3,187.28 SF

CODE COMPLIANCE:

THIS PROJECT SHALL COMPLY WITH THE MOST RECENT CODES FOR ATLANTA, GEORGIA, INCLUDING ALL GEORGIA AMENDMENTS AND RELATED APPENDICES:

- INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FIRE CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL FUEL & GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL ELECTRICAL CODE, 2017 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NFPA 101, LIFE SAFETY CODE, 2018 EDITION, WITH STATE AMENDMENTS (2020)

DRAWING INDEX

	DRAWING - WALL SECTION	ROOM NAME	ROOM NAME AND NUMBER
	0' - 0"	REQUIRED CLEAR DIMENSION	
	0' - 0"	DIMENSION TO FACE FINISH	
	0' - 0" A.F.F.	ELEVATION DATUM	
		EXISTING WALL TO REMAIN	
		NEW WALL	
		DOOR NUMBER	
		WINDOW NUMBER	



154 Krog Street, #125
Atlanta, GA 30307
404-218-8460

APARTMENT RENOVATION

782 DIXIE AVE.
ATLANTA, GA 30307

stamp:

This drawing is the property of Wright Gardner Architect, LLC. and is not to be reproduced or copied in whole or in part. It is to be used only for the project and site specified. No other use is to be made on any other project. It is to be returned upon request. ©2021 Wright Gardner Architect, LLC.

revisions

No.	Description	Date

sheet title:

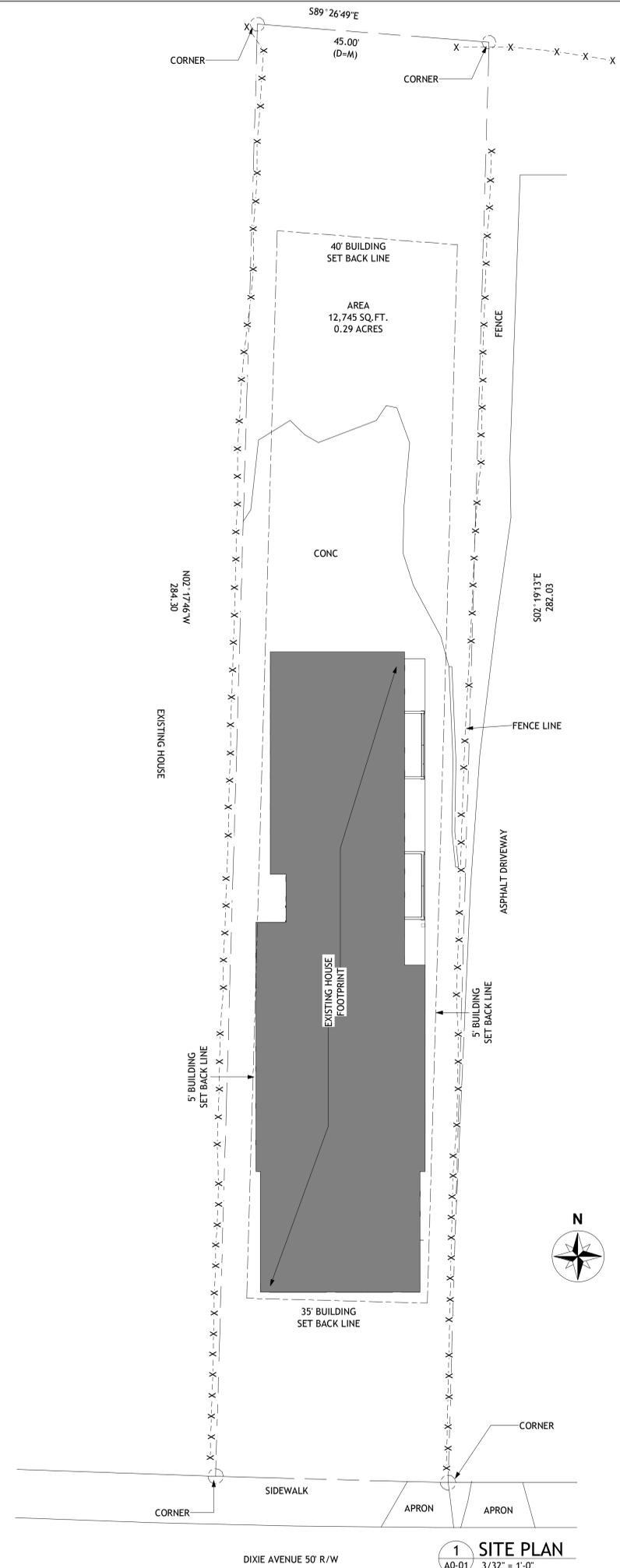
COVER SHEET

project number: 21-005
drawing date: 02.01.2021
scale: as noted

sheet number:

G0-01

NOT ISSUED FOR CONSTRUCTION
ISSUED FOR CONSTRUCTION



**APARTMENT
RENOVATION**

stamp:

This drawing is the property of WRIGHT GARDNER ARCHITECT, LLC. and is not to be reproduced or copied in whole or in part. It is to be used only for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request. ©2021 WRIGHT GARDNER ARCHITECT, LLC.

revisions

No.	Description	Date

sheet title:
SITE PLAN

project number: 21-005
drawing date: 02.01.2021
scale: as noted

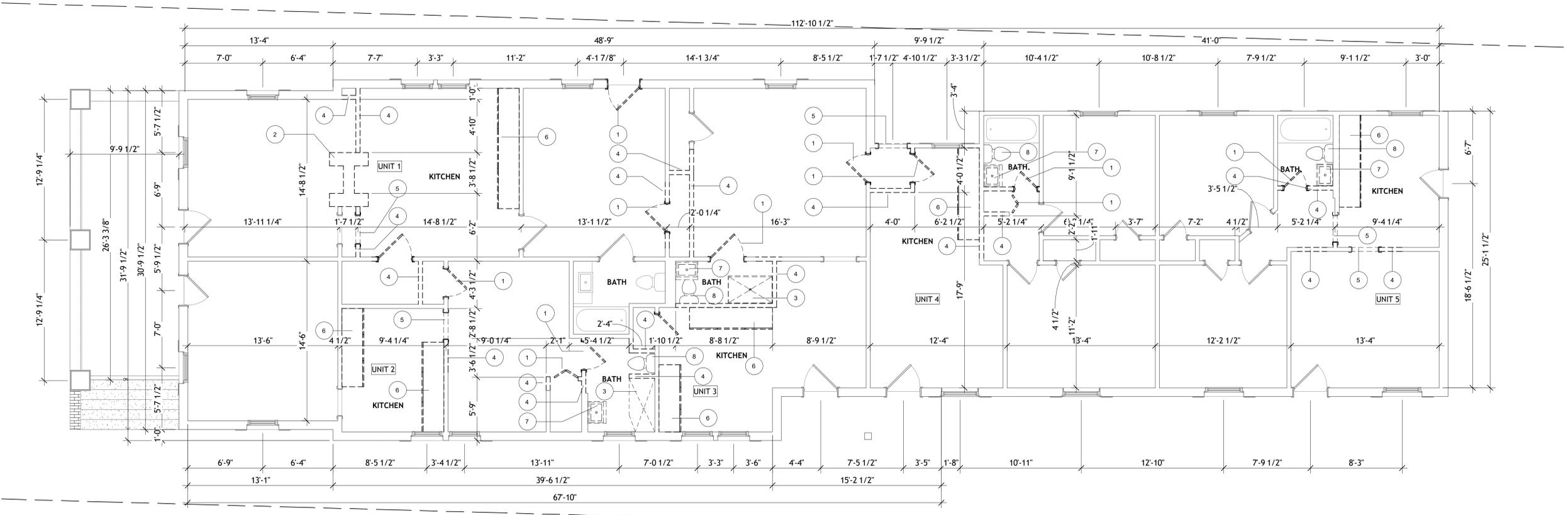
sheet number:
A0-01
 NOT ISSUED FOR CONSTRUCTION
 ISSUED FOR CONSTRUCTION

