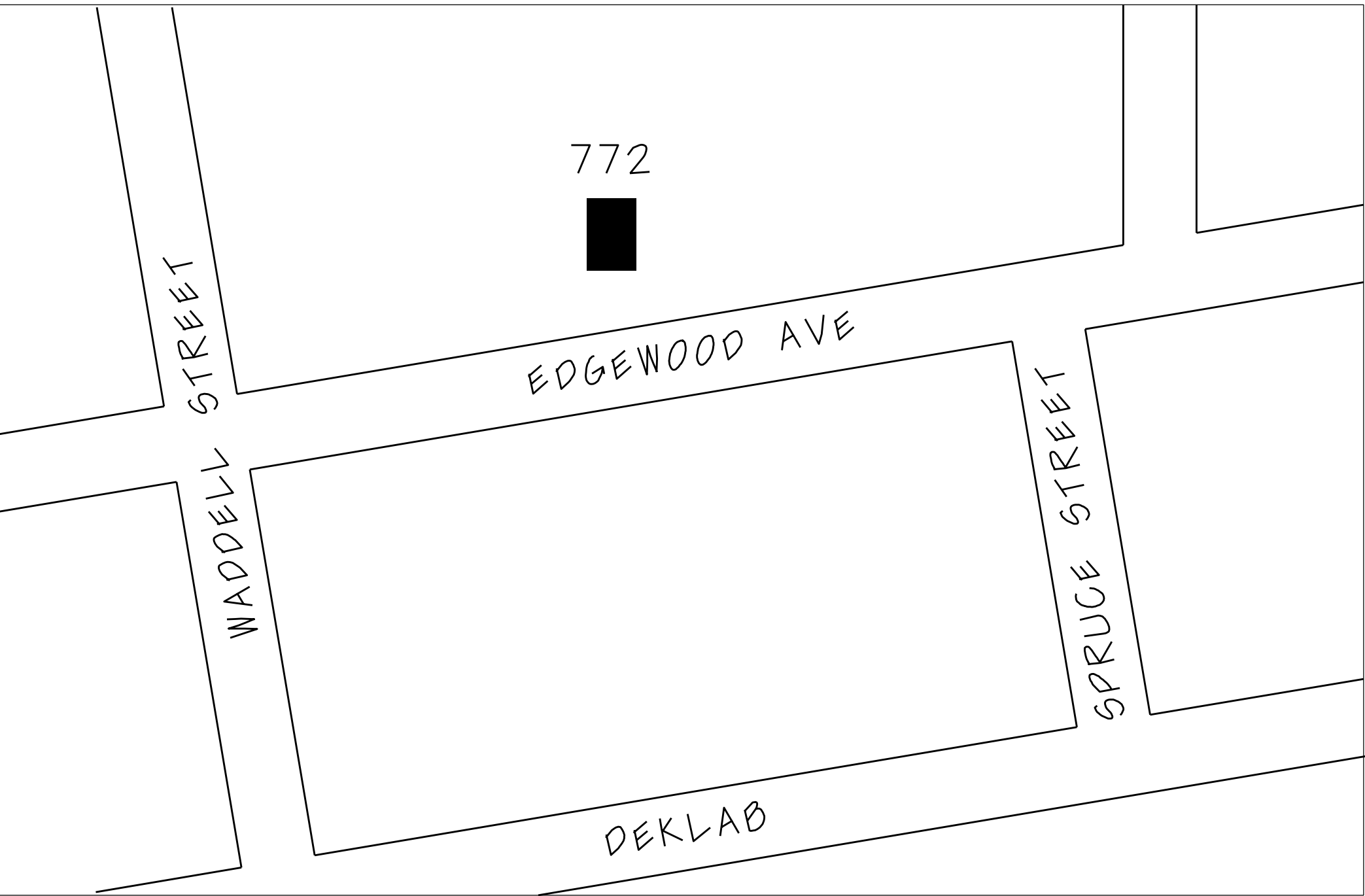


NEW PORCH FOR:

772 EDGEWOOD AVENUE, NE
ATLANTA, GEORGIA 30307

LOCATION MAP



PROJECT TEAM:

OWNER:

ANNA KILINSKI

404.808.1528

ANNAK@ANNAKINTOWN.COM

CONTRACTOR:

JESSICA MURPHY

HAMMER + HARMONY

731.697.3961

JESSICA@HAMMERANDHARMONY.COM

ARCHITECT:

ALLYSON MCCARTHY

TURCO MCCARTHY, LLC

404.395.4569

ALLYSON@TURCOMCCARTHY.COM

CIVIL:

BRYAN RUSSELL

THE CONTINUED GROUP

770.335.9403

BRYAN.RUSSELL@THECONTINOGROUP.COM

STRUCTURE:

GARY KOBLASZ

KOBLASZ & KENNISON

404.860.2600

GARY@KK-ENG.COM

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE, 2018 EDITION
WITH GEORGIA AMENDMENTS 2020

INTERNATIONAL FIRE CODE, 2018 EDITION
WITH GEORGIA AMENDMENTS 2020

INTERNATIONAL PLUMBING CODE, 2018 EDITION
WITH GEORGIA AMENDMENTS 2020

INTERNATIONAL MECHANICAL CODE, 2018 EDITION
WITH GEORGIA AMENDMENTS 2020

INTERNATIONAL FUEL GAS CODE, 2018 EDITION
WITH GEORGIA AMENDMENTS 2020

INTERNATIONAL ELECTRICAL CODE, 2020 EDITION
WITH GEORGIA AMENDMENTS 2021

INTERNATIONAL ENERGY CONSERVATION CODE,
2015 EDITION WITH GEORGIA AMENDMENTS 2020

ZONING

ZIP CODE: 30307, CITY OF ATLANTA

ZONING / LAND USE: R-5, NON CONFORMING
BUSINESS OCCUPANCY - SEE CITY
OF ATLANTA VERIFICATION OF ZONING
CLASSIFICATION DOCUMENT

INMAN PARK HISTORIC DISTRICT HC20LAC1

LOT SIZE: SEE SURVEY

LOT COVERAGE: 55% MAX

MAXIMUM HEIGHT: 35'-0"

SETBACKS: 30' FRONT, 7' SIDES, 7' REAR

SCOPE OF WORK

CLIENT IS ADDING A NEW COVERED
PORCH TO THE EXISTING
BUILDING. IT INCLUDES REPLACING
THE FRONT DOOR WITHIN THE SAME
FRAME SYSTEM.

THE DORMER VENT IS ALSO BEING
REMOVED AND REPLACED WITH A
WINDOW SYSTEM. THE ACTUAL DORMER
IS BEING RETAINED.

A NEW FENCE IS TO BE INSTALLED
TO MEET SAFETY CODE CONDITIONS.

