



3D Views from Sinclair Ave showing proposed dormers



RENOVATION & ADDITION

to the
Neimkin & Coveney
Residence

382 Sinclair Avenue
Type III Certificate of Appropriateness

The property is an historic bungalow in Inman Park, Subarea 1. The view from the street is original and historic. In the rear, there is a two-story addition and deck that were added at an unknown date. We would like to remove the addition and deck and replace it with a new two-story addition and two-story porch. At the same time, we would like to renovate the interior and expand in to the large unfinished attic without making any changes to the front or view from the street, with the exception of adding a dormer on each side that meet the guidelines. Regarding the attic, we will not change the original ridge line, and the new side dormers will not engage the ridge line, or interrupt the primary eave, or be more than 40% of the roof plane.

At the exterior, the existing materials will be maintained and the addition will be a simpler version. Exterior materials will be painted wood lap siding, with the same exposure as the original lap siding. Corner boards will match existing. Existing soffits, corbels, and cornice trim will be maintained, but at addition the soffits will align but be more simple without corbeling. All original windows will be repaired and at the addition, we will use new SDL wood windows by Kolbe (see product sheet attached). Existing muntin bar and light patters will be maintained. All historic brick chimneys will remain. At the rear of the house, there will be a new chimney at the addition that will be brick in a running bond pattern. Painted stucco exists on the main house at the foundation already, and we will match this for the foundation at the addition.

We would also like to build a new 2-car garage accessory structure in the rear of the property, with alley access only. It will not be visible from the street. It will be a hip roof structure with a small cupola. The siding will match the addition and be a simpler version of the existing house

**PRITCHETT
+ DIXON**

pritchettdixon.com
(404)876-1390

351 Peachtree Hills Ave NE
ADAC | Ste 503-D
Atlanta, GA 30305

Updated 09/14/20



View of Rear Yard from House



View from Sinclair Ave



View from Rear



View from Alley looking South



Side facing South



Side facing North

The field data upon which this plat is based has a closure precision of one foot in 15,000+ feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000+ feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT:

THIS PROPERTY IS NOT IN A 100 YEAR FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF FULTON COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13121C 0263 G, DATED 09/18/13



THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67

ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA. 30052
ENGINEERING * LAND SURVEYING

OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM

SURVEY FOR:

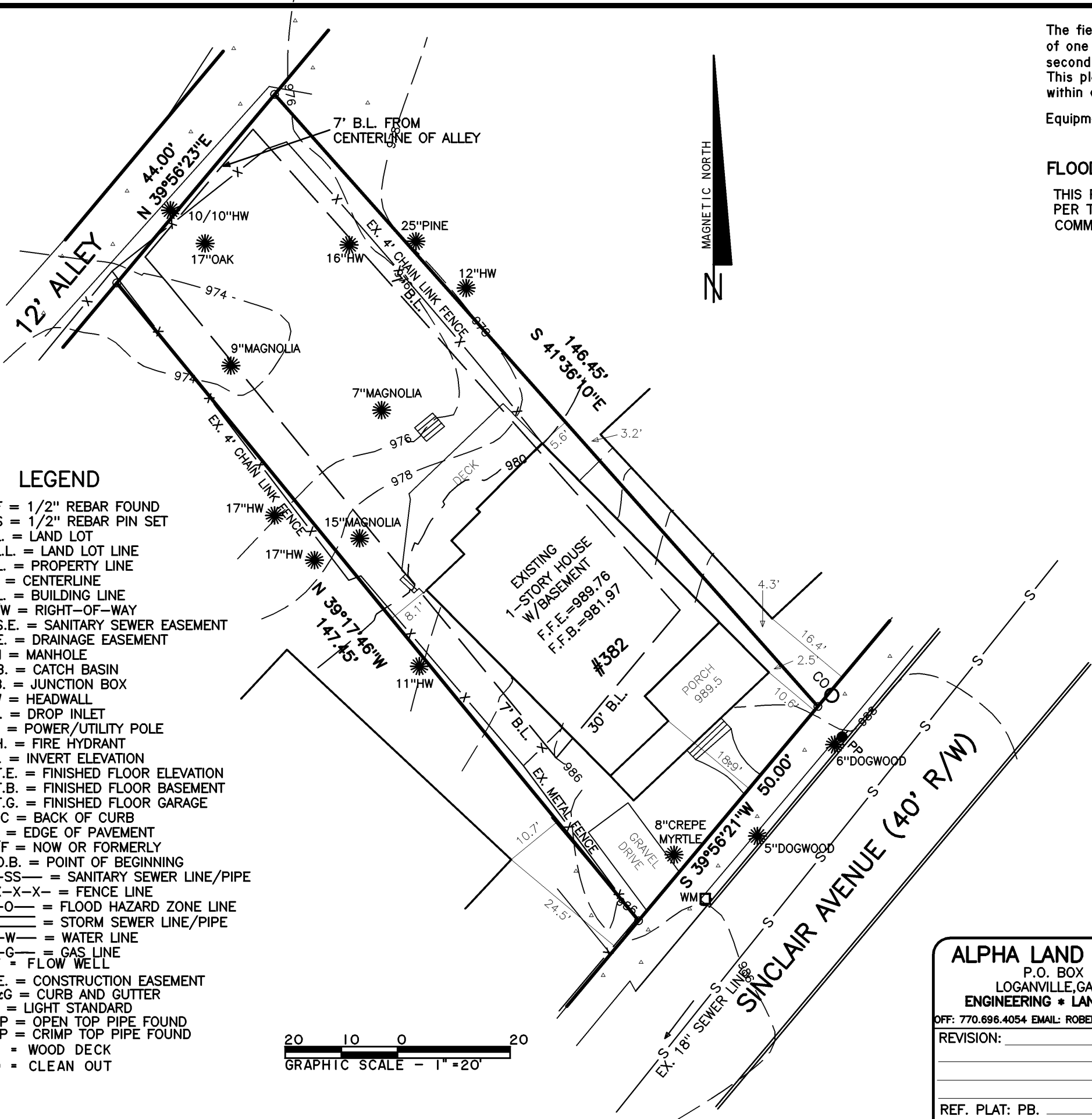
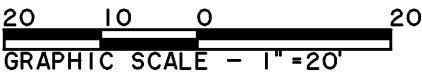
382 SINCLAIR AVENUE
TAX PARCEL #14001500100150

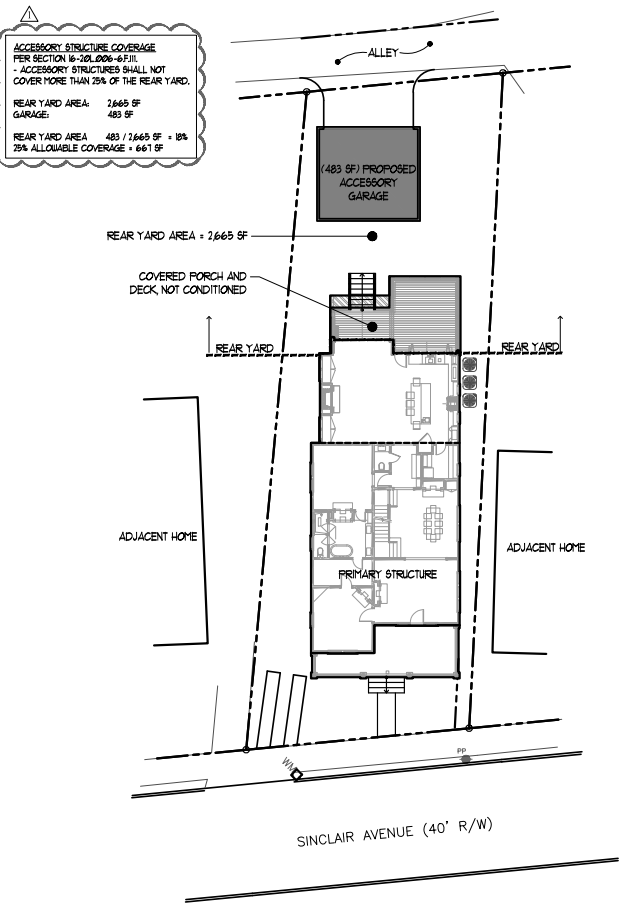
REVISION: _____
REF. PLAT: PB. _____ P. _____