1 SITE PLAN
3/32" = 1'-0"

GENERAL DEMOLITION NOTES:	
1	CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND TO NOTIFY OWNER OF ANY DISCREPACIES
2	CONTRACTORS SHALL NOT DEMOLISH ANY LOAD BEARING WALLS OR CONSTRUCTION THAT WILL COMPROMISE THE STRUCTURAL INTEGRITY OF THE STRUCTURE. NOTIFY OWNER OF ANY STRUCTURAL ISSUES ARISING FROM DEMOLITION
3	RE-USE ALL EXISTING FLOOR POWER AND COMMUNICATION OUTLETS THROUGHOUT WHERE POSSIBLE, PROVIDE NEW OUTLETS PER ELECTRICAL CODE REQUIREMENTS
4	RELOCATE ALL EXISTING MECHANICAL DUCTWORK & EQUIPMENT TO WORK WITH NEW CONSTRUCTION
5	WHERE PARTITION DEMOLITION OCCURS ADJACENT TO EXISTING TO REMAIN, PATCH AND REPAIR ADJACENT CONDITIONS FOR FINAL FINISHES
6	ITEMS DAMAGED DURING DEMOLITION BEYOND SCOPE OF DEMOLITION. REQUIREMENTS SHALL BE REPAIRED OR REPLACED TO LIKE NEW CONDITION AT NO ADDITIONAL COST TO OWNER

DEMO. KEYNOTES	
NUMBER	KEYNOTE
1	REMOVE EXISTING DOOR AND FRAME
2	REMOVE EXISTING FIREPLACE
3	REMOVE EXISTING SHOWER AND FIXTURES
4	EXISTING NON LOAD BEARING & LOAD BEARING WALLS TO BE DEMOLISHED
5	REMOVE EXISTING CASED OPENING
6	REMOVE ALL EXISTING EQUIPMENT, MILLWORK FIXTURES AND FURNITURE THROUGHOUT (U.O.N)
7	REMOVE EXISTING SINK & VANITY, SAVE SINK TO BE RE-USED. MAINTAIN PLUMBING CONNECTIONS
8	REMOVE AND SAVE EXISTING WC TO BE RE-INSTALLED @ NEW POSITION

EXISTING/PROPOSED UNIT AREA'S	
LEVEL #1	AREA
UNIT #1	805.23 SF
UNIT #2	573.10 SF
UNIT #3	523.93 SF
UNIT #4	632.12 SF
UNIT #5	652.89 SF
	3,187.28 SF



**APARTMENT
RENOVATION**

stamp:

This drawing is the property of Wright Gardner Architect, LLC, and is not to be reproduced or copied in whole or in part. It is to be used only for the project and site specified. Any other use is prohibited. ©2021 Wright Gardner Architect, LLC.

revisions		
No.	Description	Date

sheet title:

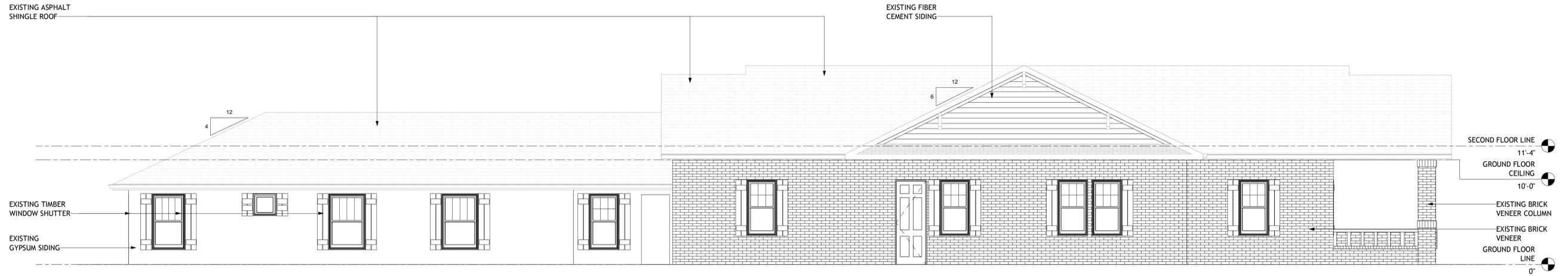
**EXISTING /
DEMO PLAN**

project number: 21-005
drawing date: 02.01.2021
scale: as noted

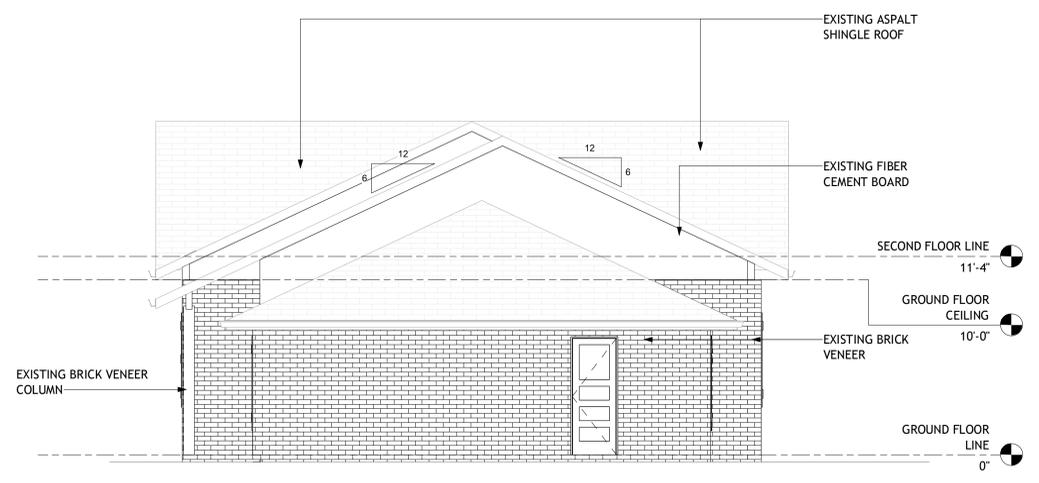
sheet number:

A0-10
■ NOT ISSUED FOR CONSTRUCTION
□ ISSUED FOR CONSTRUCTION

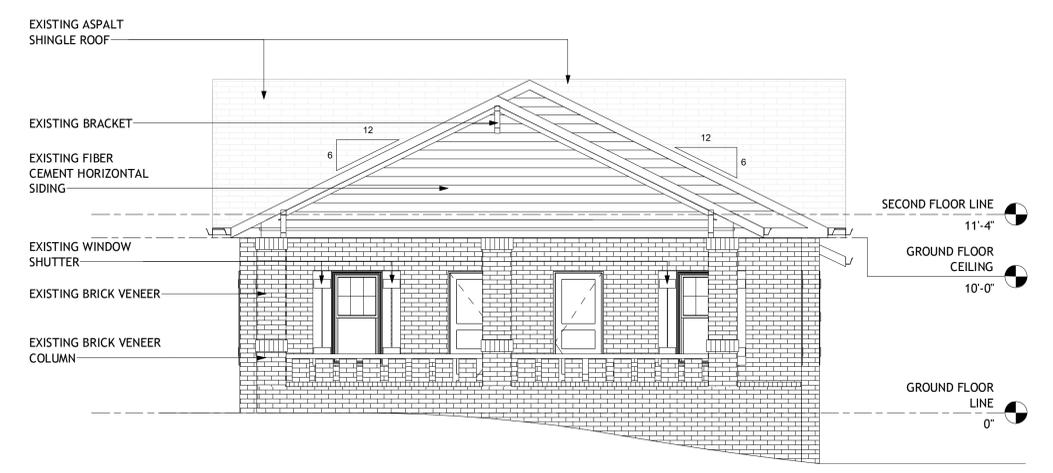
1
A0-10 1/4" = 1'-0" **GROUND FLOOR EXISTING / DEMO**



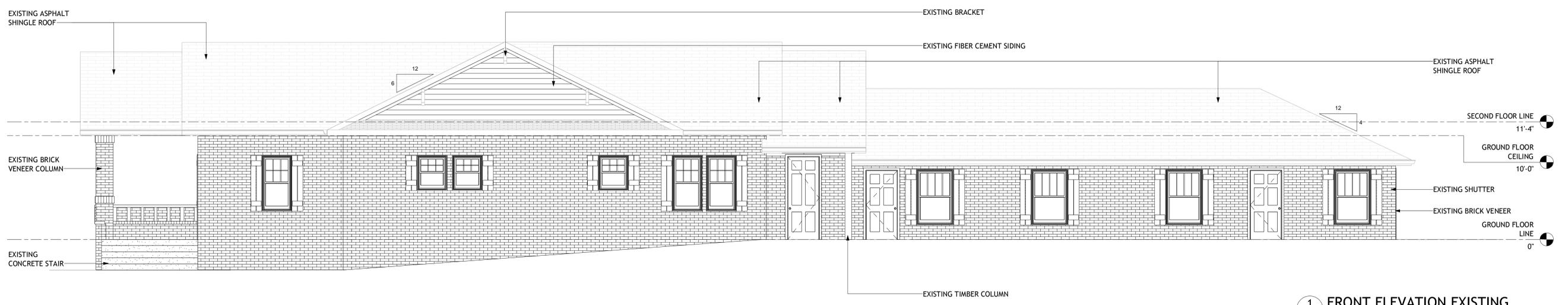
3 REAR ELEVATION EXISTING
A0-20 1/4" = 1'-0"



4 RIGHT-SIDE ELEVATION EXISTING
A0-20 1/4" = 1'-0"



2 LEFT-SIDE ELEVATION EXISTING
A0-20 1/4" = 1'-0"



1 FRONT ELEVATION EXISTING
A0-20 1/4" = 1'-0"

**APARTMENT
RENOVATION**

stamp:

This drawing is the property of WRIGHT GARDNER ARCHITECT, LLC, and is not to be reproduced or copied in whole or in part. It is to be used only for the project and site specifically identified herein and is not to be used on any other project. It is to be returned upon request. ©2021 WRIGHT GARDNER ARCHITECT, LLC.

revisions

No.	Description	Date

sheet title:

**EXISTING
ELEVATIONS**

project number: 21-005
drawing date: 02.01.2021
scale: as noted

sheet number:

A0-20

NOT ISSUED FOR CONSTRUCTION
ISSUED FOR CONSTRUCTION



3 3D View 2

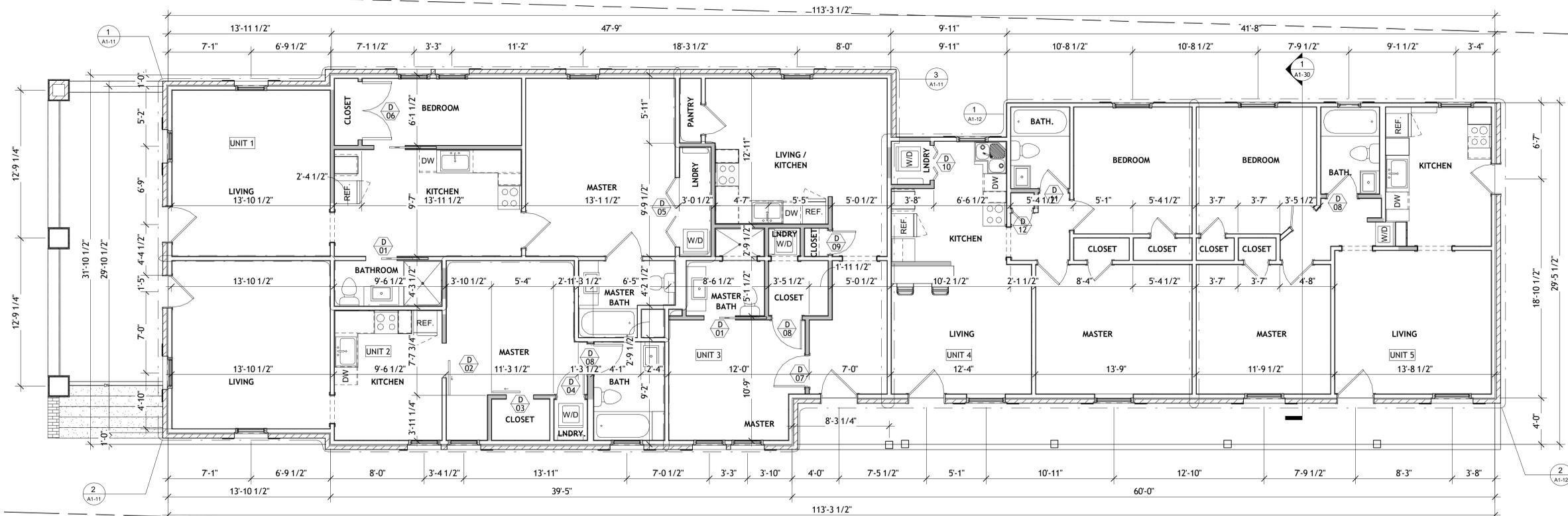


2 3D View 1

DOOR SCHEDULE				
TYPE MARK	COUNT	WIDTH	HEIGHT	DESCRIPTION
01	3	2'-8"	8'-0"	CAVITY SLIDER
02	1	3'-0"	8'-0"	SLIDING TRACK DOOR
03	1	2'-4"	8'-0"	SLIDING TRACK DOOR
04	1	2'-4"	8'-0"	SOLID CORE SNGL SWING
05	1	6'-0"	8'-0"	(4) BIFOLD
06	1	5'-0"	8'-0"	SOLID CORE DOUBLE DOOR
07	1	2'-8"	8'-0"	SOLID CORE SNGL SWING
08	3	2'-6"	8'-0"	SOLID CORE SNGL SWING
09	1	2'-0"	8'-0"	SOLID CORE SNGL SWING
10	1	3'-0"	6'-8"	(4) BIFOLD
11	1	2'-4"	6'-8"	SOLID CORE SNGL SWING
12	1	1'-8"	6'-8"	SOLID CORE SNGL SWING
13	1	2'-10"	8'-0"	SOLID CORE SNGL SWING