RELEASED FOR CONSTRUCTION

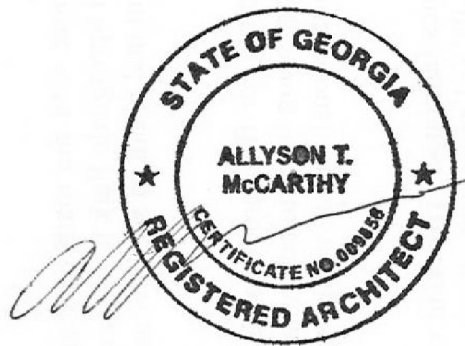


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PROJECT NO.: 2021-26

ISSUED * DATE

PERMIT PACKAGE:
12-20-2021

COVER SHEET

A0.0

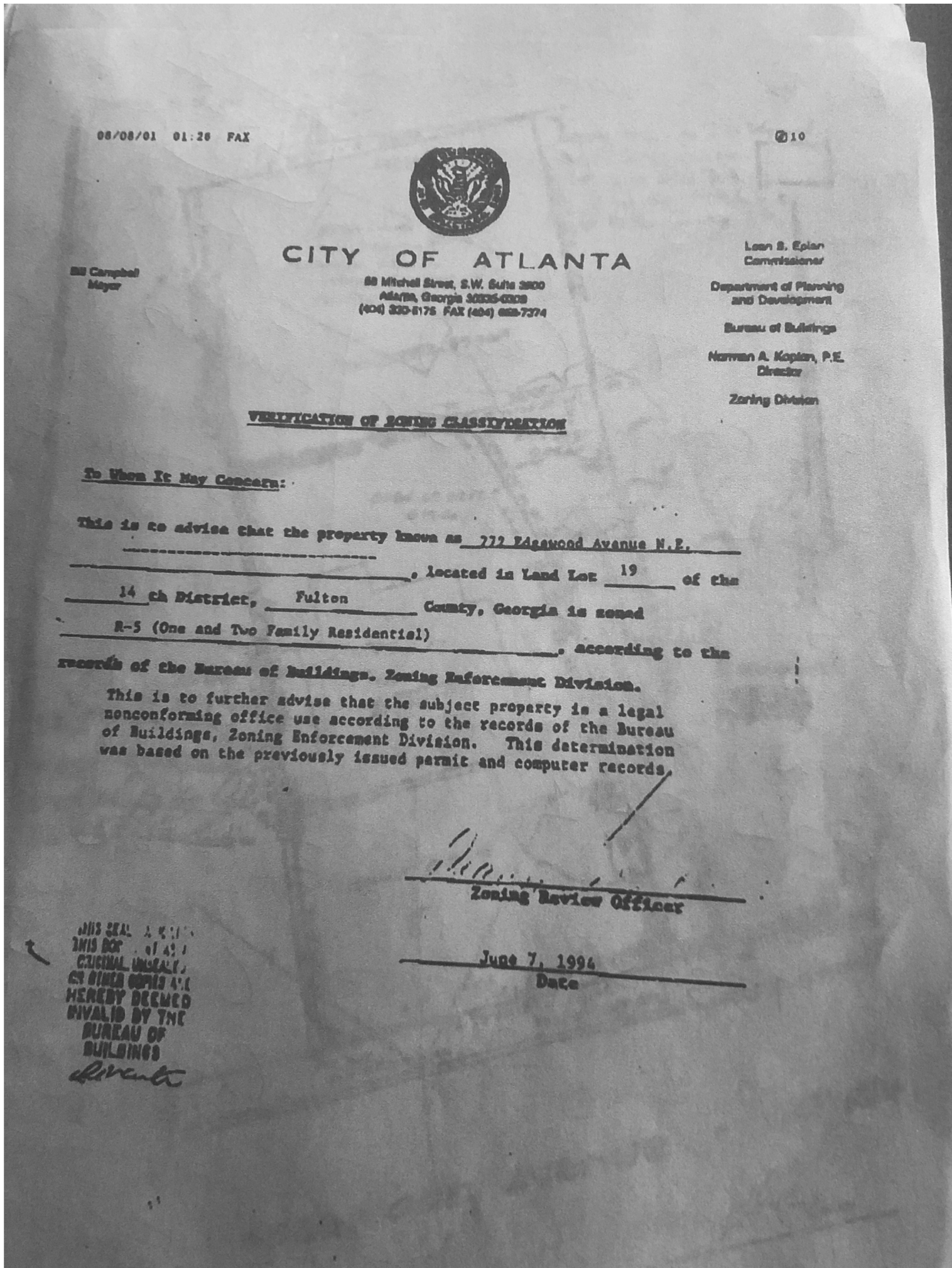
SCALE: NONE

DRAWING LIST

A0.0	COVER SHEET
A0.1	GENERAL NOTES & ABBREVIATIONS
A0.2	COMPATABILITY STUDIES
AE2.1	EXISTING FLOOR PLAN
A2.1	NEW FRONT PORCH PLAN & RCP PLAN
A2.2	EXISTING & NEW ROOF PLANS
AE4.1	EXISTING EXTERIOR ELEVATIONS
AE4.2	EXISTING & NEW EXTERIOR ELEVATIONS
A4.1	NEW EXTERIOR ELEVATIONS
A5.1	NEW PORCH WALL SECTION

SQUARE FOOTAGE CHART

EXISTING SF HEATED:	
TOTAL EXISTING:	3,357 SF
NEW PROPOSED SF HEATED:	
NEW SF:	0 SF
UNHEATED SF:	
NEW PORCH:	368 SF
UNHEATED ALTERED INTO HEATED ALTERED:	
	0



LEGAL NON CONFORMING USE DOCUMENT

GENERAL NOTES

23. THIS PROPERTY IS IN A HISTORIC DISTRICT AND ANY EXTERIOR CHANGES, INCLUDING DOORS AND WINDOWS, OUTSIDE THE APPROVED SCOPE OF WORK IN THIS PERMIT PACKAGE REQUIRES REVIEW BY THE AUDC.

24. NEW INSULATION TO BE R-38 AT ROOF, R-20 AT WALLS AND FLOOR EXPOSED TO NON HEATED SPACE. SLABS ON GRADE DO NOT REQUIRE NEW INSULATION.

25. THIS SCOPE OF WORK PACKAGE IS ONLY FOR THE UPPER LEVEL OFFICE. CONTACT THE OWNER AND ARCHITECT IF THERE IS ANY UNEXPECTED IMPACT TO THE LOWER OFFICE LEVEL THAT WILL REQUIRE PERMIT SUBMISSION.

ABBREVIATIONS

AFF - ABOVE FINISHED FLOOR

AHU - AIR HANDLING UNIT

CONT. - CONTINUOUS

CLR - CLEAR *CLEARANCE*

CMU - CONCRETE MASONRY WALL

DS - DOWNSPOUT

EP - ELECTRICAL PANEL

EQ - EQUAL

FV - FIELD VERIFY

GFI - GROUND FAULT

GWB - GYPSUM WALLBOARD

H2O - WATER HEATER

HDR - HEADER

HORIZ. - HORIZONTAL

HVAC - HEATING, VENTILATION, AIR CONDITIONING

MIN. - MINIMUM

O.C. - ON CENTER

PIP - POURED IN PLACE *CONCRETE*

SF - SQUARE FOOTAGE

TBD - TO BE DETERMINED

TYP - TYPICAL

U.N.O - UNLESS NOTED OTHERWISE

VERT. - VERTICAL

W/ - WITH

GENERAL NOTES

1. THE GENERAL NOTES COVER ALL SHEETS IN THE DRAWING SET

2. ALL INFORMATION IS BASED ON SITE OBSERVATION AND PHOTOS BY ARCHITECT. IF THERE IS AN EXISTING CONDITION DISCREPANCY, NOTIFY OWNER OR ARCHITECT.

3. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND CONDITIONS PRIOR TO WORK STARTING.

4. BRACE ANY WALLS OR DOORS BEING REMOVED PRIOR TO REMOVAL.

5. ANY DISRUPTION OF SERVICES ARE TO BE REPORTED TO OWNER PRIOR TO EVENT.

6. SEE SITE PLANS FOR PARKING LOT IMPACT.

7. GC TO RETAIN EXISTING SITE WALLS. CONSULT THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION OF THE PORCH AND FENCING.

8. GC TO RETAIN AND RE-USE EXISTING DOORS AND DOOR FRAMES TO BE RE-USED.

9. CONTRACTOR TO REPAIR IN KIND ANY ADJACENT FINISHES DAMAGED DUE TO NEW WORK WHETHER ACCIDENTALLY OR DUE TO CONNECTION WITH NEW WORK.

10. WOOD TRIM, DOORS, MILLWORK STYLE TO MATCH EXISTING HOUSE ON MAIN FLOOR WHERE NEW MATERIALS ARE REQUIRED.

11. GC TO COORDINATE EXISTING ELECTRIC PANEL LOCATION WITH ANY NEW SERVICES.

12. COORDINATE NEW LIGHTING FIXTURES SELECTION AND LOCATION WITH OWNER.

13. REFER TO STRUCTURE FOR FOUNDATION, EXISTING CRAWLSPACE WALL REINFORCEMENTS, AND FRAMING DESIGN FOR PORCH AND EXISTING FRONT WALL.

14. ALL NEW FEE, PAINT COLORS, STONE, ETC., TO BE SELECTED BY THE OWNER.

15. ALL MATERIALS TO BE DEMOLISHED, ARE TO BE DISPOSED PER CODE. INFORM OWNER OF ANY ASBESTOS OR LEAD PRIOR TO REMOVAL.

16. WITH NEW FOUNDATIONS FOR POSTS - DO NOT UNDERCUT EXISTING FOUNDATION OR BASEMENT AND CRAWLSPACE WALLS.

17. ANY EXISTING PLUMBING, MECHANICAL OR ELECTRICAL NOT BEING RE USED IS TO BE CAPPED OR REMOVED PER CODE.

18. PREP EXISTING FLOORS FOR NEW FLOOR FINISH SELECTED AND AREAS WHERE THERE IS A TRANSITION SUCH AS KITCHEN AND NEW BATHROOMS.

19. ALL NEW CEILINGS TO BE COORDINATED WITH ELECTRICAL FIXTURES. AND APPROVED WITH OWNER. NO CEILING IS TO BE LESS THAN 7'-6" PER CODE.