LAND LOT: 15
DISTRICT: 14TH
FULTON COUNTY
GEORGIA
FIELD DATE: 08/11/20
PLAT DATE: 08/17/20

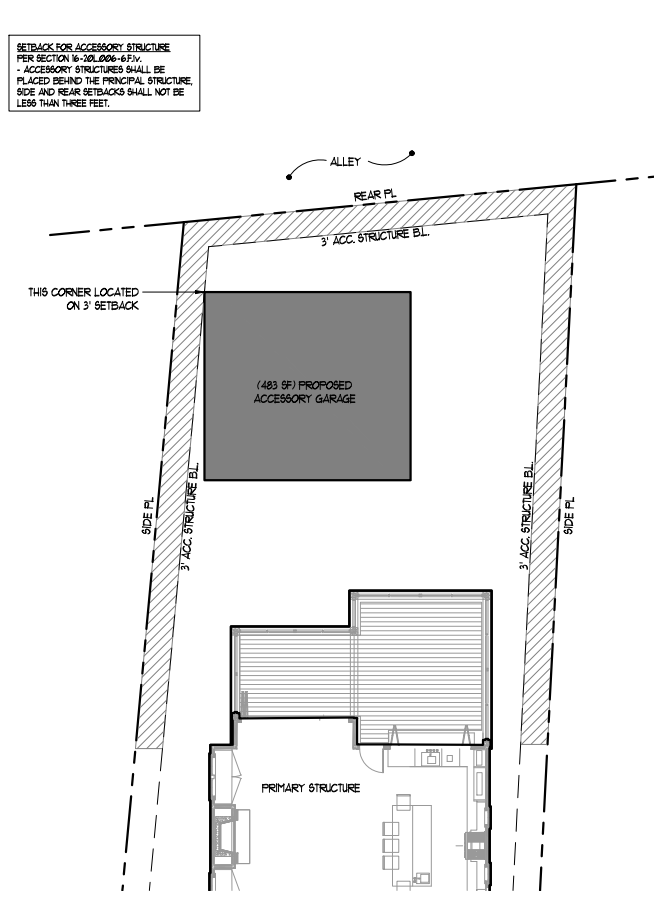
LOT: _____ BLOCK: _____
SUB: _____
AREA = 0.156 ACRES
JOB No. 17356BTT

- LEGEND
- IPF = 1/2" REBAR FOUND
 - IPS = 1/2" REBAR PIN SET
 - L.L. = LAND LOT
 - L.L.L. = LAND LOT LINE
 - P.L. = PROPERTY LINE
 - CL = CENTERLINE
 - B.L. = BUILDING LINE
 - R/W = RIGHT-OF-WAY
 - S.S.E. = SANITARY SEWER EASEMENT
 - D.E. = DRAINAGE EASEMENT
 - MH = MANHOLE
 - C.B. = CATCH BASIN
 - J.B. = JUNCTION BOX
 - HW = HEADWALL
 - D.I. = DROP INLET
 - PP = POWER/UTILITY POLE
 - F.H. = FIRE HYDRANT
 - I.E. = INVERT ELEVATION
 - F.F.E. = FINISHED FLOOR ELEVATION
 - F.F.B. = FINISHED FLOOR BASEMENT
 - F.F.G. = FINISHED FLOOR GARAGE
 - BOC = BACK OF CURB
 - EP = EDGE OF PAVEMENT
 - N/F = NOW OR FORMERLY
 - P.O.B. = POINT OF BEGINNING
 - SS— = SANITARY SEWER LINE/PIPE
 - X-X-X— = FENCE LINE
 - O— = FLOOD HAZARD ZONE LINE
 - = STORM SEWER LINE/PIPE
 - W— = WATER LINE
 - G— = GAS LINE
 - FW = FLOW WELL
 - C.E. = CONSTRUCTION EASEMENT
 - C&G = CURB AND GUTTER
 - LS = LIGHT STANDARD
 - OTP = OPEN TOP PIPE FOUND
 - CTP = CRIMP TOP PIPE FOUND
 - WD = WOOD DECK
 - CO = CLEAN OUT

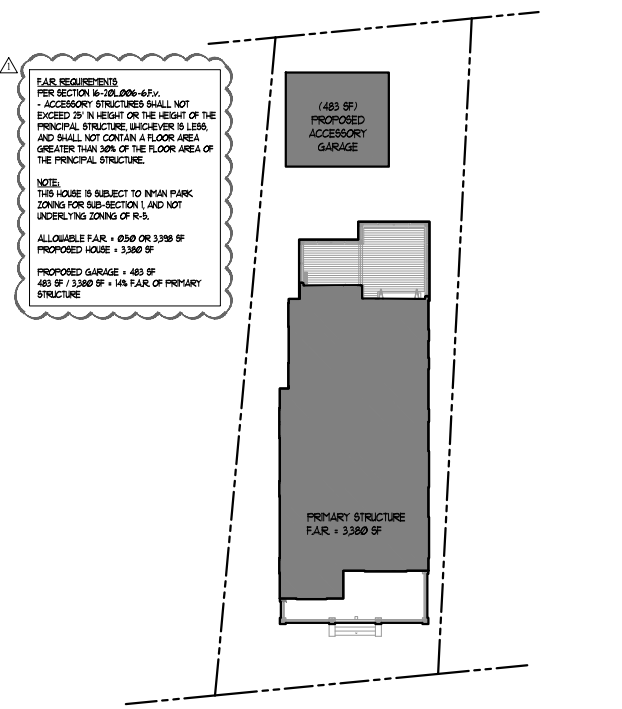




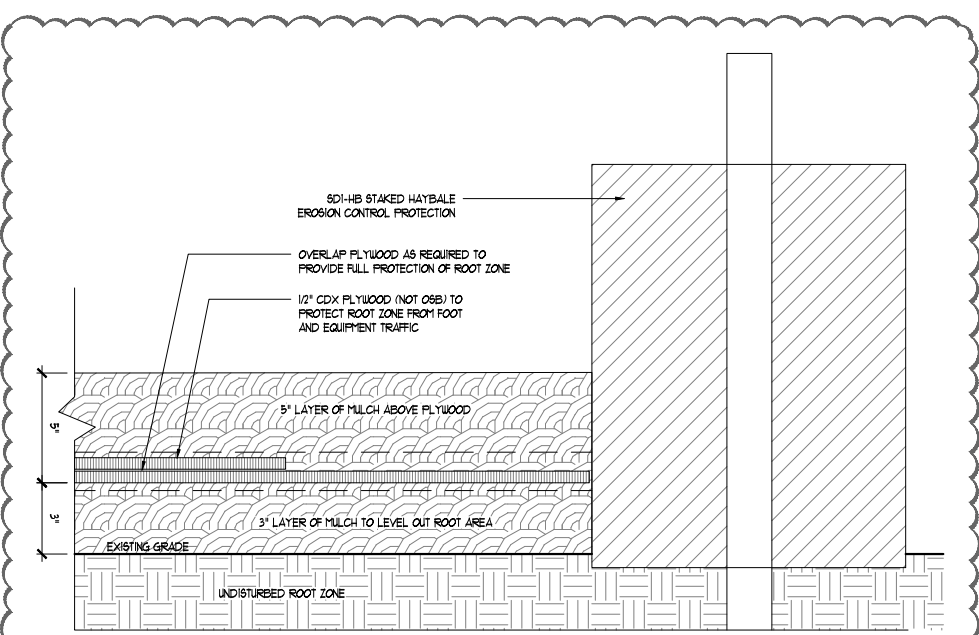
1
L101
ACCESSORY STRUCTURE COVERAGE EXHIBIT
SCALE: 1" = 20'