NOTE:
ANY DOORS & WINDOWS NOT TAGGED
SHALL BE CONSIDERED TO BE EXISTING

WALL LEGEND
 = PROPOSED NEW 3 1/2" STUD WALL
 NOTE: ALL OTHER WALLS TO BE CONSIDERED AS EXISTING



stamp:

This drawing is the property of Wright Gardner Architect, LLC, and is not to be reproduced or copied in whole or in part. It is to be used for the project and the specific location shown and is not to be used on any other project. It is to be returned upon request. ©2021 Wright Gardner Architect, LLC.

revisions

No.	Description	Date

sheet title:
PROPOSED PLAN & 3D's

project number: 21-005
drawing date: 02.01.2021
scale: as noted

sheet number:

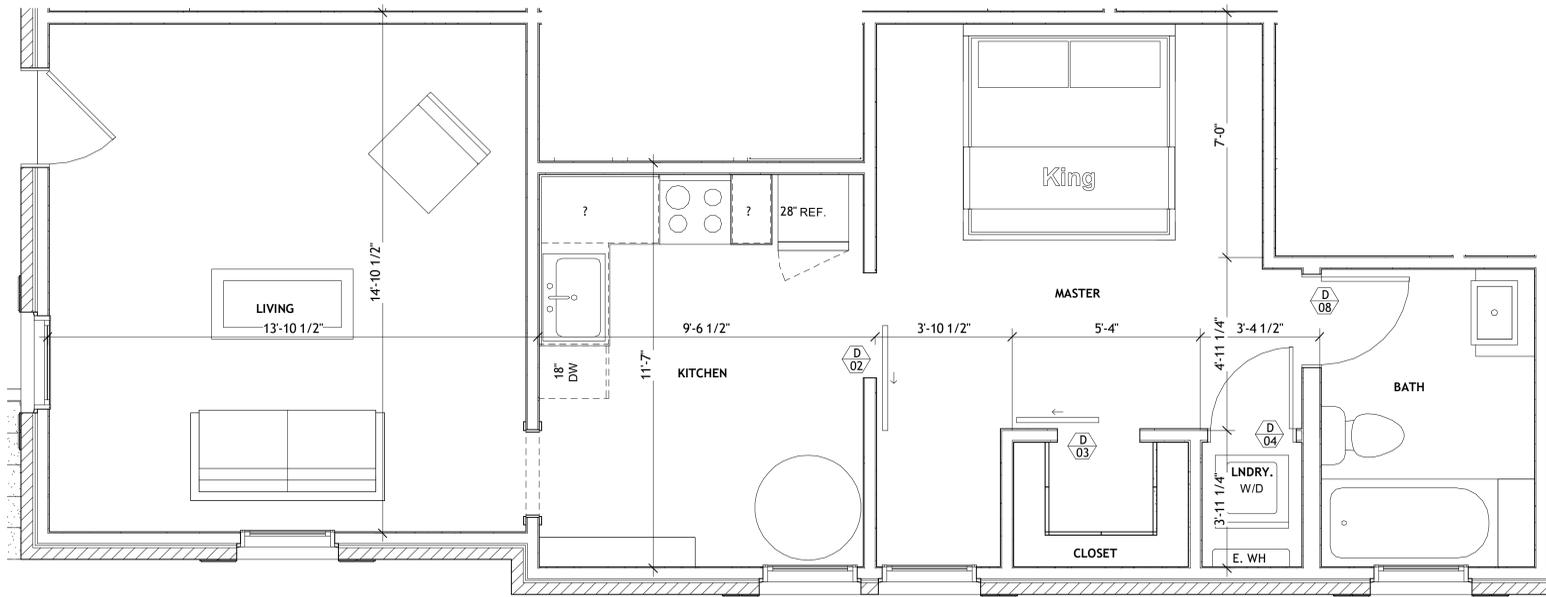
A1-10
 NOT ISSUED FOR CONSTRUCTION
 ISSUED FOR CONSTRUCTION

 **1** GROUND FLOOR PROPOSED
 A1-10 1/4" = 1'-0"

APARTMENT RENOVATION

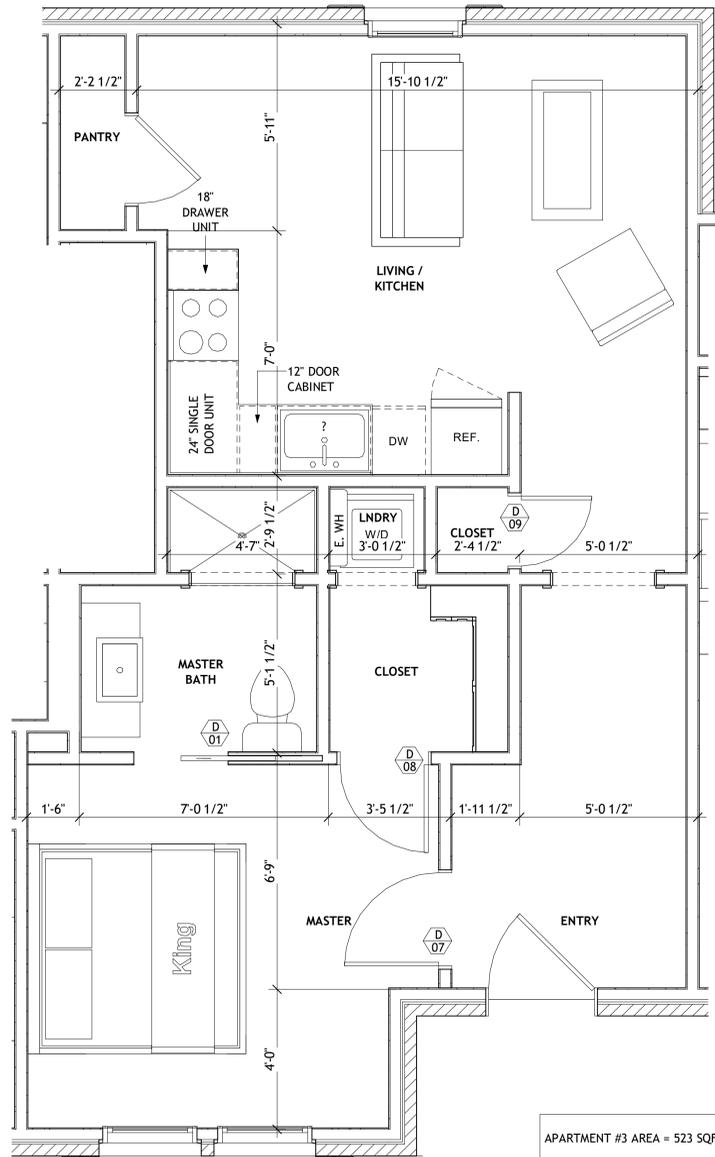
DOOR SCHEDULE				
TYPE MARK	COUNT	WIDTH	HEIGHT	DESCRIPTION
01	3	2'-8"	8'-0"	CAVITY SLIDER
02	1	3'-0"	8'-0"	SLIDING TRACK DOOR
03	1	2'-4"	8'-0"	SLIDING TRACK DOOR
04	1	2'-4"	8'-0"	SOLID CORE SNGL SWING
05	1	6'-0"	8'-0"	(4) BIFOLD
06	1	5'-0"	8'-0"	SOLID CORE DOUBLE DOOR
07	1	2'-8"	8'-0"	SOLID CORE SNGL SWING
08	3	2'-6"	8'-0"	SOLID CORE SNGL SWING
09	1	2'-0"	8'-0"	SOLID CORE SNGL SWING
10	1	3'-0"	6'-8"	(4) BIFOLD
11	1	2'-4"	6'-8"	SOLID CORE SNGL SWING
12	1	1'-8"	6'-8"	SOLID CORE SNGL SWING
13	1	2'-10"	8'-0"	SOLID CORE SNGL SWING

