



Adam Stillman
Residential Design
(770) 330-3889
adam@adamstillman.net

Your Home.

360 Sinclair Avenue NE Atlanta, Georgia

revisions

architect seal

ISSUED FOR CONSTRUCTION

All drawings in this project shall be printed on 24" x 36" sheets and must be stamped at the completion of the project. The contractor shall verify all dimensions and materials are correct. This contractor shall follow and verify all building codes and regulations. All drawings shall be prepared in accordance with the standards set forth in the International Building Code, International Mechanical Code, International Fuel Gas Code, International Electrical Code, International Energy Code, International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments, 2018 NFPA 101 - Life Safety Code with State Amendments, and all applicable local codes and regulations. The contractor shall verify all dimensions and materials are correct. This contractor shall follow and verify all building codes and regulations. All drawings shall be prepared in accordance with the standards set forth in the International Building Code, International Mechanical Code, International Fuel Gas Code, International Electrical Code, International Energy Code, International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments, 2018 NFPA 101 - Life Safety Code with State Amendments, and all applicable local codes and regulations.

Title	COVER SHEET
Scale	3/16" = 1'-0"
Drawn	checked
Date	02-01-2021
Project no.	360Sinclair
Sheet no.	A-0

FLOOD HAZARD: NO
TYP. DEAD LOADS: 10 psf
TYP. LIVE LOADS: 40 psf
TYP. ROOF LOADS: 20 psf LIVE/15 psf DEAD
WIND SPEED/CATEGORY: 90 mph/B
WEATHER: SEVERE
TERMINATE: MODERATE
FROST LINE DEPTH: 12"
MEAN ANNUAL TEMP: 66.2°
WINTER DESIGN TEMP: 22°
GROUND SNOW LOAD: 5 psf
SEISMIC DESIGN CATEGORY: B

DRAWING INDEX:
A-0 COVER SHEET
S-1 SITE PLAN
A-1 MAIN LEVEL FLOOR PLANS
A-2 BASEMENT FLOOR PLANS
A-3 ELEVATIONS

CONTRACTOR/MECHANICAL/ELECTRICAL CONTRACT
SINCLAIR AVENUE AND OFFICE CONSTRUCTION
360 SINCLAIR AVENUE, N.E.
ATLANTA, GA 30317

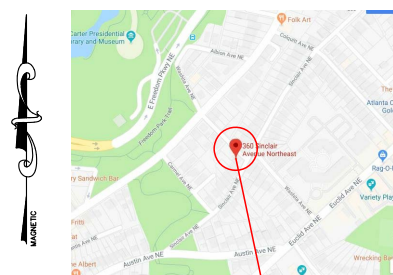
ARCHITECT
ADAM STILLMAN
RESIDENTIAL DESIGN
360 SINCLAIR AVENUE, N.E.
ATLANTA, GA 30317

STANDARD CONSTRUCTION CODES:
International Building Code, 2018 Edition, with Georgia Amendments
International Residential Code, 2018 Edition, with Georgia Amendments
International Fire Code, 2018 Edition, with Georgia Amendments
International Plumbing Code, 2018 Edition, with Georgia Amendments
International Mechanical Code, 2018 Edition, with Georgia Amendment
International Fuel Gas Code, 2018 Edition, with Georgia Amendment
International Electrical Code, 2015 Edition, with Georgia Amendments
International Energy Code, 2015 Edition, with Georgia Amendments
International Swimming Pool and Spa Code, 2018 Edition, with GA Amendments
2018 NFPA 101 - Life Safety Code with State Amendments

PROJECT NAME: Gross/Castro-Aguilar Residence
SCOPE OF WORK: Interior renovations to existing house; construct rear addition with master bedroom suite on main level, and guest room/office suite on basement level; demo and rebuild existing deck, reversing stair direction to back yard.
TYPE OF CONSTRUCTION: V-B
NUMBER OF STORES: 1
BUILDING HEIGHT: 22.5'

FLOOR AREAS:
MAIN (EXISTING): 1596 sf
MAIN (ADDITION): 542 sf
LOWER (EXISTING): 648 sf
LOWER (ADDITION): 584 sf
TOTAL: 3370 sf

NOTE: NO NEW ATTIC SPACE EXCEEDS 7' HEADROOM; EXISTING ATTIC NOT INCLUDED IN FLOOR AREA PER SEC. 16-24-008.2.