2
L101
ACCESSORY STRUCTURE SETBACK EXHIBIT
SCALE: 1" = 10'



3
L101
ACCESSORY STRUCTURE FLOOR AREA EXHIBIT
SCALE: 1" = 20'



4
L101
CRITICAL ROOT ZONE PROTECTION MEASURES
ENLARGEMENT SECTION
SCALE: 3/4" = 1'-0"

ZONING DIVISION

SITE DATA

TOTAL SITE AREA: 6,808 SF OR 0.156 ACRES

PROPERTY IS ZONED R-5
(INMAN PARK OVERLAY DISTRICT-SUB AREA 1)

SETBACKS:
MIN. FRONT YARD SETBACK: 30'
MIN. SIDE YARD SETBACK: 7'
MIN. REAR YARD SETBACK: 7'
MINIMUM LOT AREA: 7,500 SF (0.172 AC)
EXISTING LOT AREA: 6,808 SF (0.156 AC)

MAXIMUM LOT COVERAGE: 55% OR 3,744.4 SF
PROPOSED LOT COVERAGE: 53.7% OR 3,660 SF

MAXIMUM F.A.R.: .50 OR 3,380 SF
PROPOSED F.A.R.: .49 OR 3,380 SF

LOT COVERAGE CALCULATIONS

HOUSE	2,108 SF
COVERED PORCH	404 SF
FRONT PORCH	293 SF
GARAGE	483 SF
REAR DRIVE	184 SF
FRONT WALK	67 SF
PARKING STRIPS	96 SF
REAR STEPS	25 SF
TOTAL COVERAGE	3,660 SF

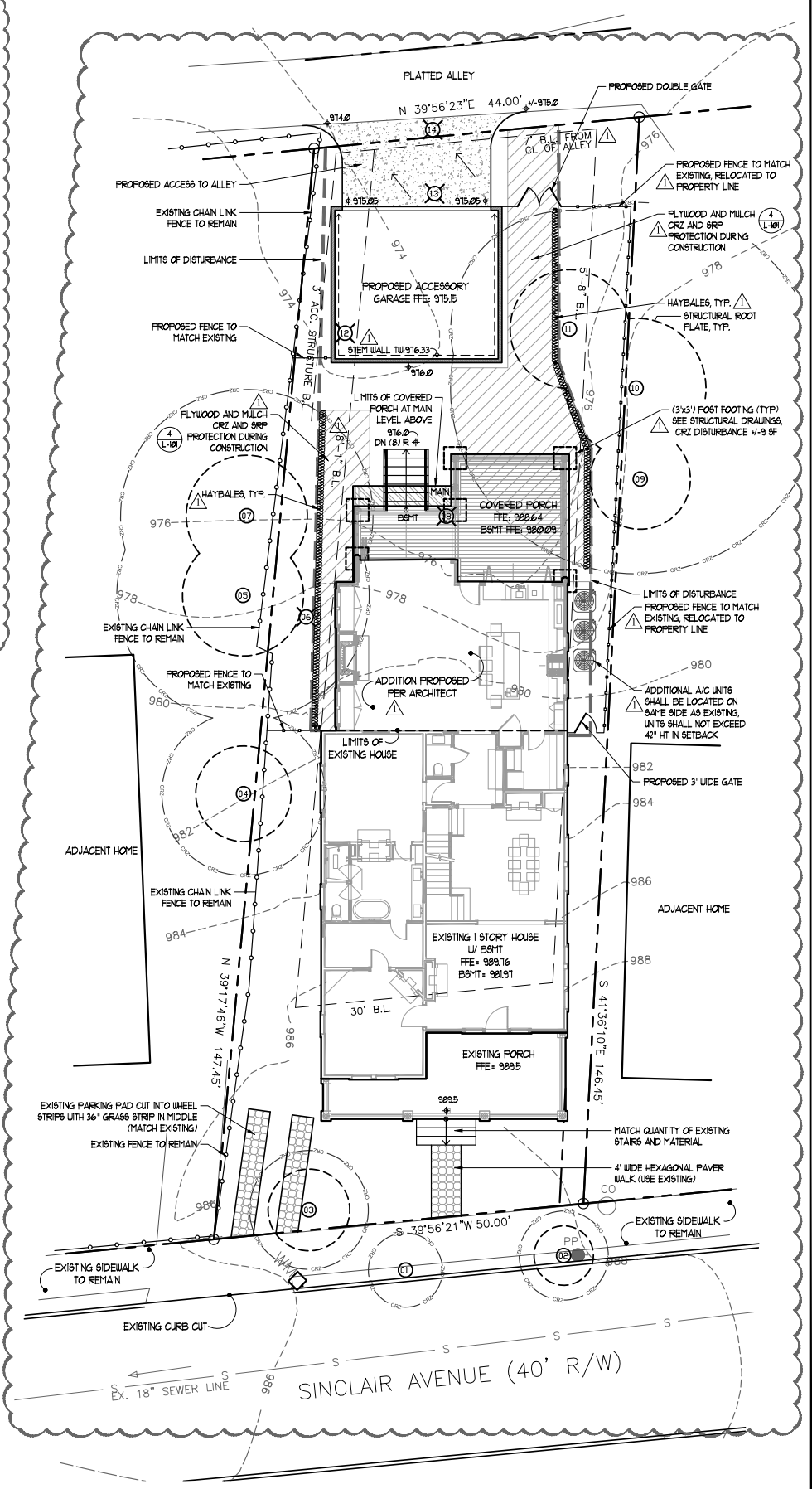
PROPOSED COVERAGE: 3,660 SF

TOTAL SITE DISTURBANCE

TOTAL DISTURBED AREA:
1,743 SF OR 0.04 ACRES

TREE INFORMATION

NO.	SIZE	TYPE	DIST.	COMMENTS
1	5	DOGWOOD	0%	SAVED
2	6	DOGWOOD	0%	SAVED
3	8	CRAPE MYRTLE	0%	SAVED
4	11	HARDWOOD	0%	BOUNDARY
5	17	HARDWOOD	7%	BOUNDARY
6	15	MAGNOLIA	100%	DESTROYED
7	17	HARDWOOD	3%	SAVED
8	7	MAGNOLIA	100%	DESTROYED
9	12	HARDWOOD	2%	BOUNDARY
10	25	PINE	4%	BOUNDARY
11	16	HARDWOOD	2%	SAVED
12	9	MAGNOLIA	100%	DESTROYED
13	17	OAK	100%	DESTROYED
14	10 X 10	HARDWOOD	100%	ALLEY



5
L101
OVERALL SITE PLAN
SCALE: 1" = 10'

LAND PLUS

LAND PLUS ASSOCIATES, LTD.
445 PHARR ROAD NE
ATLANTA, GA 30305
404.238.9595

LAND PLANNING
LANDSCAPE ARCHITECTURE
www.landplussassociates.com

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1) BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

2) CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING AND ZONING CODES IN THE AREA WHERE THE ELEMENTS ARE TO BE CONSTRUCTED.

CAUTION: MUST BE EXERCISED IN MAKING ANY CHANGES IN THIS PLAN. ONLY A QUALIFIED ENGINEER, LANDSCAPE ARCHITECT, OR CONTRACTOR SHOULD ATTEMPT MODIFICATIONS. AS EVEN MINOR CHANGES COULD LEAD TO MAJOR PROBLEMS IN ANOTHER AREA. THIS DRAWING SHALL NOT BE SCALE.