NOTE:
ANY DOORS & WINDOWS NOT TAGGED
SHALL BE CONSIDERED TO BE EXISTING



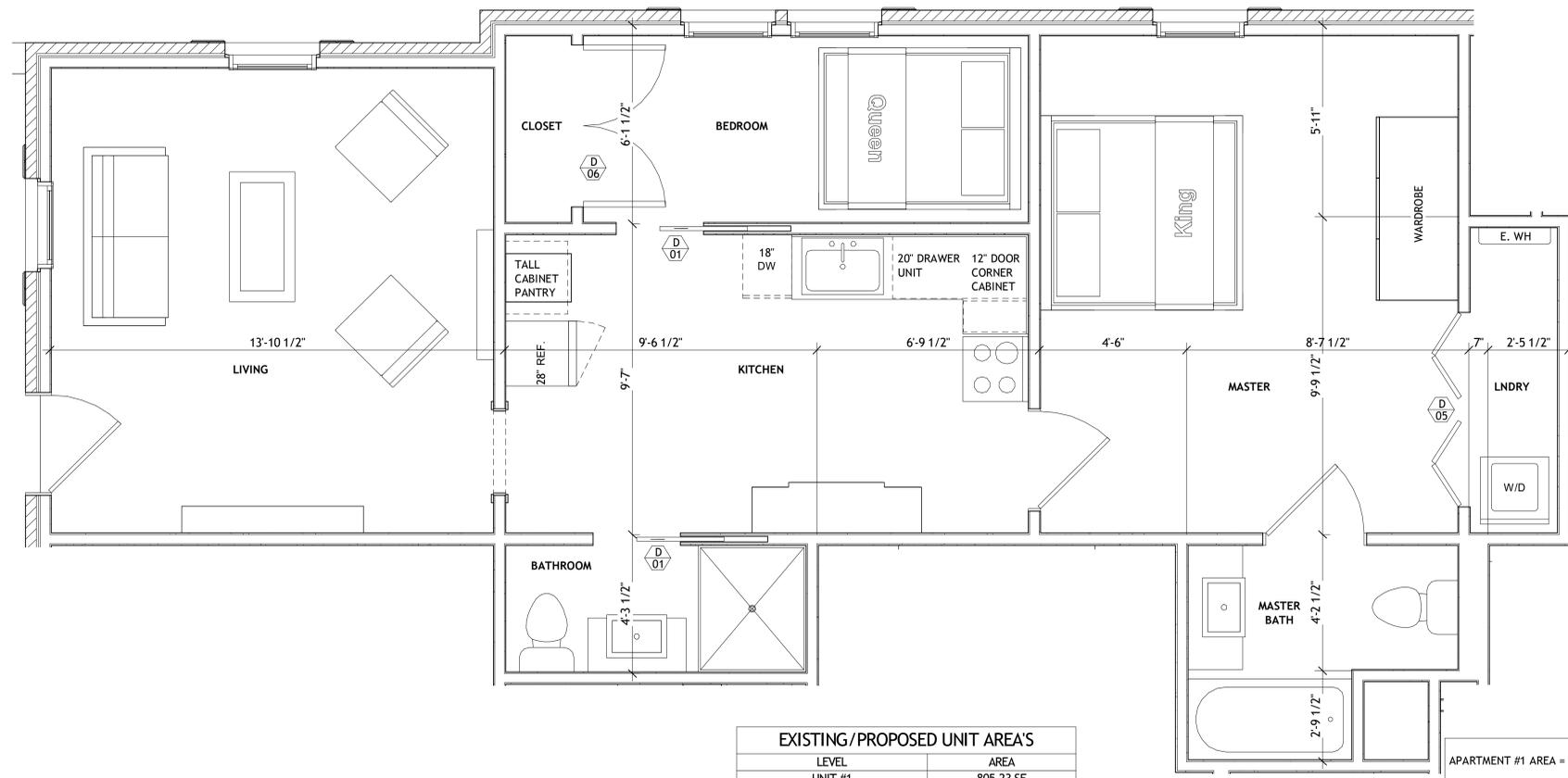
APARTMENT #2 AREA = 573 SQFT

2 APARTMENT #2 ENLARGED PLAN
A1-11 1/2" = 1'-0"



APARTMENT #3 AREA = 523 SQFT

3 APARTMENT #3 ENLARGED PLAN
A1-11 1/2" = 1'-0"



APARTMENT #1 AREA = 746 SQFT

EXISTING/PROPOSED UNIT AREA'S	
LEVEL	AREA
UNIT #1	805.23 SF
UNIT #2	573.10 SF
UNIT #3	523.93 SF
UNIT #4	632.12 SF
UNIT #5	652.89 SF
	3,187.28 SF

1 APARTMENT #1 ENLARGED PLAN
A1-11 1/2" = 1'-0"

**APARTMENT
RENOVATION**

stamp:

This drawing is the property of Wright Gardner Architect, LLC, and is not to be reproduced or copied in whole or in part. It is to be used for the project and the specific location shown and is not to be used on any other project. It is to be returned upon request.
©2021 Wright Gardner Architect, LLC.