LOCATION MAP NOT TO SCALE

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL (B) IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS. WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL.

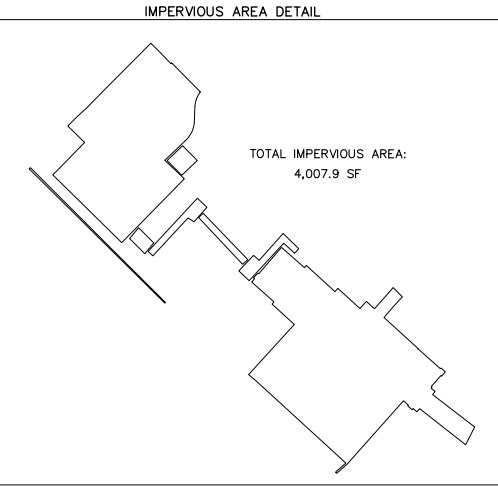
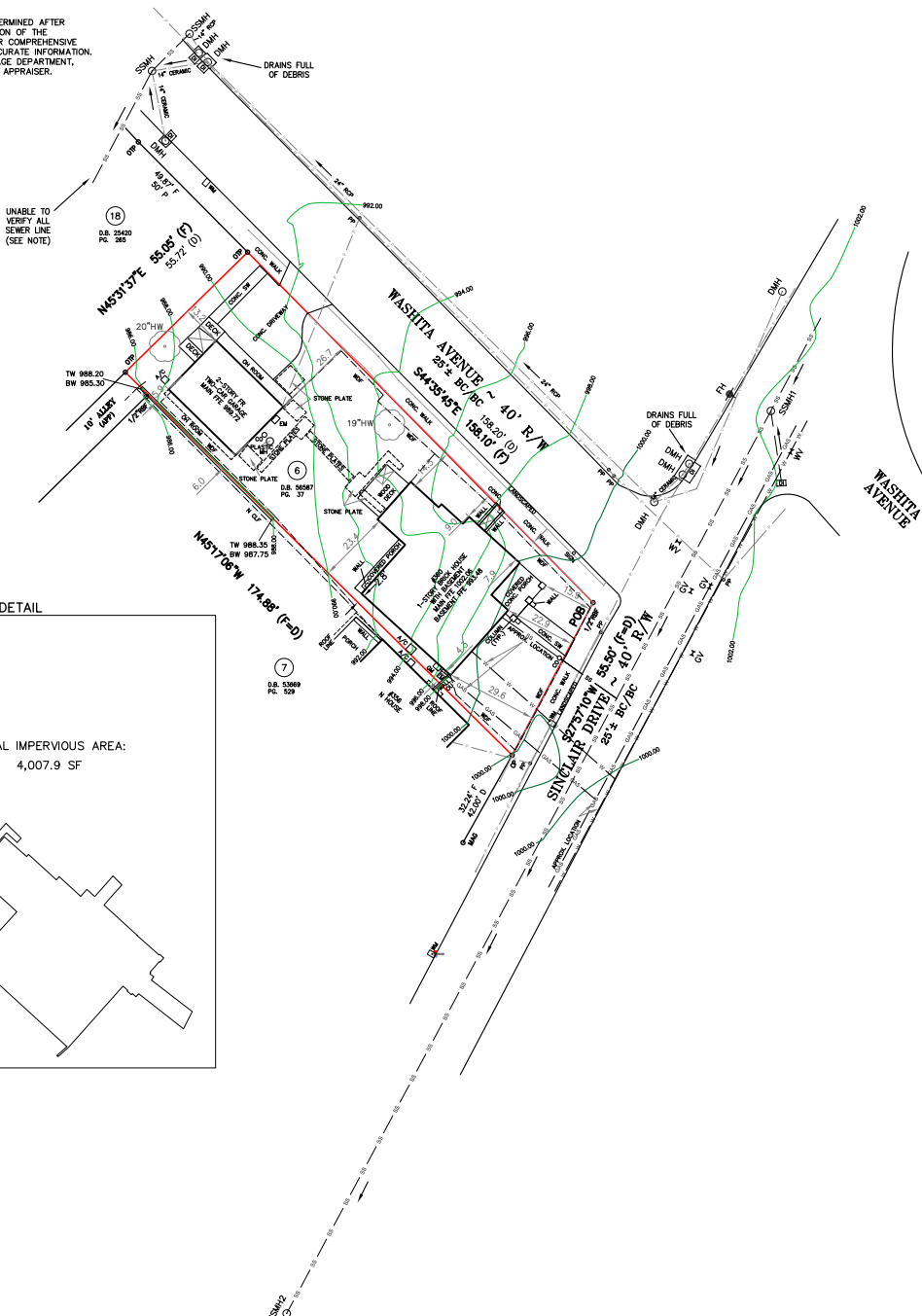
MAP ID 131210263G DATE: 09/18/2013