NEIMEKIN-COVENEY RESIDENCE
382 SINCLAIR AVENUE NE
PARCEL ID: 14.00150010015
L.L. 14, DISTRICT 15
ZONING CLASS: R-5, NPU: N
INMAN PARK HISTORICAL DISTRICT SUB AREA-1
ATLANTA, GEORGIA 30307

ISSUED

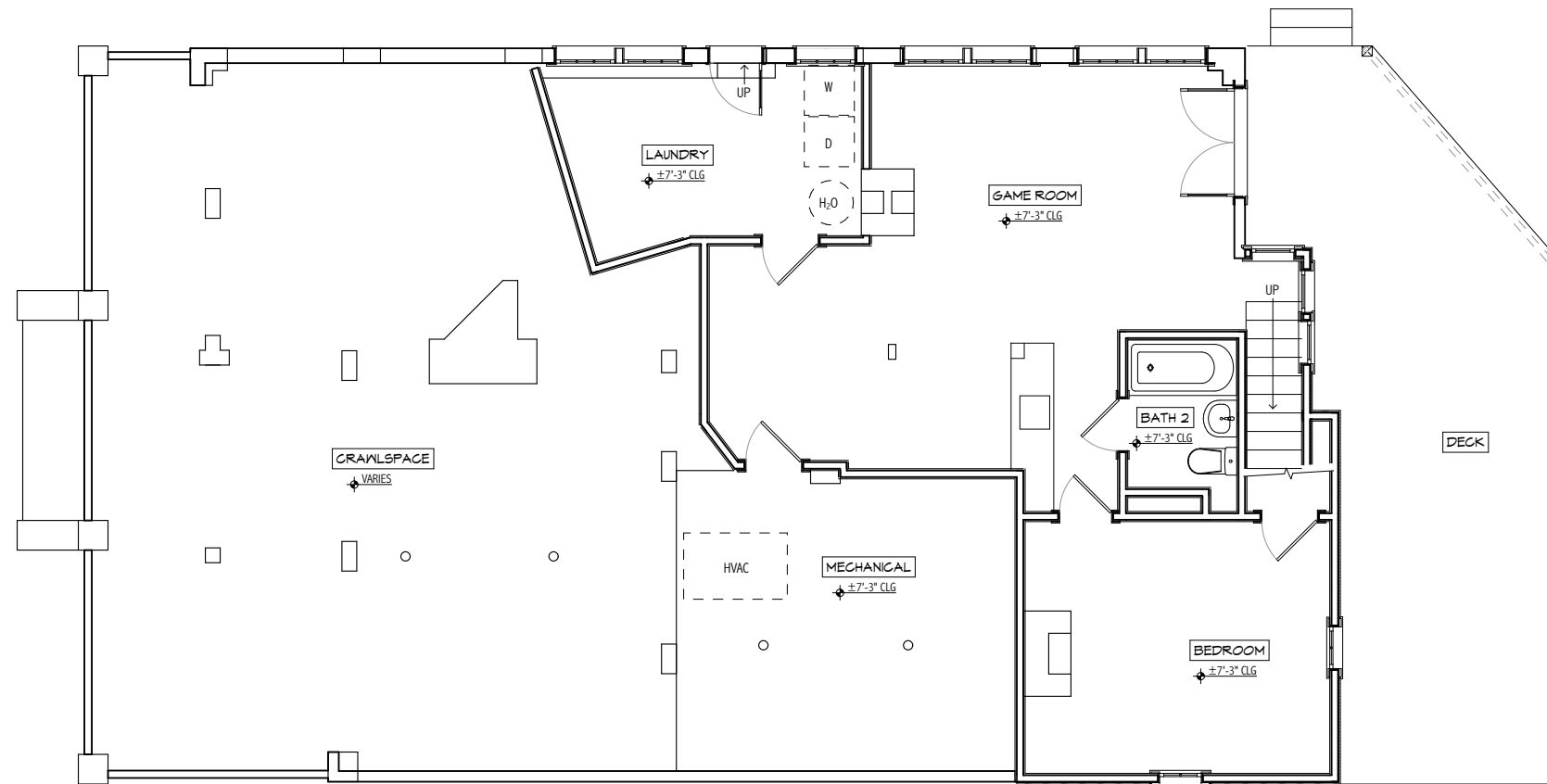
REV	DATE	DESCRIPTION
08.31.2020	UDC REVIEW	
09.14.2020	REVISED PER IMMEDIATE NEIGHBOR COMMENTS	

08.31.2020
NOT RELEASED FOR CONSTRUCTION
JOB NO: 23442
SCALE: VARIES
DRAWN: CLH
CHECKED: CS

NORTH:

UDC
SUBMITTAL

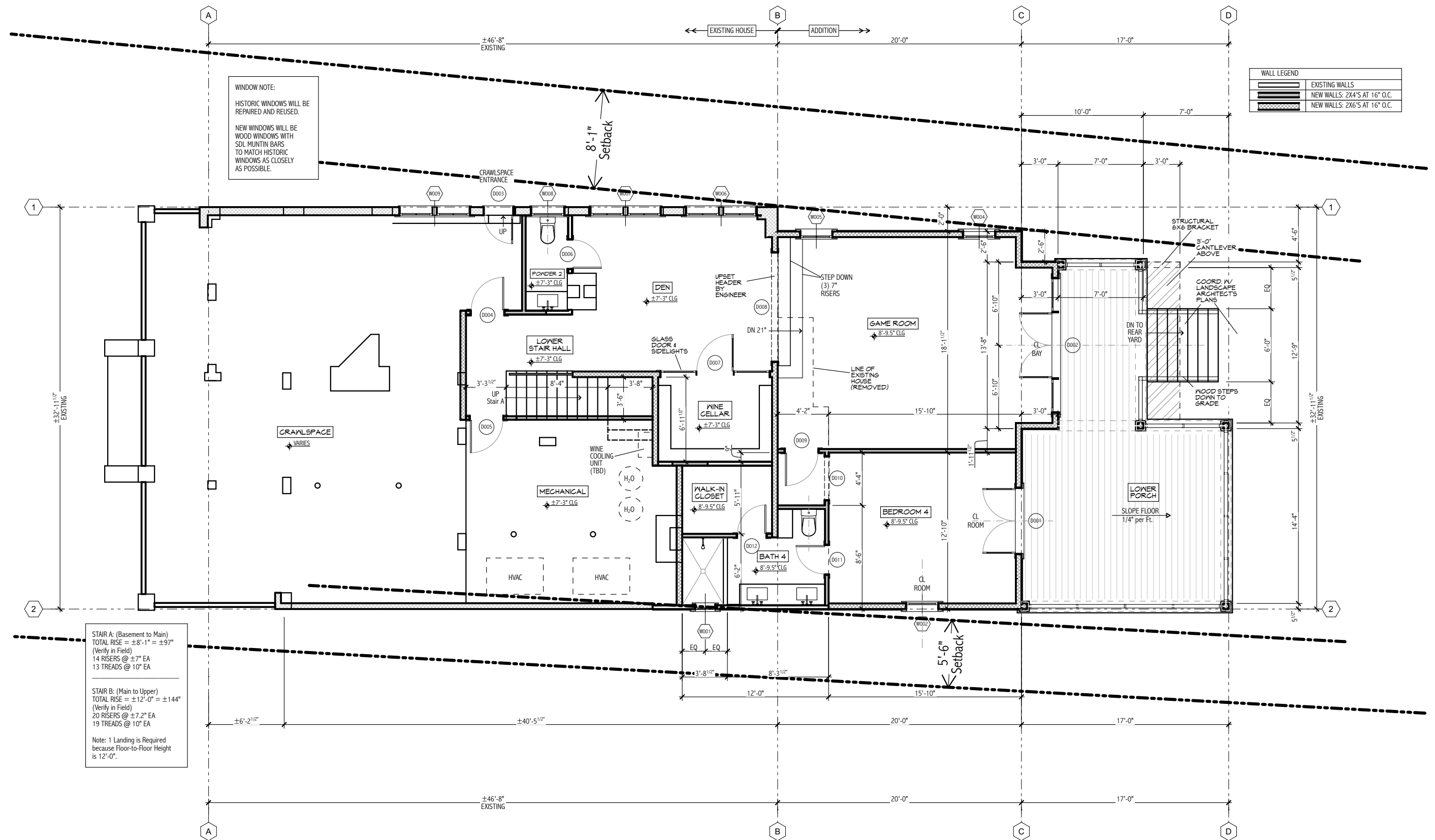
SHEET NO:
L101



1
IP.5

AS-BUILT BASEMENT LEVEL PLAN

1/8" = 1'-0"