revisions	No.	Description	Date

sheet title:
**ENLARGED
FLOOR PLAN**

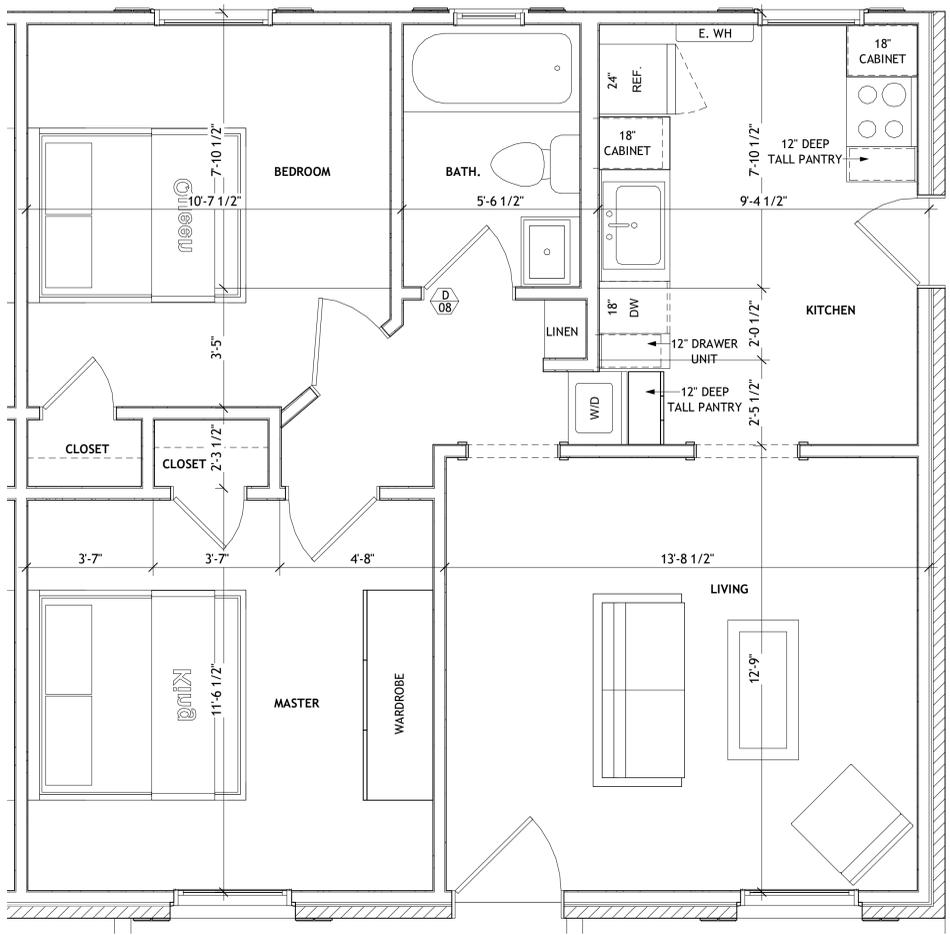
project number: 21-005
drawing date: 02.01.2021
scale: as noted

sheet number:

A1-11
NOT ISSUED FOR CONSTRUCTION
ISSUED FOR CONSTRUCTION

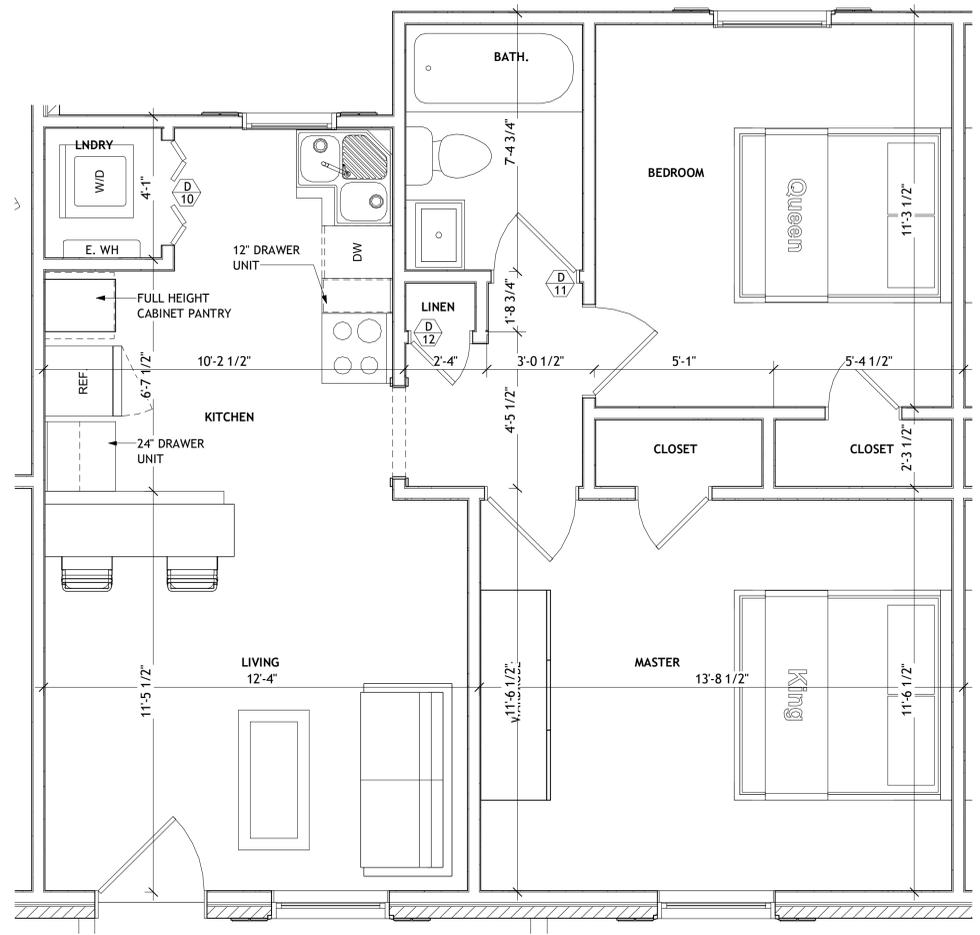
DOOR SCHEDULE				
TYPE MARK	COUNT	WIDTH	HEIGHT	DESCRIPTION
01	3	2'-8"	8'-0"	CAVITY SLIDER
02	1	3'-0"	8'-0"	SLIDING TRACK DOOR
03	1	2'-4"	8'-0"	SLIDING TRACK DOOR
04	1	2'-4"	8'-0"	SOLID CORE SNGL SWING
05	1	6'-0"	8'-0"	(4) BIFOLD
06	1	5'-0"	8'-0"	SOLID CORE DOUBLE DOOR
07	1	2'-8"	8'-0"	SOLID CORE SNGL SWING
08	3	2'-6"	8'-0"	SOLID CORE SNGL SWING
09	1	2'-0"	8'-0"	SOLID CORE SNGL SWING
10	1	3'-0"	6'-8"	(4) BIFOLD
11	1	2'-4"	6'-8"	SOLID CORE SNGL SWING
12	1	1'-8"	6'-8"	SOLID CORE SNGL SWING
13	1	2'-10"	8'-0"	SOLID CORE SNGL SWING

NOTE:
ANY DOORS & WINDOWS NOT TAGGED
SHALL BE CONSIDERED TO BE EXISTING



APARTMENT #5 AREA = 652 SQFT

2 APARTMENT #5 ENLARGED FLOOR PLAN
A1-12 1/2" = 1'-0"



APARTMENT #4 AREA = 632 SQFT

1 APARTMENT #4 ENLARGED PLAN
A1-12 1/2" = 1'-0"

EXISTING/PROPOSED UNIT AREA'S	
LEVEL	AREA
UNIT #1	805.23 SF
UNIT #2	573.10 SF
UNIT #3	523.93 SF
UNIT #4	632.12 SF
UNIT #5	652.89 SF
	3,187.28 SF

**APARTMENT
RENOVATION**

stamp:

This drawing is the property of Wright Gardner Architect, LLC, and is not to be reproduced or copied in whole or in part. It is to be used for the project and the specific location shown and is not to be used on any other project. It is to be returned upon request. ©2021 Wright Gardner Architect, LLC.

revisions

No.	Description	Date

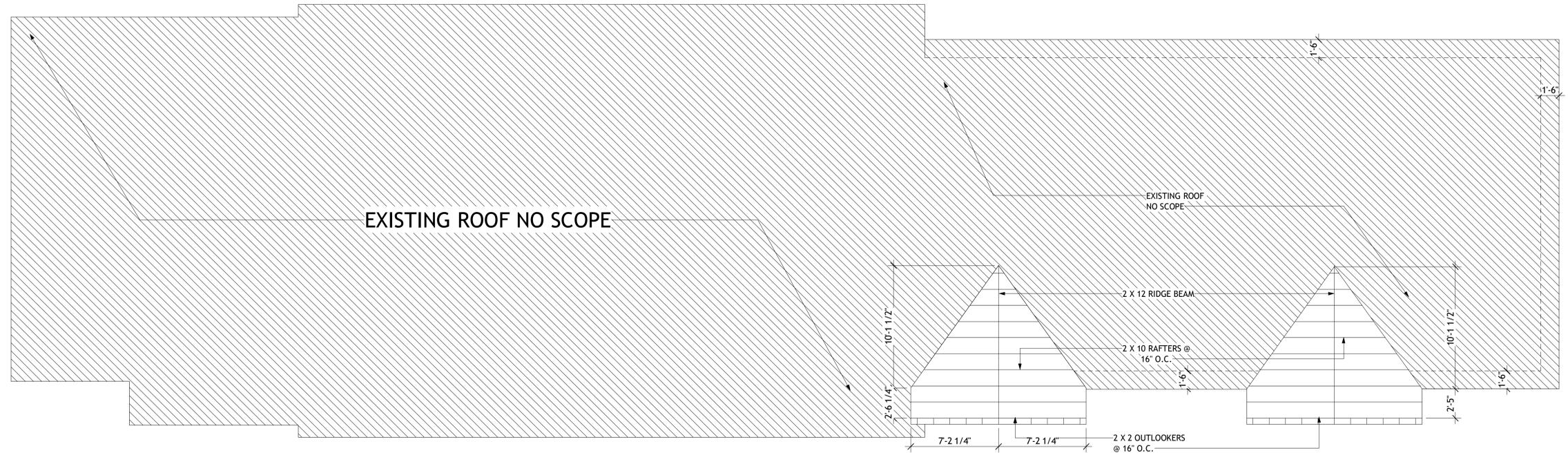
sheet title:

**ENLARGED
FLOOR PLANS**

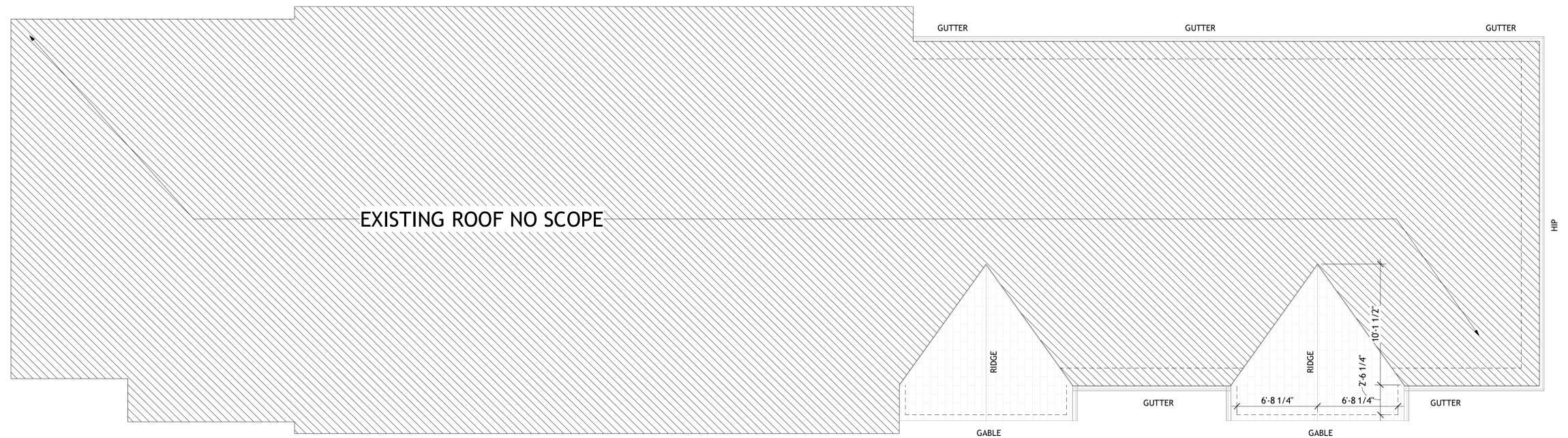
project number: 21-005
drawing date: 02.01.2021
scale: as noted

sheet number:

A1-12
■ NOT ISSUED FOR CONSTRUCTION
□ ISSUED FOR CONSTRUCTION



2 ROOF FRAMING PLAN
A1-13 1/4" = 1'-0"



1 ROOF PLAN
A1-13 1/4" = 1'-0"

stamp:

This drawing is the property of WRIGHT GARDNER ARCHITECT, LLC, and is not to be reproduced or copied in whole or in part. It is to be used for the project and the specific location shown and is not to be used on any other project. It is to be returned upon request. ©2021 WRIGHT GARDNER ARCHITECT, LLC.

revisions

No.	Description	Date

sheet title:

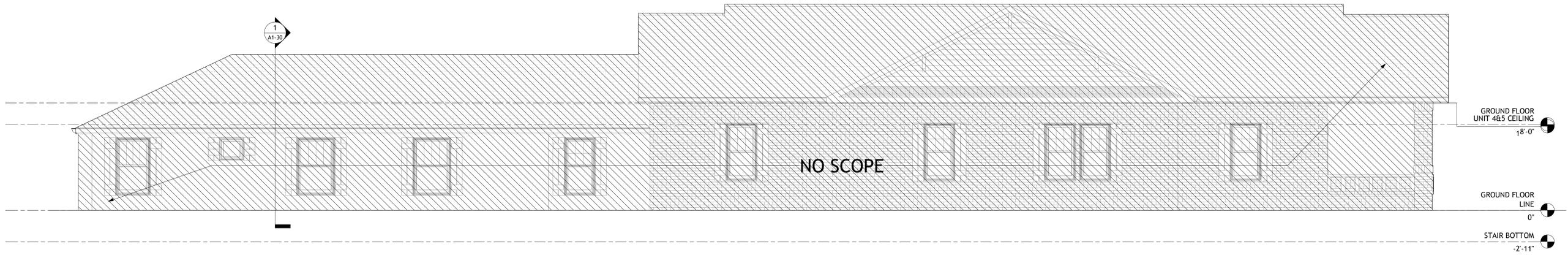
ROOF PLAN & FRAMING

project number: 21-005
drawing date: 02.01.2021
scale: as noted

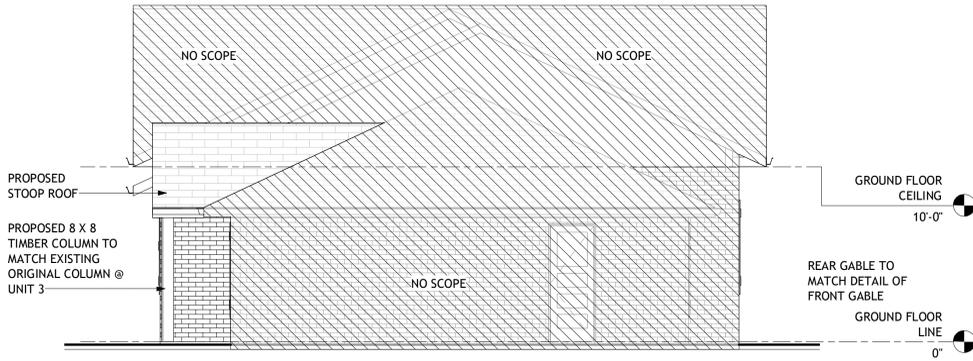
sheet number:

A1-13

NOT ISSUED FOR CONSTRUCTION
ISSUED FOR CONSTRUCTION



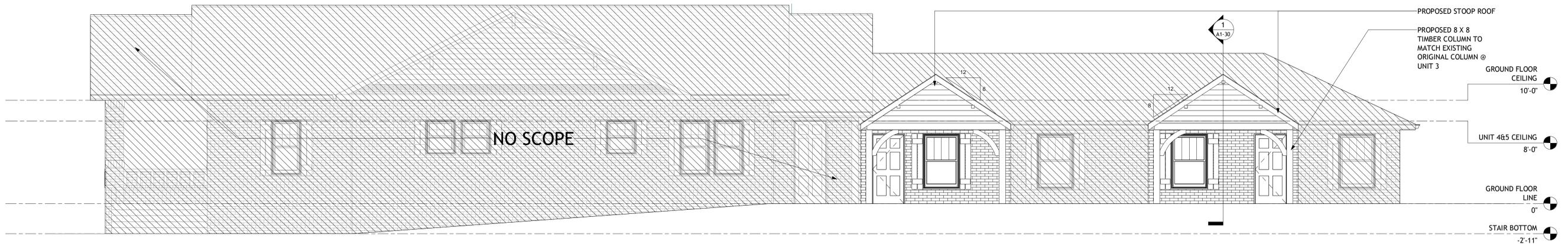
4 REAR ELEVATION PROPOSED
A1-20 1/4" = 1'-0"



3 RIGHT-SIDE ELEVATION PROPOSED
A1-20 1/4" = 1'-0"



2 LEFT-SIDE ELEVATION PROPOSED
A1-20 1/4" = 1'-0"



1 FRONT ELEVATION PROPOSED
A1-20 1/4" = 1'-0"

**APARTMENT
RENOVATION**

stamp:

This drawing is the property of Wright Gardner Architect, LLC, and is not to be reproduced or copied in whole or in part. It is to be used for the project and the specific location named herein and is not to be used on any other project. It is to be returned upon request. ©2021 Wright Gardner Architect, LLC.

revisions

No.	Description	Date

sheet title:

**PROPOSED
ELEVATIONS**

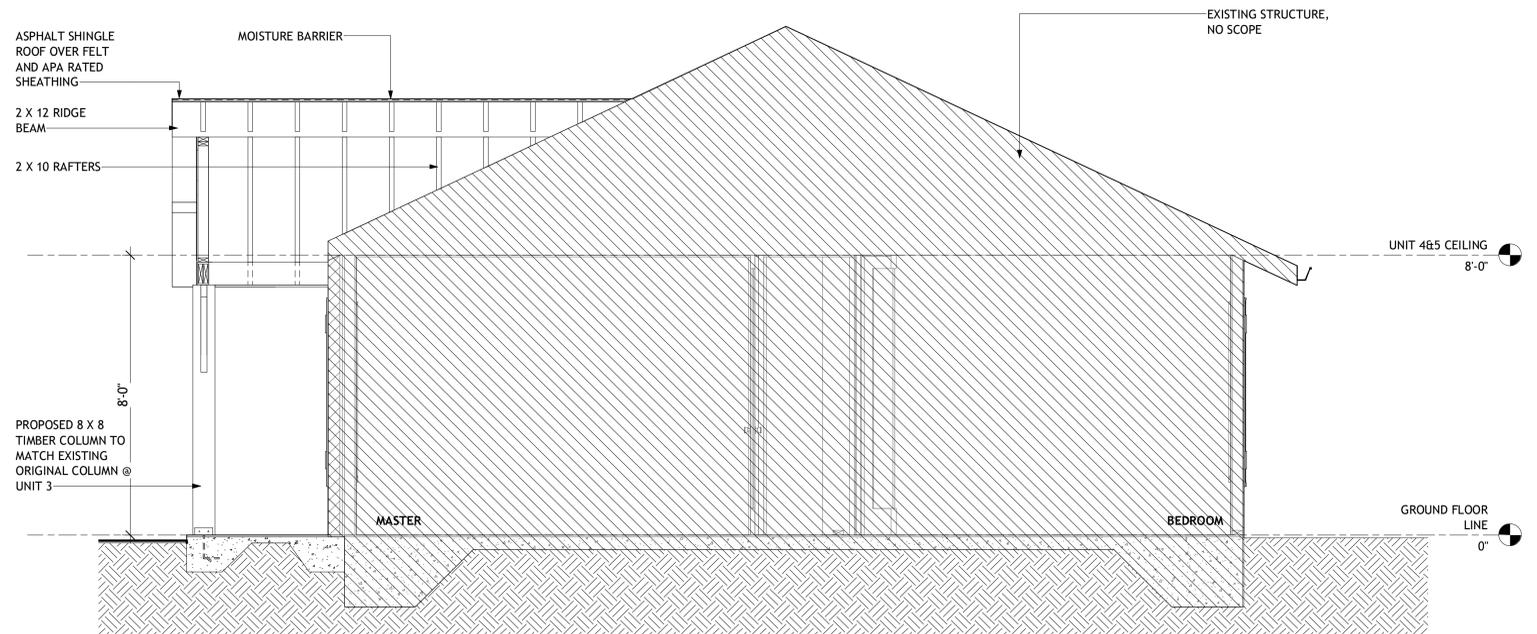
project number: 21-005
drawing date: 02.01.2021
scale: as noted

sheet number:

A1-20

■ NOT ISSUED FOR CONSTRUCTION
□ ISSUED FOR CONSTRUCTION

**APARTMENT
RENOVATION**



stamp:

This drawing is the property of WRIGHT GARDNER ARCHITECT, LLC, and is not to be reproduced or copied in whole or in part. It is to be used for the project and for specific operations herein and is not to be used on any other project. It is to be returned upon request. ©2021 WRIGHT GARDNER ARCHITECT, LLC.

revisions

No.	Description	Date

sheet title:

SECTIONS

project number: 21-005
drawing date: 02.01.2021
scale: as noted

sheet number:

A1-30
 NOT ISSUED FOR CONSTRUCTION
 ISSUED FOR CONSTRUCTION

1 PROPOSED SECTION #1
A1-30 1/2" = 1'-0"