DESIGN DOES NOT INCLUDE CEILING HEIGHT CHANGES.

20. GC TO ENGAGE A LICENSED STRUCTURAL ENGINEER FOR NEW BEAMS, FRAMING OR FOUNDATION POST SUPPORT DESIGN.

21. THERE IS NO INTERIOR SCOPE OF WORK ASSOCIATED WITH THIS PERMIT PACKAGE EXCEPT WHERE THE FRONT PORCH CONNECTS TO THE EXISTING.

22. SEE CIVIL DRAWINGS FOR SITE WORK AND STRUCTURAL DRAWINGS FOR ENGINEERING OF SITE WALLS AND PORCH.

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ISSUED * DATE

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12-20-2021

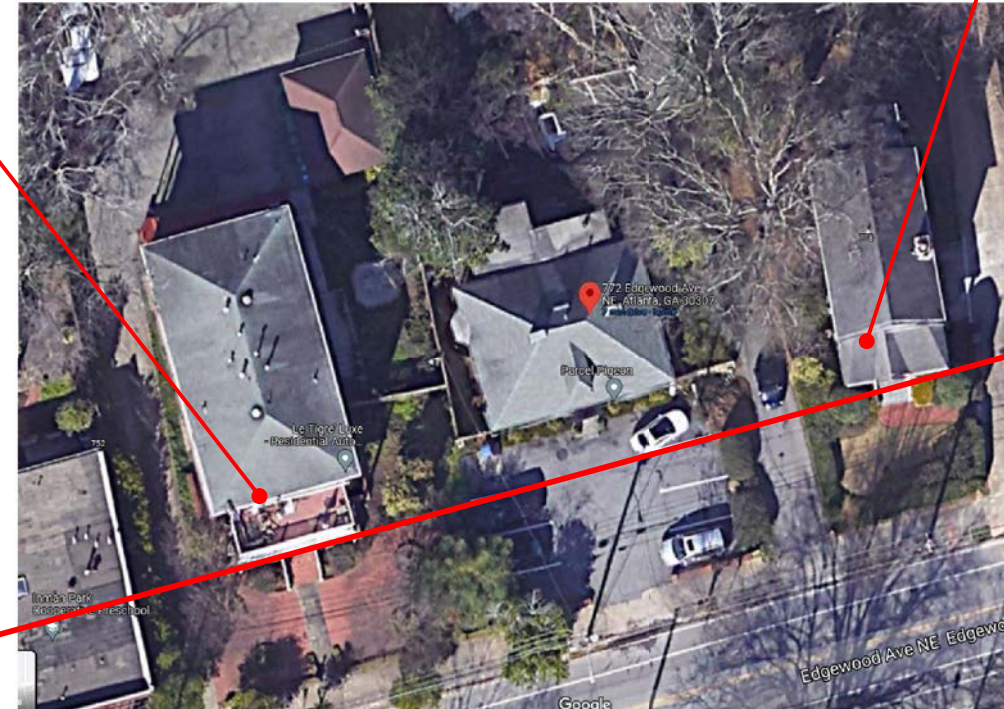
GENERAL NOTES
& ABBREVIATIONS

A0.1

SCALE: NONE



ADJACENT EAST / WEST PROPERTIES



3. AERIAL TO SHOW ADJACENT PROPERTY PORCHES

IMAGE SHOWING THAT THE ADJACENT PROPERTIES HAVE COVERED FRONT PORCHES AND DEPTH OF NEW PROPOSED FRONT PORCH WOULD BE COMPATABLE

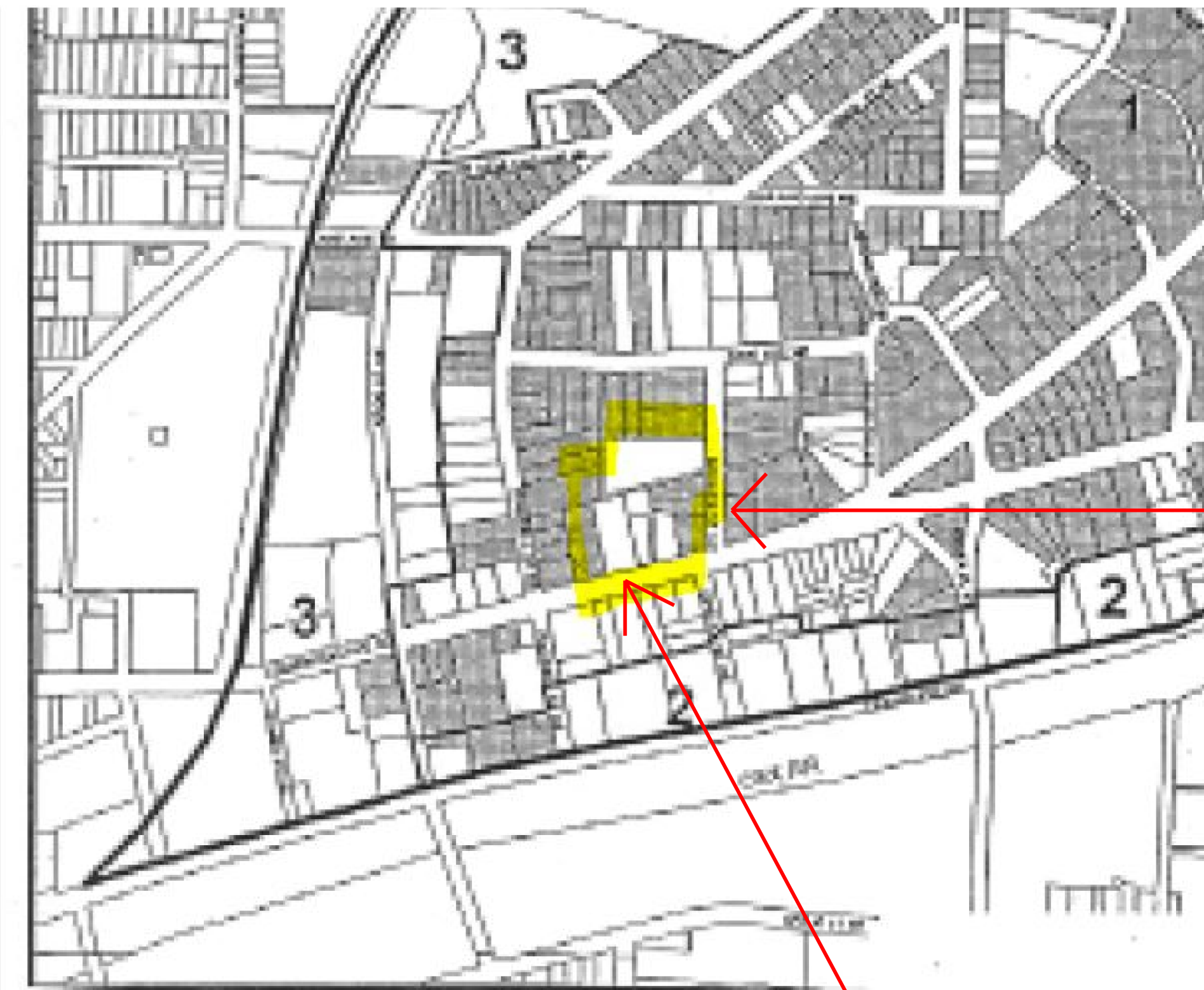
SEE SHEET A2.1 SHOWING NEW PORCH IN RELATION TO PARKING LINE WHERE THE RED LINE IS INDICATED



2. SANBORN MAP CIRCA 1911

WE BELIEVE THE PROPERTY LABELED, 616, IS THE CURRENT PROPERTY WHICH SHOWS ONE LEVEL AT STREET AND TWO LEVELS BEHIND.

THERE IS A PORCH THAT ONCE EXISTED AND THE CLIENT WOULD LIKE TO CONSTRUCT A NEW PORCH FITTING IN THE STYLE OF THE NEIGHBORHOOD.



1. NON CONTRIBUTING

PER INMAN PARK HISTORIC GUIDELINES PRINTED DOCUMENT, THE PROPERTY IS NOT CONTRIBUTING NOR ARE THE ADJACENT HOUSES TO THE EAST OR PROPERTIES ACROSS THE STREET. TO THE WEST IS A THREE STORY APARTMENT AND THEN THE PRE-SCHOOL.