STAIR A: (Basement to Main)
TOTAL RISE = ±8'-1" = ±97"
(Verify in Field)
14 RISERS @ ±7" EA
13 TREADS @ 10" EA

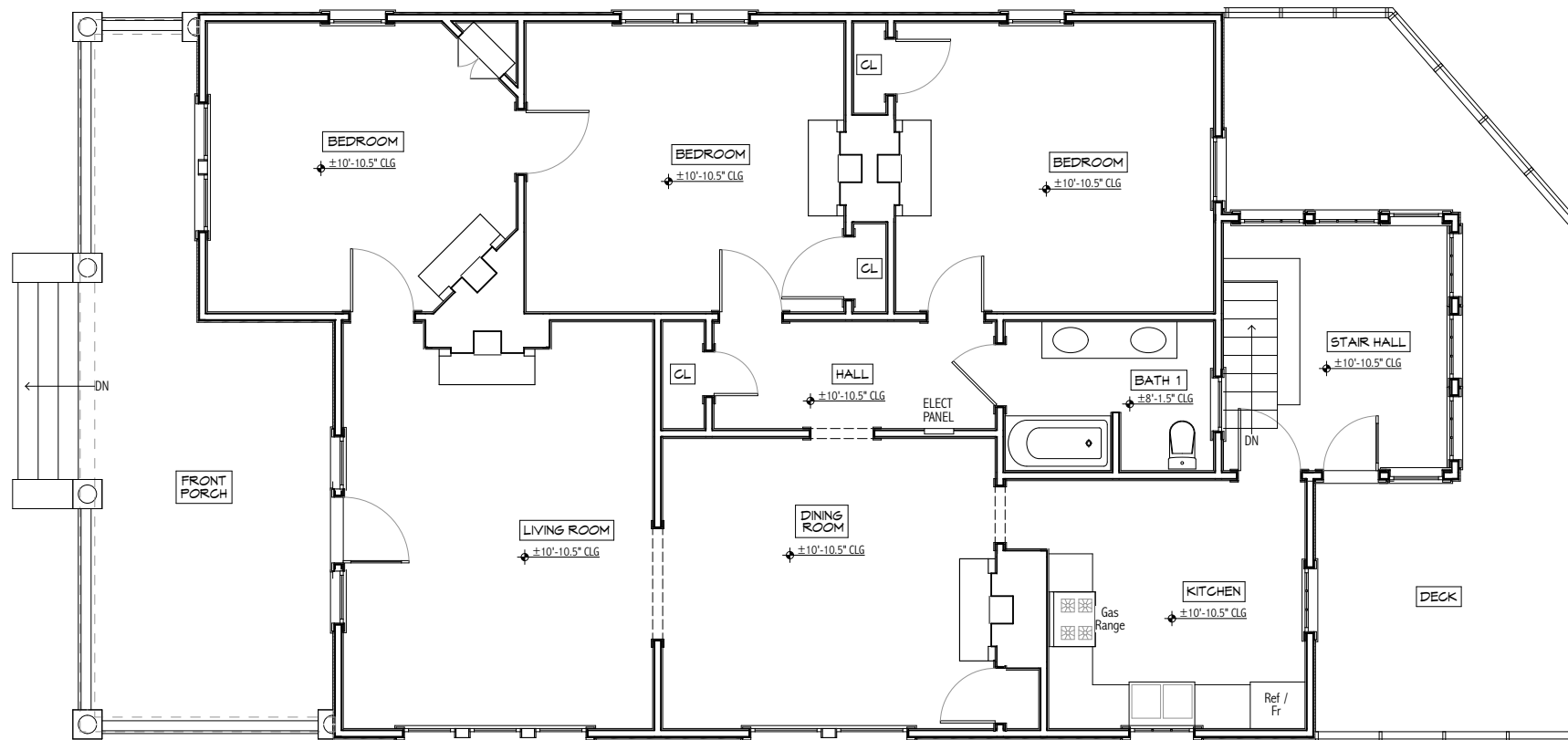
STAIR B: (Main to Upper)
TOTAL RISE = ±12'-0" = ±144"
(Verify in Field)
20 RISERS @ ±7.2" EA
19 TREADS @ 10" EA

Note: 1 Landing is Required
because Floor-to-Floor Height
is 12'-0".

1
IP.6

PROPOSED BASEMENT LEVEL FLOOR PLAN

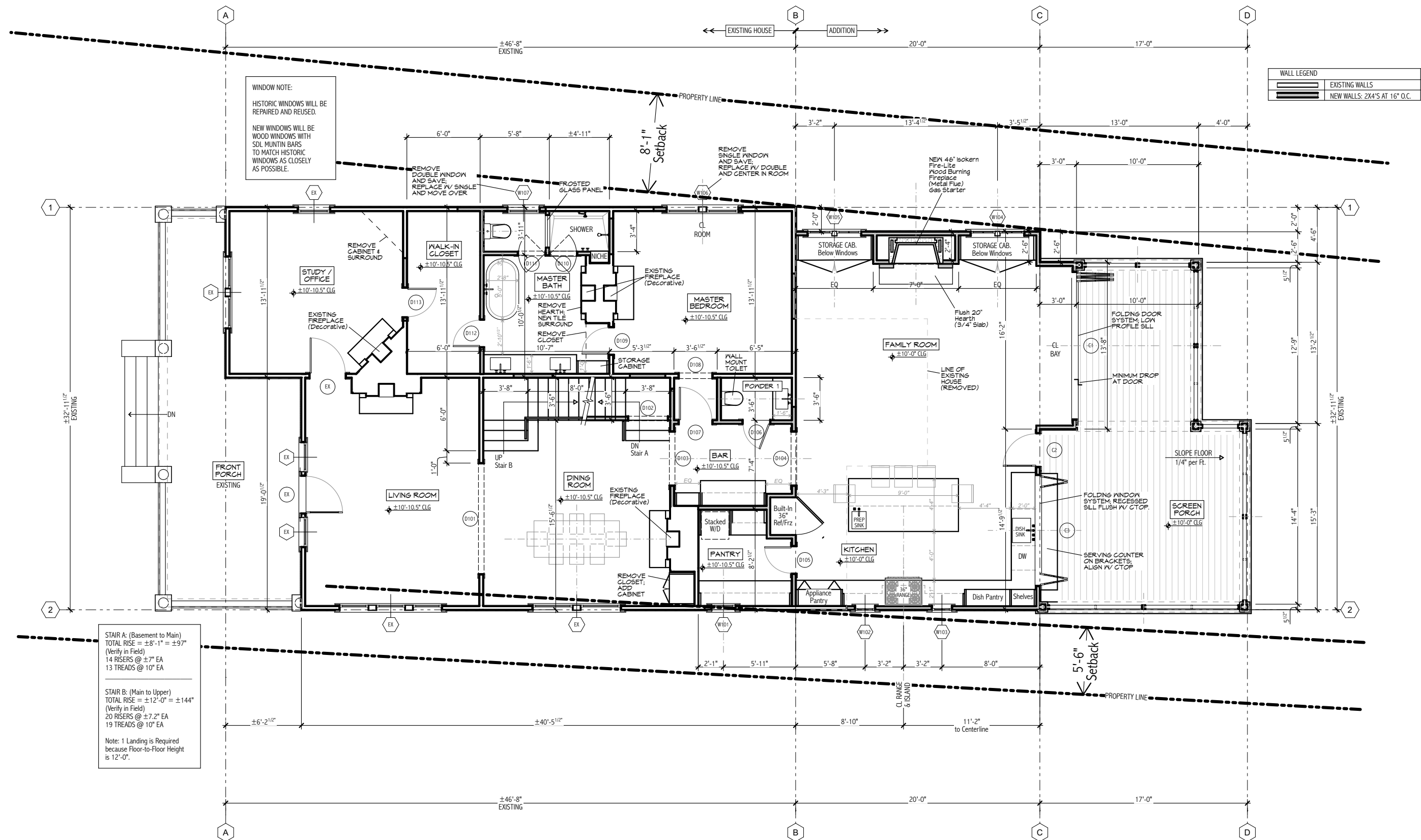
SCALE: 1/8" = 1'-0"