ZONE: X
 THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA. A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

OLD HOUSE FFE
 1002.06

SSMH1
 INV IN 991.24
 INV OUT 991.14

SSMH2
 INV IN 982.86
 INV OUT 982.76



ZONING NOTE:
 BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

PROPERTY IS ZONED R-5 / OVERLAY ZONING HC20LSA1 -Inman Park SA 1 / Beltline
 BUILDING SETBACKS SUBJECT TO COMPATIBILITY RULES

*** LEGEND ***

- APD AS PER DEED
- AE ACCESS EASEMENT
- APF AS PER FIELD
- AJ ANGLE IRON FOUND
- APR AS PER PLAT
- APR AS PER RECORD
- BC BACK OF CURB
- BLK BLOCK
- BLS BUILDING LINE SETBACK
- BR BRICK
- CB CATCH BASIN
- CL CENTER LINE
- CLF CHAIN LINK FENCE
- CMP CORRUGATED METAL PIPE
- C.O.A. CITY OF ATLANTA
- CO SAN SEWER CLEANOUT
- COP CALCULATED POINT
- CP CPT
- CPT CRIMP TOP PIPE FOUND
- D DEED
- DE DRAINAGE EASEMENT
- DI DRAINAGE INLET
- EM ELECTRIC METER
- EM ELECTRIC POWER BOX
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- F FIELD
- FC FENCE CORNER
- FR FIRE HYDRANT
- FR FRAME
- FM GAS METER
- GM GAS METER
- GV GAS VALVE
- GW GUY WIRE
- HDW HARDWOOD TREE
- IPF IRON PIN FOUND
- IPS IRON PIN SET
- IR IRON ROD FOUND
- IV IRRIGATION VALVE
- IM IRRIGATION METER
- X-X- FENCE
- INDICATES STAIRS
- JB JUNCTION BOX
- L.L.L. LAND LOT LINE
- MAG MAGNETIC READING IP
- MGN MAGNOLIA TREE
- MHI MAN HOLE
- MIF METAL FENCE
- N N.B.S.S.
- OH OVERHANG
- OTIP OPEN TOP PIPE FOUND
- OU OWNERSHIP UNCLEAR
- P PORCH
- PC PROPERTY CORNER
- P PROPERTY LINE
- PN PROPERTY LINE
- POB POINT OF BEGINNING
- R/W RIGHT-OF-WAY
- PW POWER POLE
- (P) PLAT
- R RECORD
- RBF REINFORCING BAR FOUND
- RBS REINFORCING BAR SET
- RCP REINFORCED CONC. PIPE
- R/W RIGHT-OF-WAY
- SN SIGN
- SSE SANITARY SEWER LINE
- SSE SANITARY SEWER EASEMENT
- SP SCREENED PORCH
- TB TOP OF BANK
- UE UTILITY EASEMENT
- WD WOOD
- WDF WOOD FENCE
- WDC WOOD DECK
- WL WATER LINE
- WM WATER METER
- WRF WIRE FENCE
- WV WATER VALVE
- WW WEATHER
- YI YARD INLET

SURVEY NOTES

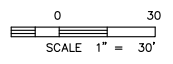
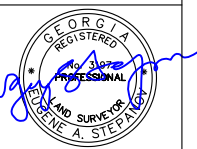
1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIZE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. IT CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN NOT BE INSERTED WITH A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