4. BLOCK FACE

PRE-SCHOOL



APARTMENT



772 EDGEWOOD - APPLICANT



ADJACENT HOUSES



ADJACENT HOUSES



5. STAIN GLASS WINDOWS

HOUSE ON THE CORNER OF SPRUCE AND EDGEWOOD, FOUR TO THE EAST



6. ADJACENT PROPERTY TO WEST WITH BRICK AND CONCRETE PAVER SLAB

HOUSE ON THE CORNER OF SPRUCE AND EDGEWOOD, FOUR TO THE EAST



7. ACROSS THE STREET

MODERN HOUSE WITH CONCRETE SLAB AND VACANT YARD



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DESIGN PRICING PACKAGE:
10-29-2021

PROGRESS PERMIT PACKAGE:
11-22-2021

COMPATABILITY
STUDIES

A0.2

SCALE: NONE

NOT RELEASED FOR CONSTRUCTION



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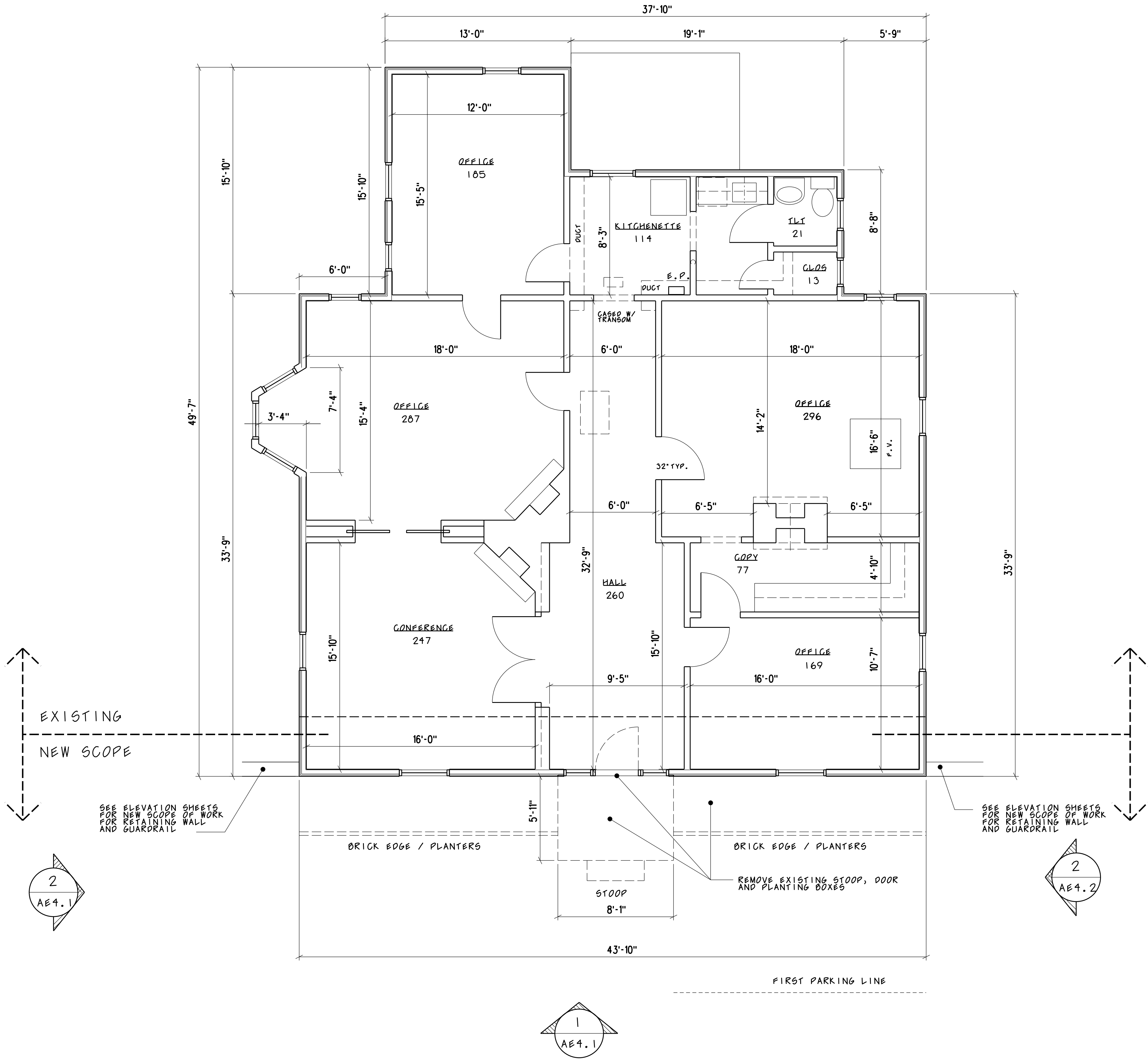
ISSUED * DATE

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EXISTING
FLOOR PLAN

AE2.1

SCALE: 1/4" = 1'-0"



NOTE: LOWER PLAN IS NOT SHOWN
AS NO SCOPE OF WORK IS INTENDED
FOR IT.

THE UPPER AND LOWER FLOOR
ARE NOT CONNECTED BY
VERTICAL CIRCULATION AND
APPEAR TO HAVE SEPARATE
HVAC SYSTEMS.

EXIST. PLAN LEGEND	
	DEMO
	EXISTING TO REMAIN

SEE GENERAL NOTES
SHEET AO.1, TYPICAL

RELEASED FOR CONSTRUCTION

1
EXISTING FLOOR PLAN - MAIN
SCALE: 1/4" = 1'-0"

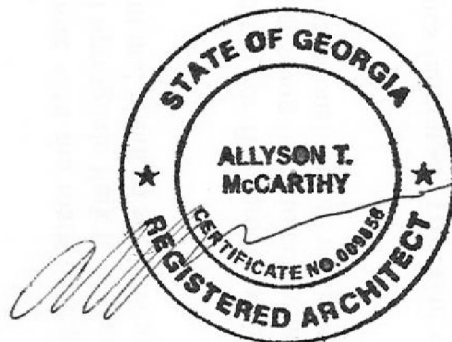


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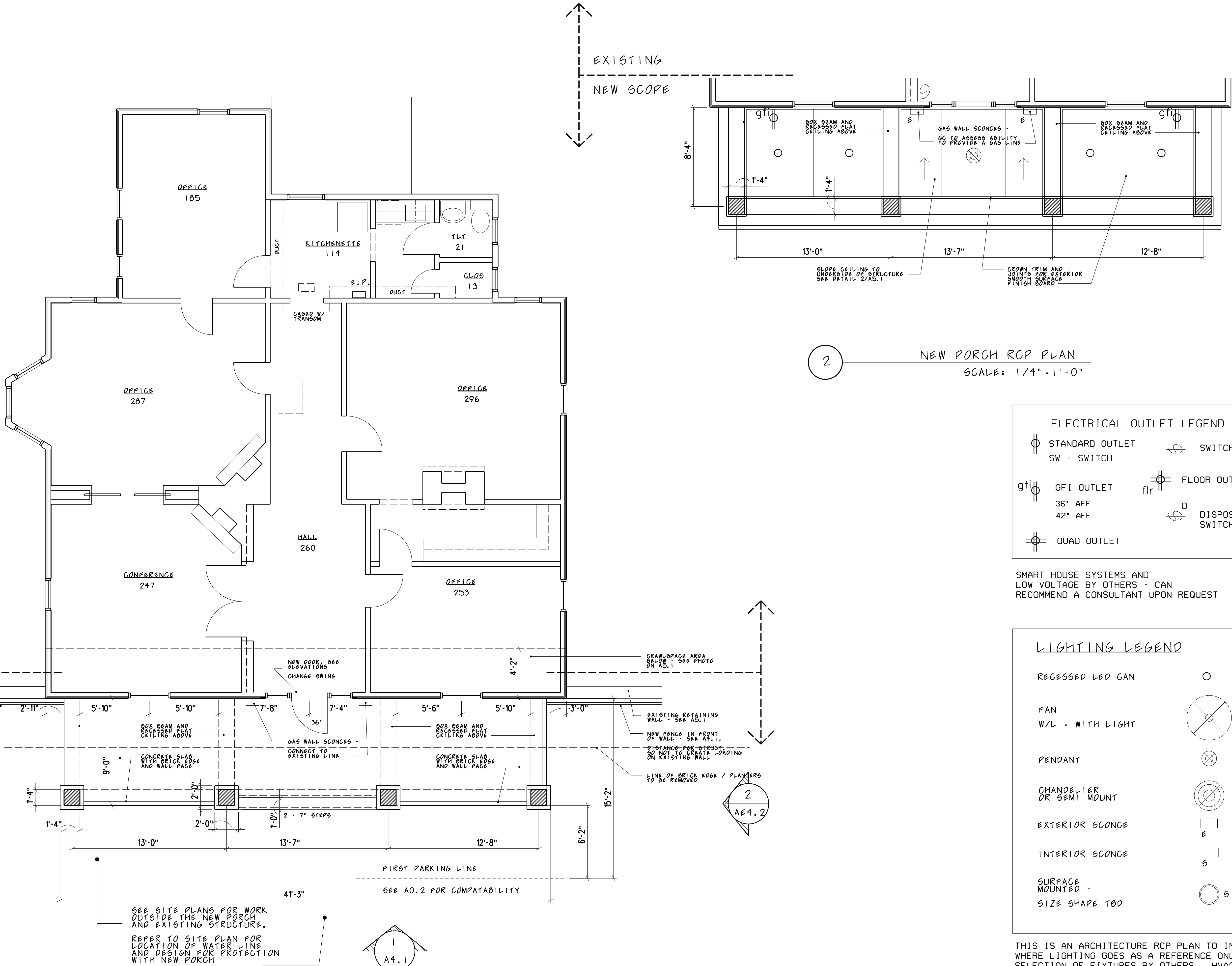
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NEW FRONT PORCH
PLAN AND RCP PLAN