1
IP.7

AS-BUILT MAIN LEVEL PLAN

1/8" = 1'-0"



1
IP.8

PROPOSED MAIN LEVEL FLOOR PLAN

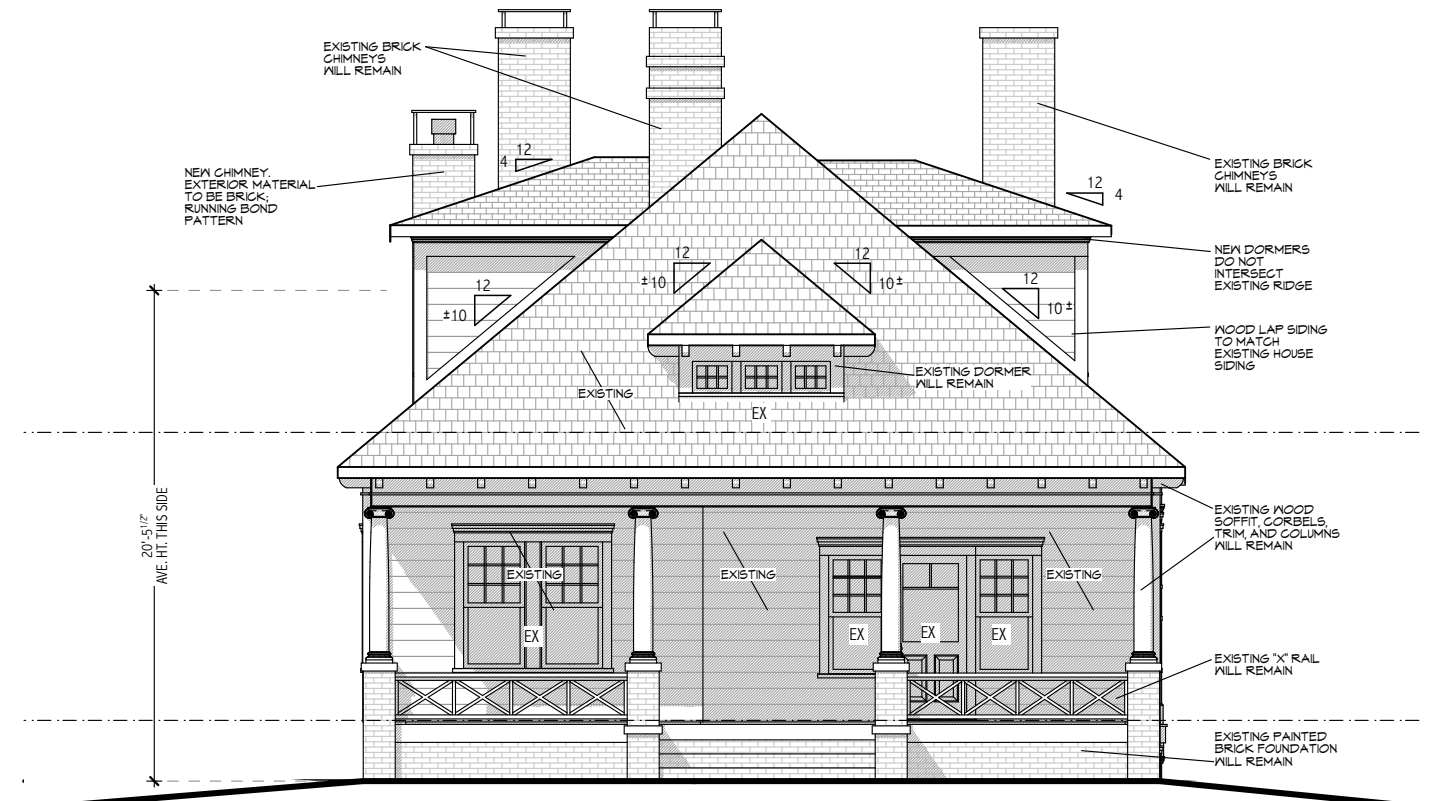
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



1
IP.10 AS-BUILT FRONT ELEVATION
1/8" = 1'-0"



2
IP.10 PROPOSED FRONT ELEVATION
SCALE: 1/8" = 1'-0"



1
IP.11

AS-BUILT SIDE ELEVATION (North Facing)

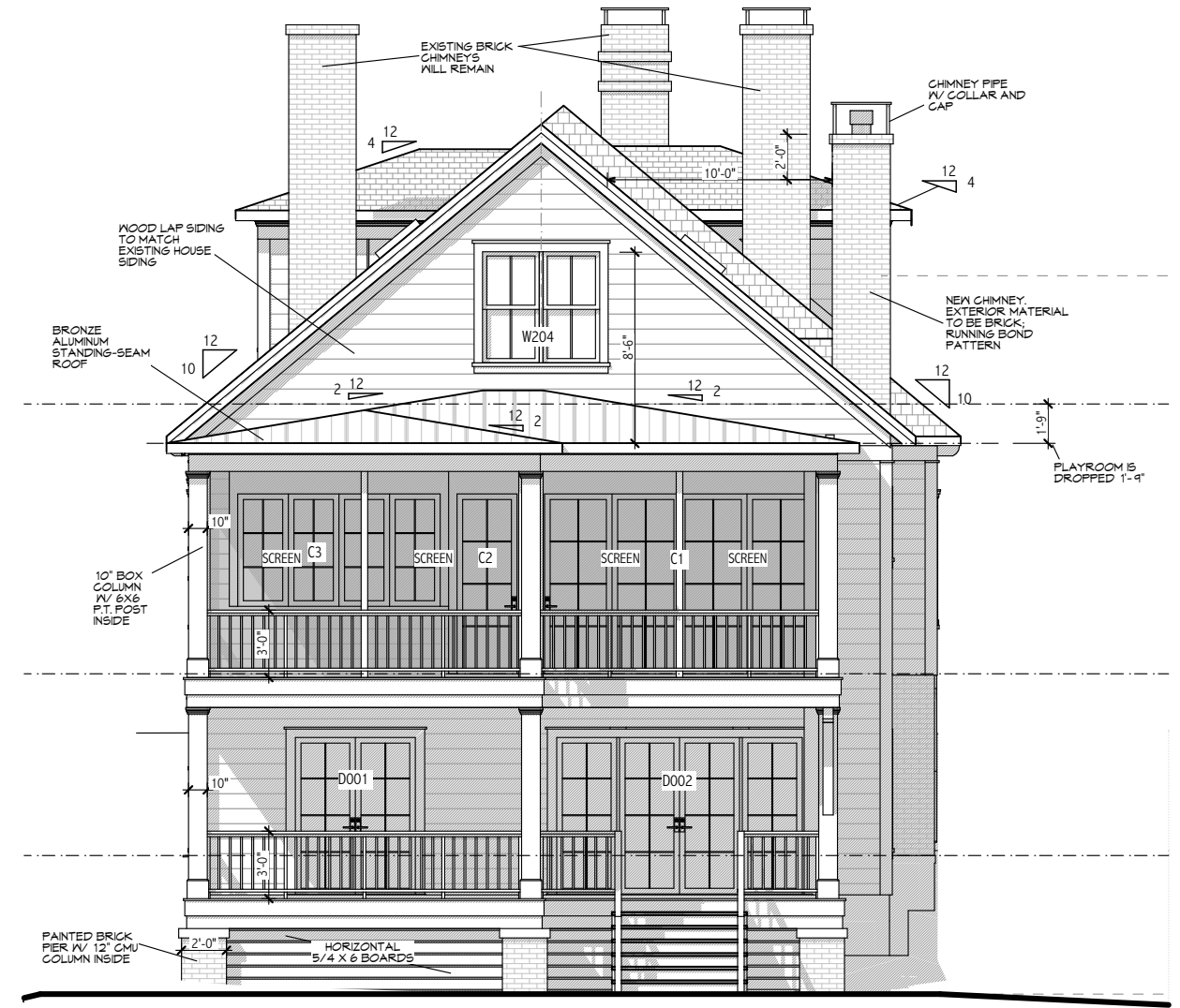
1/8" = 1'-0"