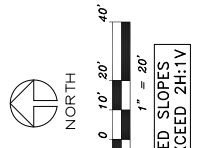
LOT 6	BLOCK 24	EXISTING CONDITIONS PREPARED FOR:	SHEET 1 OF 1
COPENHILL SUBDIVISION		Carla & Brandon Cox	
LAND LOT 15	14TH DISTRICT		
FULTON COUNTY, GEORGIA P.B.6/P.G.196 D.B. 5978/P.G.116		PROPERTY ADDRESS:	
FIELD WORK DATE JAN 11, 2021 PRINTED/SIGNED JAN 13, 2021		360 SNCLAIR AVENUE	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 17" x 22"		ATLANTA, GA 30307	
<p>THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.</p>			
<p>JP/AP COORD #20180413 DWG #20180413</p>		<p>24 LENOX PONTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM</p>	

TOTAL LAND AREA
 8,998.57 SF / 0.207 AC

EXISTING LOT COVERAGE
 4,007.9 SF / 0.092 AC / 44.54%



360 Sinclair Avenue NE
 Atlanta, Georgia



NO GRADED SLOPES SHALL EXCEED 2H:1V

CONTOUR TYPE
 --- EXISTING TO REMAIN
 --- NEW CONTOUR

NOTE: LIMITS OF DISTURBANCE CONSIDERED WITH SILT FENCE

TREE REPLACEMENT CALCULATION CHART

TREES RECOMPENSE:

\$ AMOUNT = \$100.00 (# OF TREES DESTROYED + # OF TREES LOST) - \$50.00 (# OF TREES REPLACED) + \$30.00 (# OF DBH INCHES DESTROYED + # OF DBH INCHES LOST) - # CALIPER INCHES REPLACED

+ \$100.00 x # of TREES DESTROYED	+ \$100.00 x 0 = +\$ 0.00
+ \$100.00 x # of TREES LOST	+ \$100.00 x 0 = +\$ 0.00
+ \$30.00 x # OF TREES REPLACED	+ \$30.00 x 0 = +\$ 0.00
+ \$30.00 x # OF DBH INCHES DESTROYED	+ \$30.00 x 0 = +\$ 0.00
+ \$30.00 x # OF DBH INCHES LOST	+ \$30.00 x 0 = +\$ 0.00
- \$30.00 x # CALIPER INCHES REPLACED	- \$30.00 x 0 = -\$ 0.00
	\$ AMOUNT = 0.00

TREE SYMBOL LEGEND

SYMBOL	DESCRIPTION
⊙	NEW TREE
⊙	EXISTING TREE TO REMAIN
⊙	EXISTING TREE TO BE REMOVED

Before starting land-disturbance activities, the contractor shall submit a site plan to the City of Atlanta for review and approval. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Atlanta.

OWNER/CONTRACTOR/24 HR CONTACT
 Shorco Green and Affonso Castro
 360 Sinclair Avenue NE
 Atlanta, GA 30307
 770-330-3389

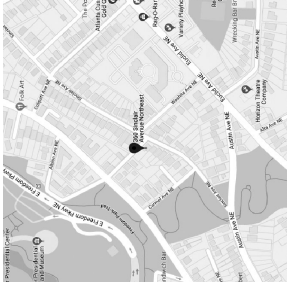
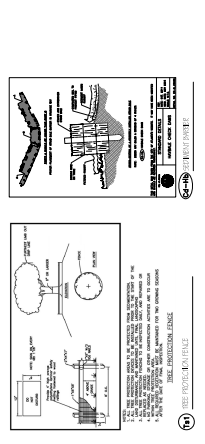
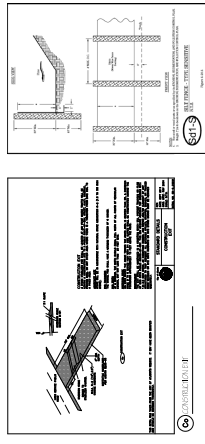
ARCHITECT
 ADAM STILLMAN
 360 Sinclair Avenue NE
 Atlanta, GA 30307
 770-330-3389