A2.1

SCALE: 1/4" = 1'-0"



SEE GENERAL NOTES
SHEET AO.1, TYPICAL

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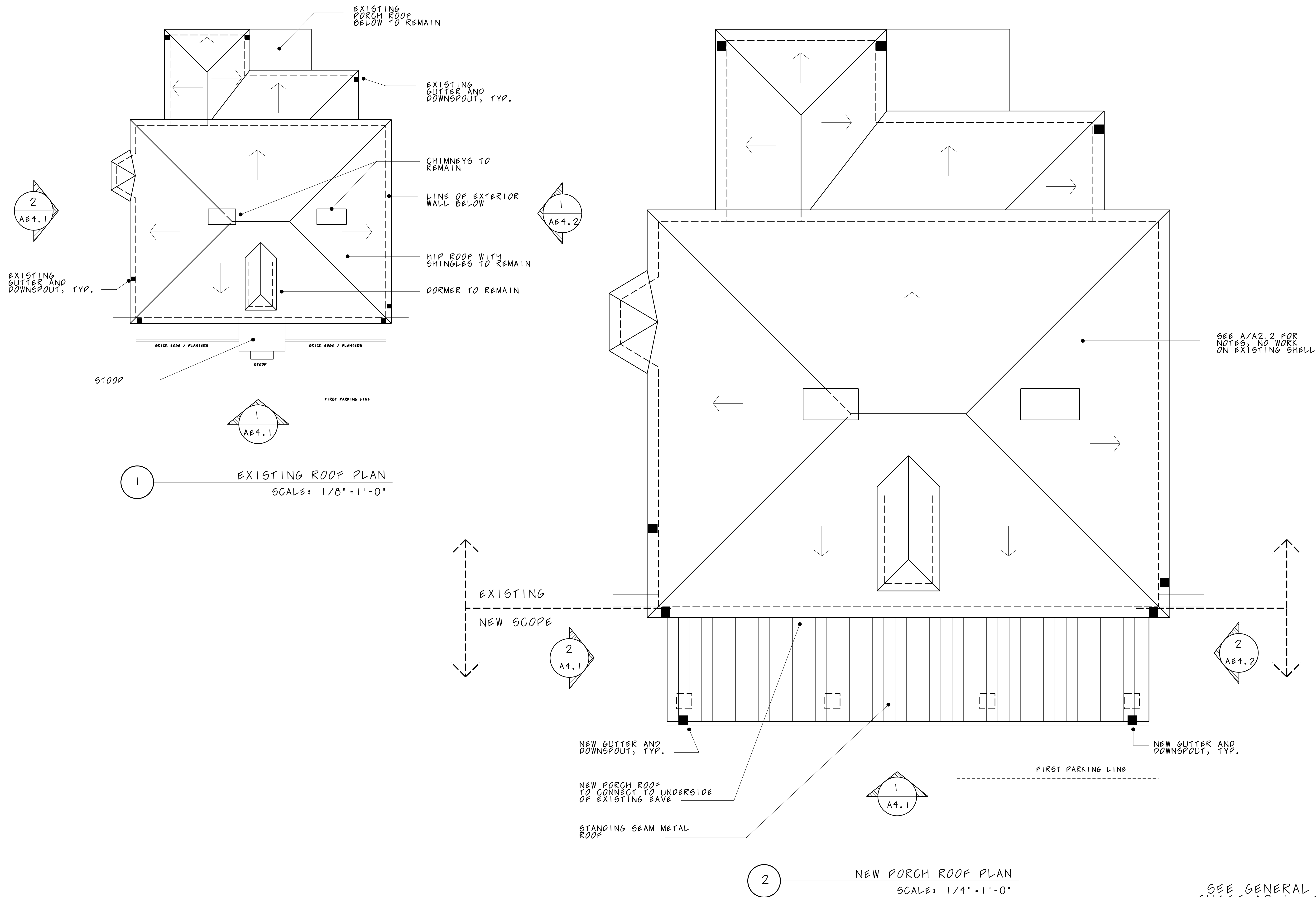
ISSUED * DATE