1
IP.13

AS BUILT REAR ELEVATION

1/8" = 1'-0"



2
IP.13

PROPOSED REAR ELEVATION

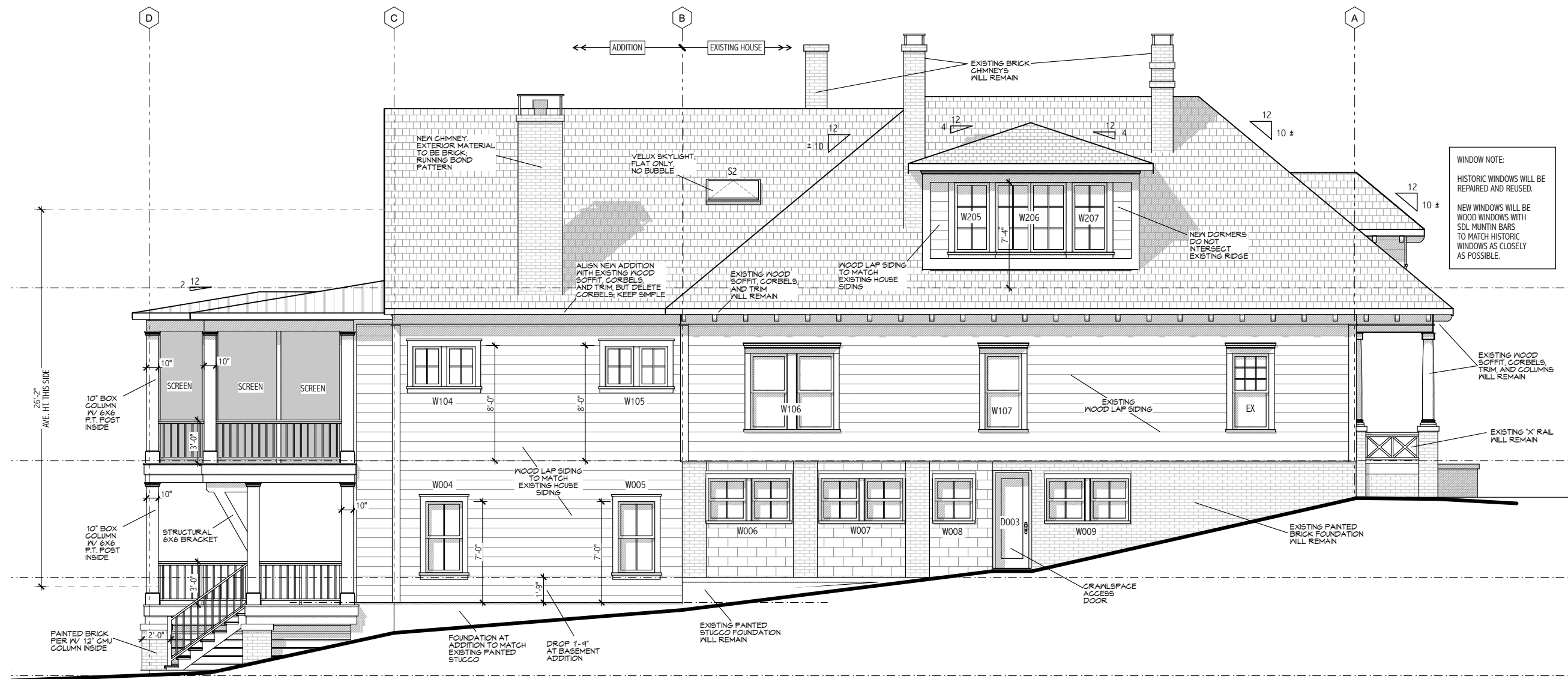
SCALE: 1/8" = 1'-0"



1
IP.14

AS BUILT SIDE ELEVATION (Facing South)

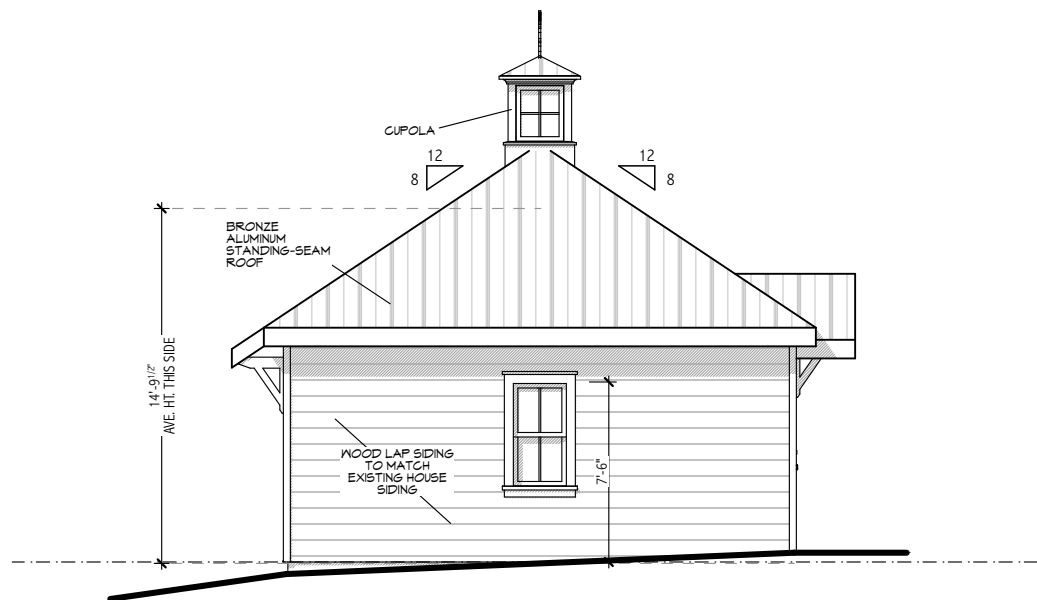
1/8" = 1'-0"