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EXISTING & NEW
ROOF PLANS

A2.2

SCALE: VARIES



SEE GENERAL NOTES
SHEET A0.1, TYPICAL

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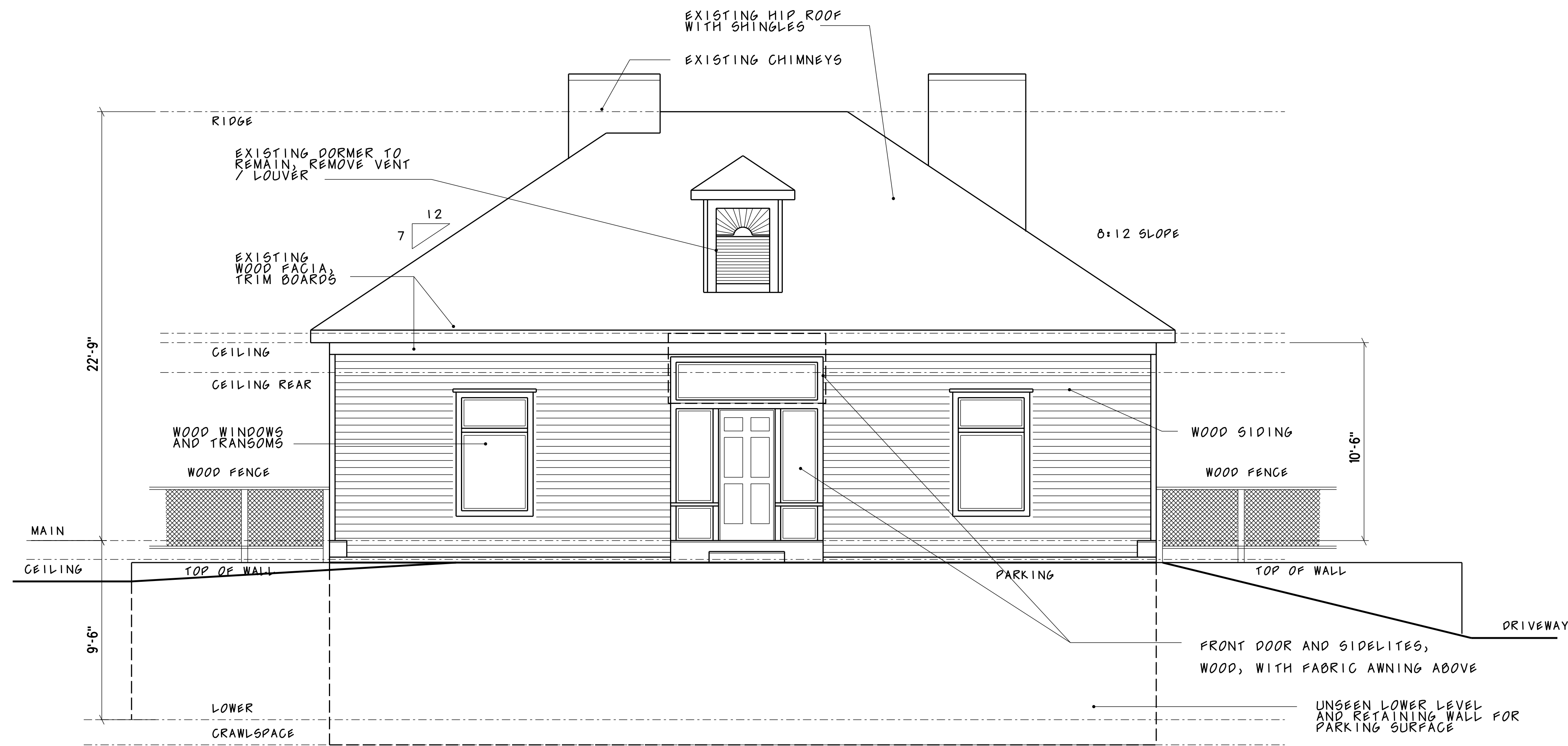
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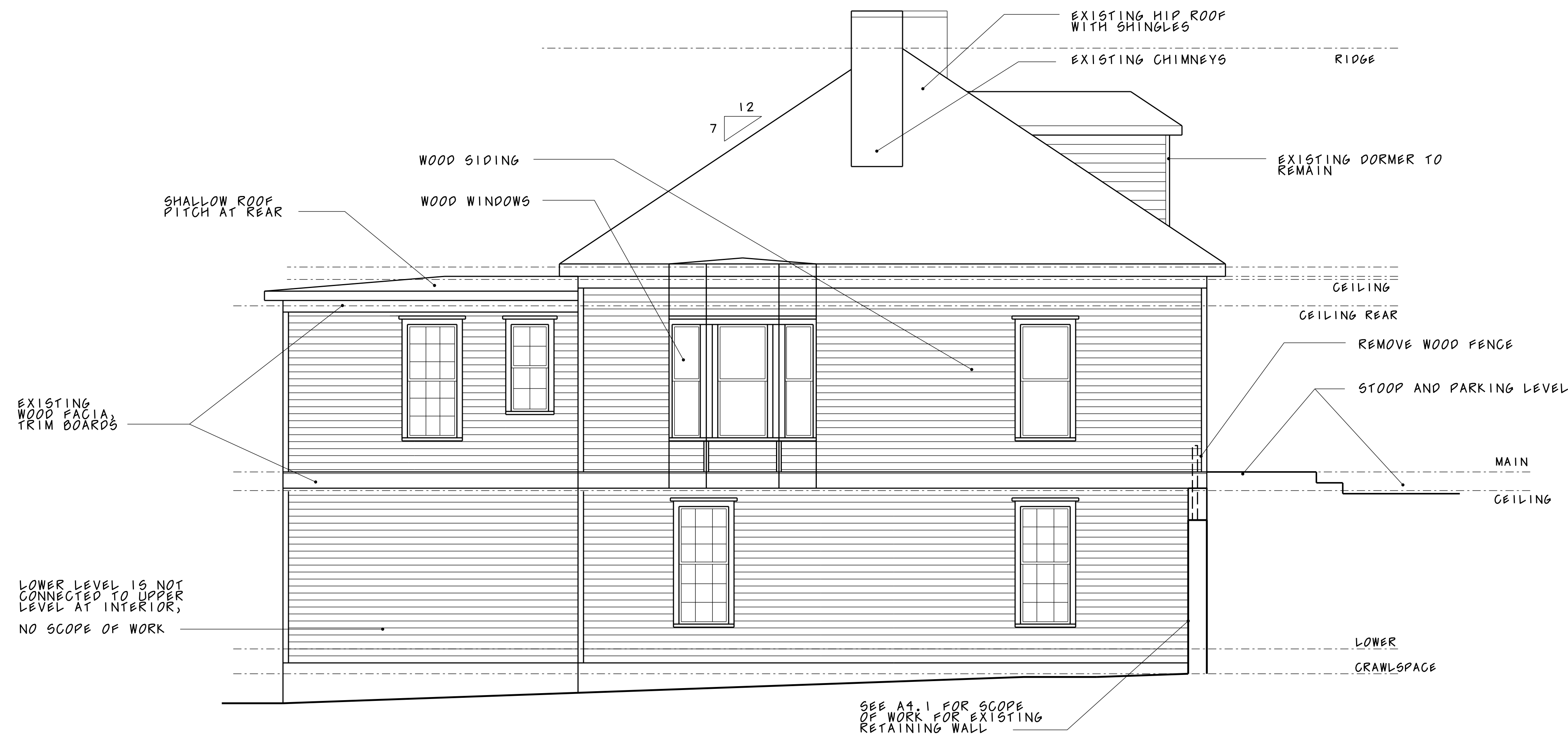
EXISTING
EXTERIOR ELEVATIONS

AE4.1

SCALE: 1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

SEE GENERAL NOTES
SHEET A0.1, TYPICAL

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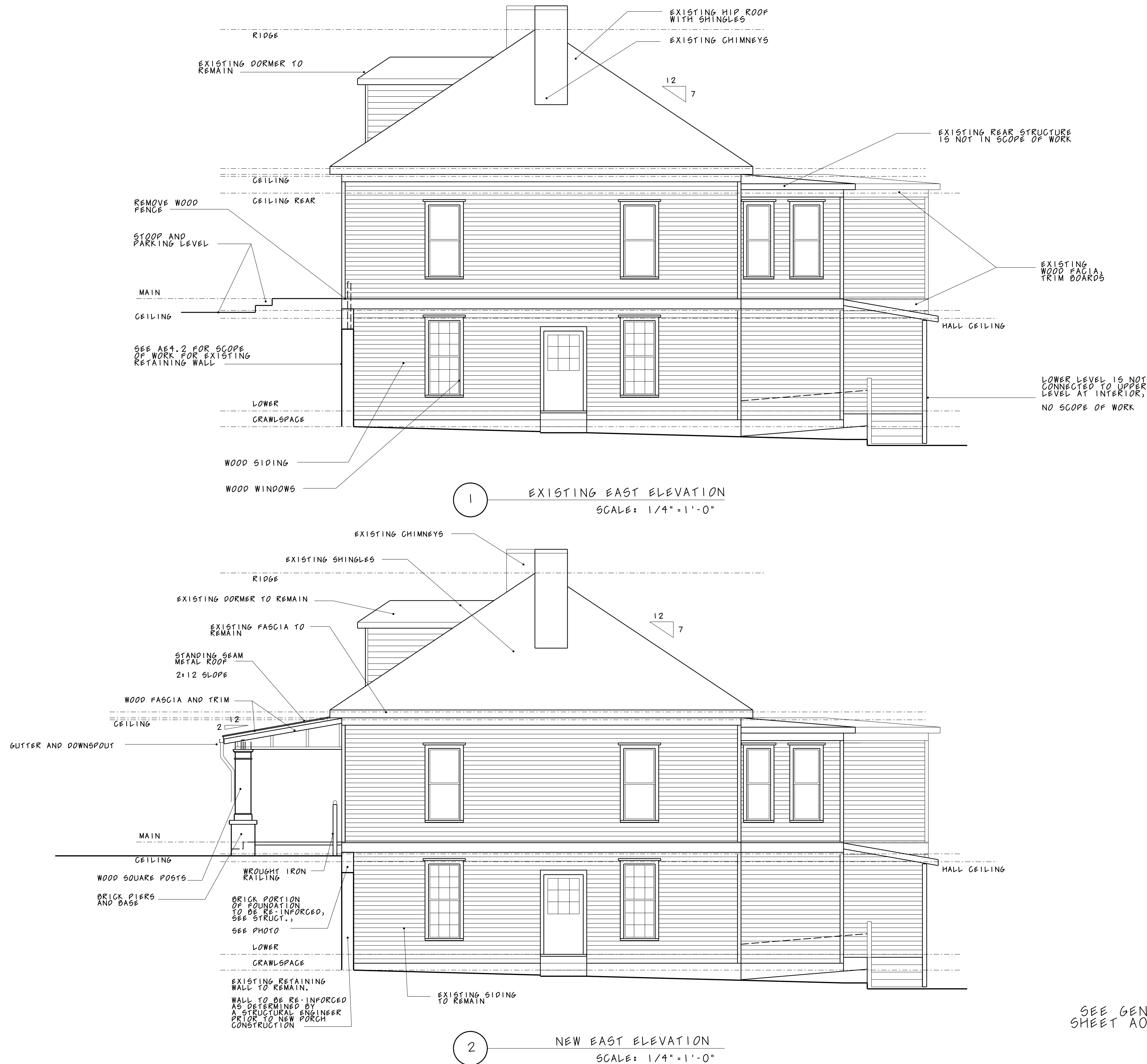
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EXISTING & NEW
EXTERIOR ELEVATIONS

AE4.2

SCALE: 1/4" = 1'-0"





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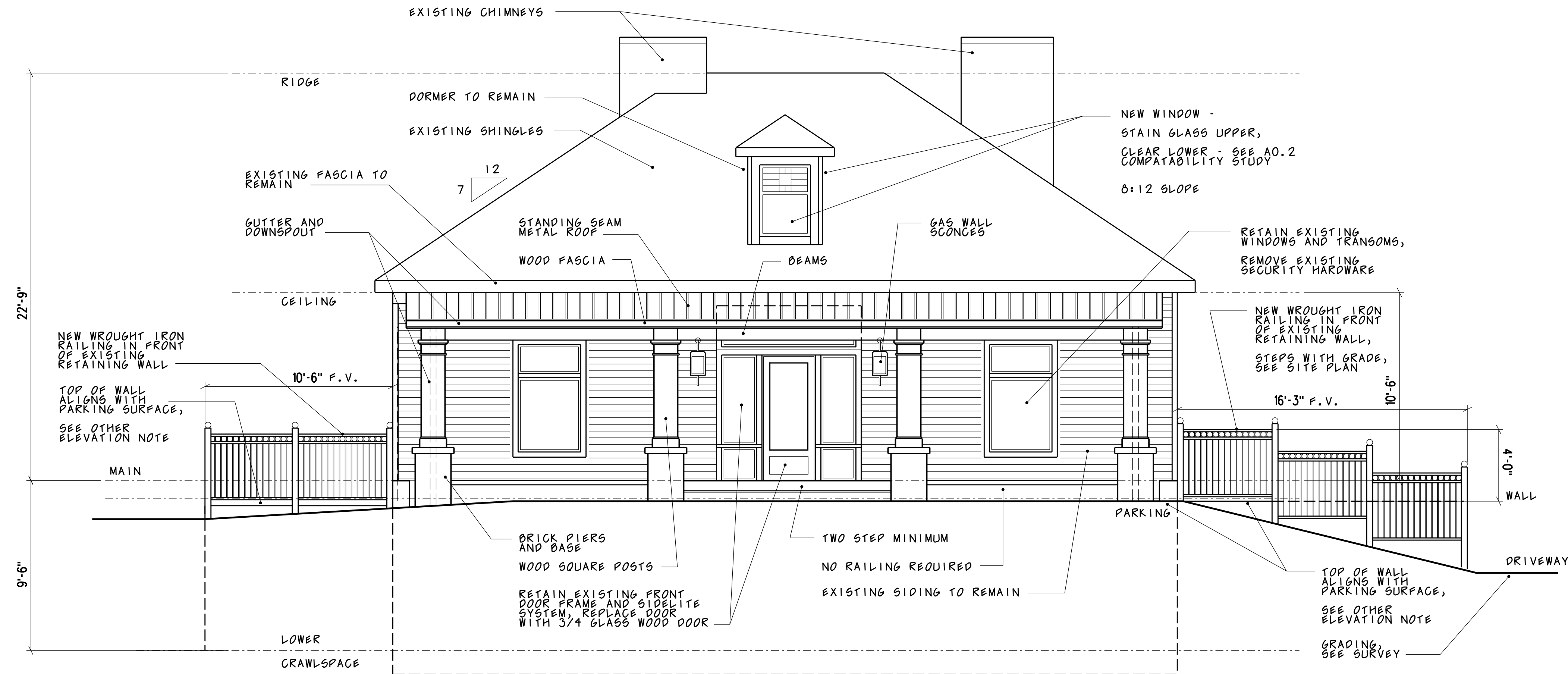
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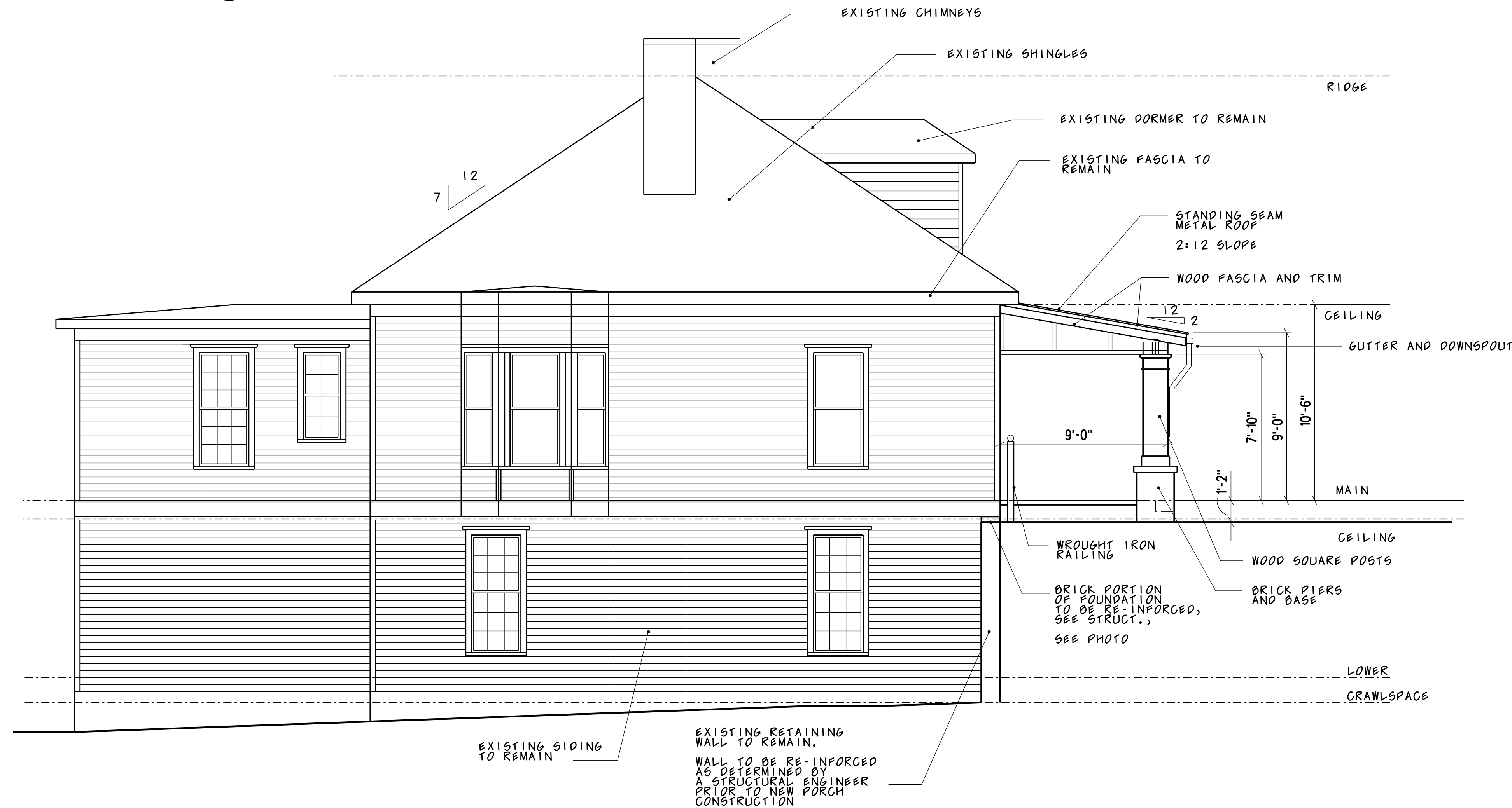
NEW
EXTERIOR ELEVATIONS

A4.1

SCALE: 1/4" = 1'-0"