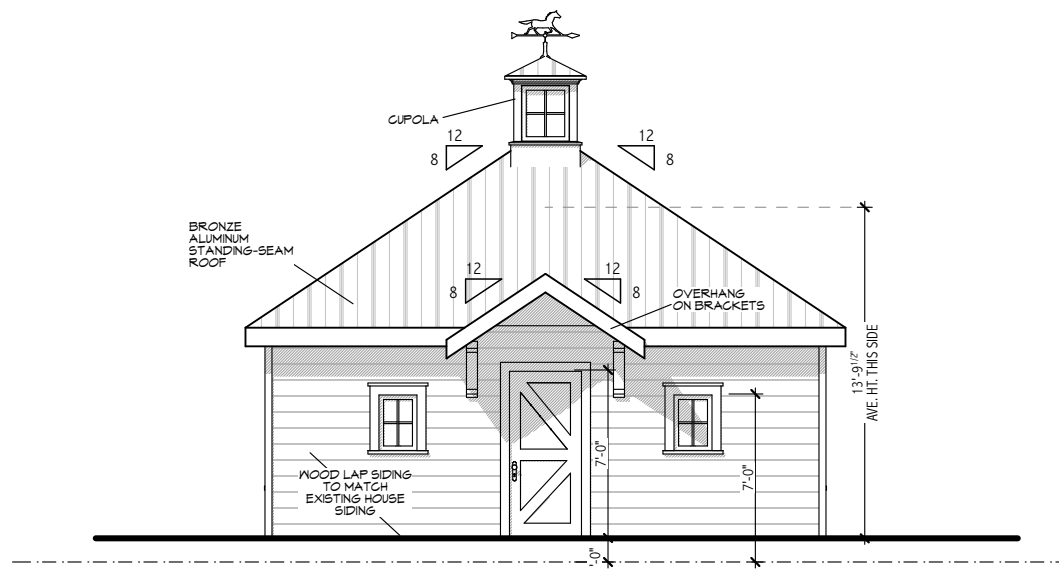
2
IP.15

PROPOSED SIDE ELEVATION (South Facing)

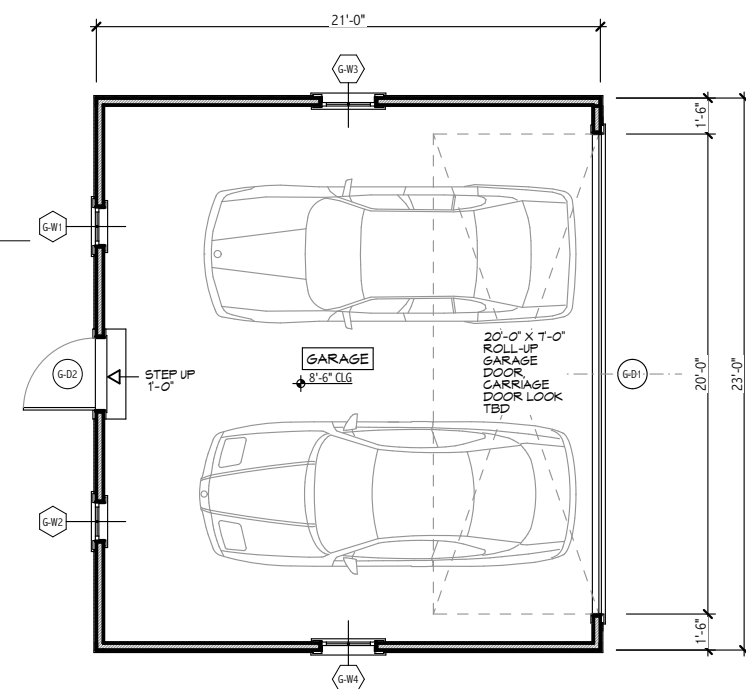
SCALE: 1/8" = 1'-0"



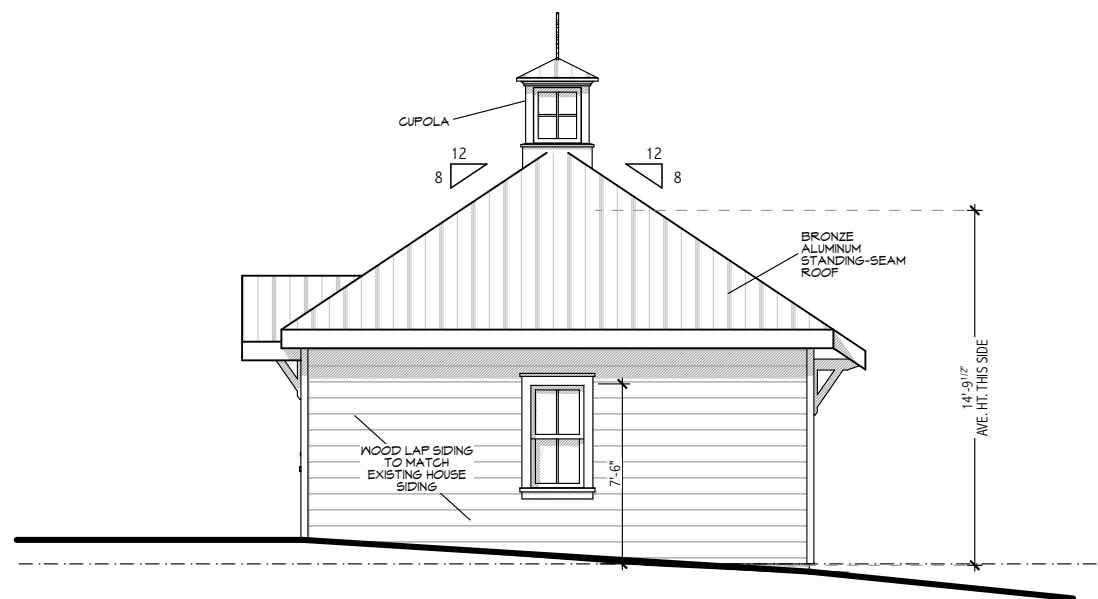
3
IP.16 GARAGE - SIDE ELEVATION
SCALE: 1/8" = 1'-0"



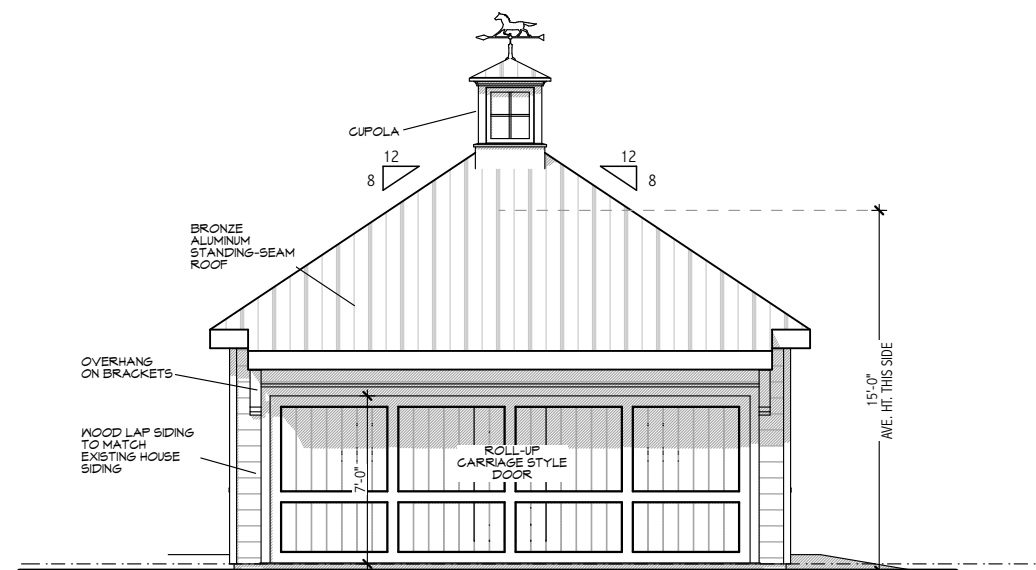
2
IP.16 GARAGE - FRONT ELEVATION (Facing House)
SCALE: 1/8" = 1'-0"



1
IP.16 GARAGE FLOOR PLAN
SCALE: 1/8" = 1'-0"



5
IP.16 GARAGE - SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4
IP.16 GARAGE - REAR ELEVATION (Facing Alley)
SCALE: 1/8" = 1'-0"