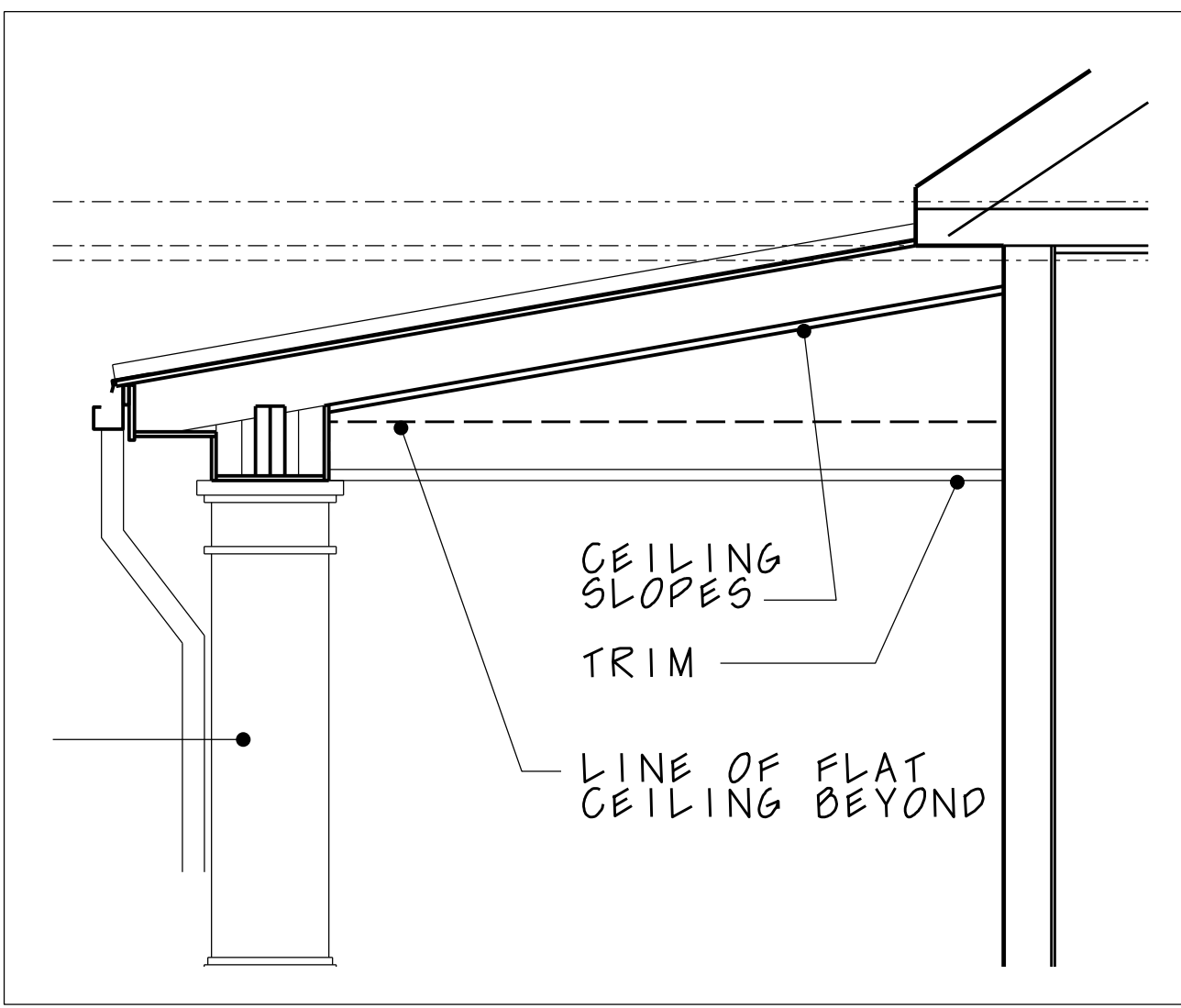
1 NEW SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 NEW WEST ELEVATION
SCALE: 1/4" = 1'-0"

SEE GENERAL NOTES
SHEET A0.1, TYPICAL

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2 CEILING DETAIL
SCALE: 1/2" = 1'-0"

FLASHING
CEILING
GUTTER AND DOWNSPOUT ON WOOD FASCIS BOARD
BEAMS BY STRUCT.
WOOD SQUARE POSTS, SEE STRUCT. FOR SUPPORT
BRICK PIERS AND BASE
BRICK WALL FACE AND EDGE
MAIN
3'-0"
1'-2"
NEW CONCRETE SLAB AND FOOTINGS BY STRUCTURE
EXISTING PARKING AND NEW INFILL BY STRUCTURE
LOWER
CRAWLSPACE
EXISTING RETAINING WALL TO REMAIN INSIDE AS EXISTING - REINFORCE TOP PORTION THAT IS BRICK - SEE PHOTO BY STRUCTURE
EXTERIOR PORTION OF RETAINING WALLS TO REMAIN - REINFORCE PER STRUCTURE.

STANDING SEAM METAL ROOF
WATERPROOFING MEMBRANE
EXTERIOR SHEATHING

RIDGE
EXISTING ROOF AND ATTIC
EXISTING EXTERIOR WALL

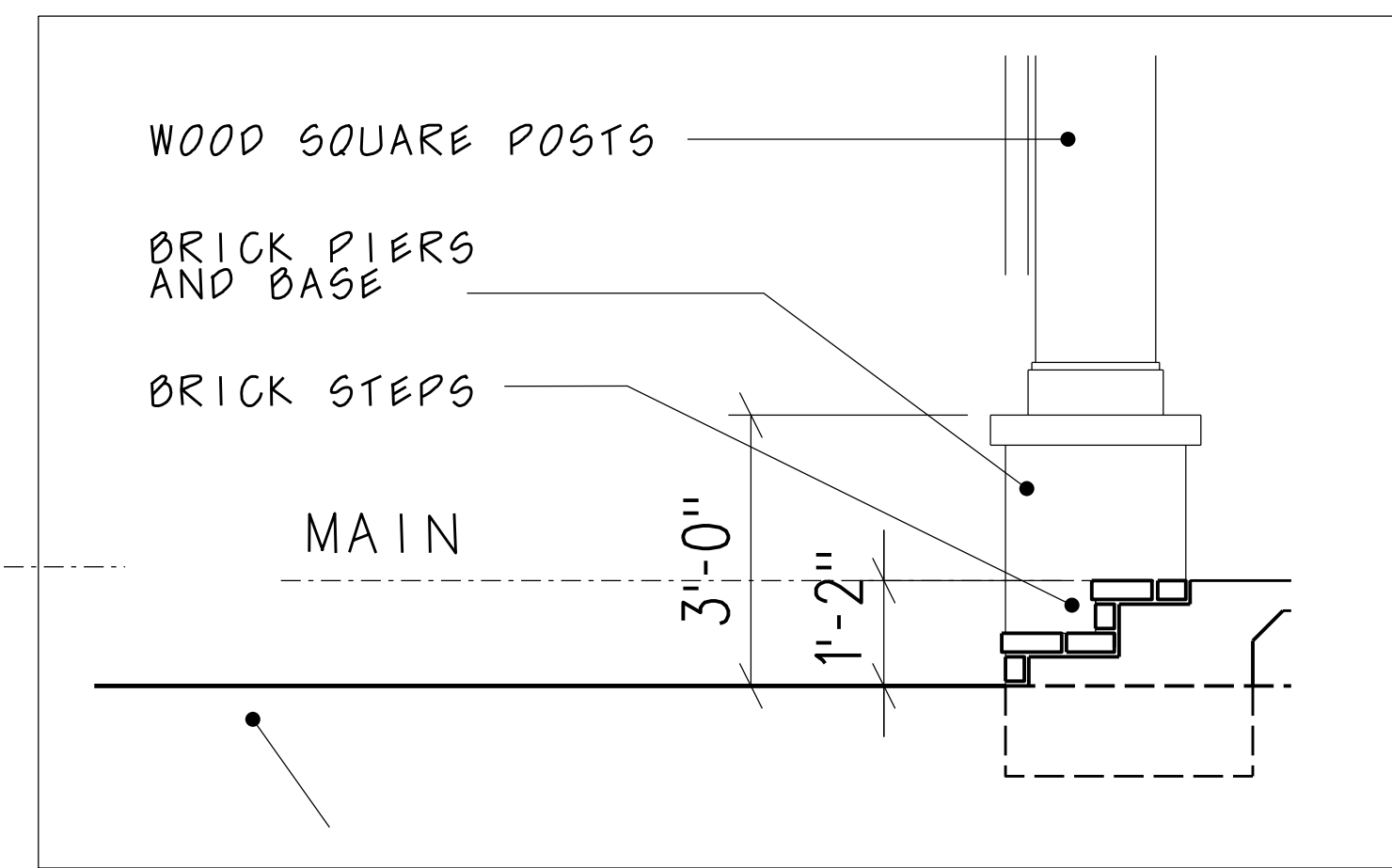
MAIN OFFICE SPACE

CRAWLSPACE

LOWER OFFICE SPACE

1 NEW WALL SECTION
SCALE: 1/2" = 1'-0"

SEE GENERAL NOTES
SHEET AO.1, TYPICAL



3 STEP DETAIL
SCALE: 1/2" = 1'-0"



WALL W/ BRICK INSIDE



EXTERIOR WALL / EAST



EXTERIOR WALL / EAST



EXTERIOR WALL / WEST



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NEW PORCH
WALL SECTION

A5.1

SCALE: 1/2" = 1'-0"