- NOTES:**
- EXISTING TREES TO BE REMOVED SHALL BE REPLACED WITH NEW TREES OF EQUAL OR GREATER CALIPER AND SPECIES. REPLACEMENT TREES SHALL BE PLANTED WITHIN 30 DAYS OF THE DATE OF REMOVAL.
 - SEMI-ANNUAL WATERING SHALL BE PROVIDED FOR ALL NEW TREES PLANTED. WATERING SHALL BE PROVIDED FOR A PERIOD OF 18 MONTHS.
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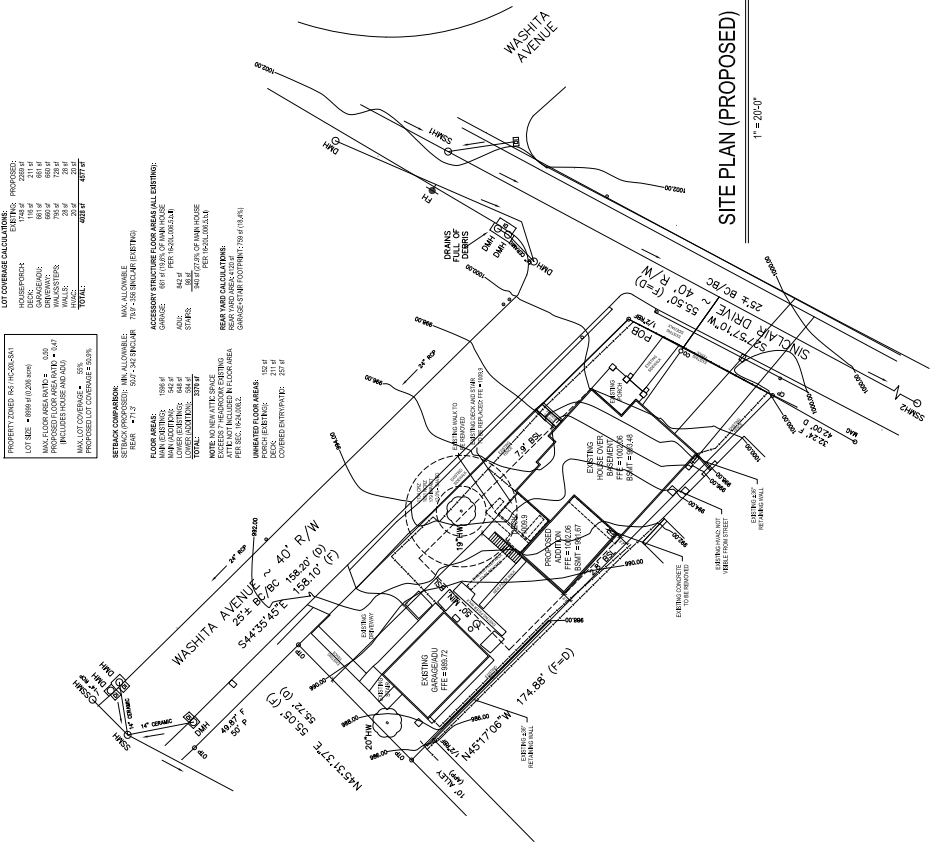
- DISTURBED AREA STABILIZATION**
- Ds1: DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
- Ds2: DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
- Ds3: DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
- Ds4: DISTURBED AREA STABILIZATION (WITH SEEDING)

EROSION AND SEDIMENT CONTROL PRACTICES

The scope of sediment control measures shall be determined by the availability of erosion and sediment control measures prior to the start of construction. Erosion and sediment control measures shall be installed at all times. Additional measures beyond the approved plan shall be installed as needed. Erosion and sediment control measures shall be installed at all times. Additional measures beyond the approved plan shall be installed as needed. Erosion and sediment control measures shall be installed at all times. Additional measures beyond the approved plan shall be installed as needed.



VICINITY MAP
 NOT TO SCALE



LOT DIMENSION CALCULATIONS

HOUSEFOOTPRINT	174.0' x 20.0' = 3,480.0'
CARPORT	86.0' x 8.0' = 688.0'
WALKWAY	79.0' x 8.0' = 632.0'
WALKWAY	22.0' x 8.0' = 176.0'
TOTAL	4,976.0'

PROPERTY ZONED R-10 (SINGLE-FAMILY)

LOT AREA	4,976.0' sq ft
MAXIMUM FLOOR AREA RATIO	0.50
PROPOSED FLOOR AREA	4,976.0' sq ft
COMPLIANCE	YES
PROPOSED LOT COVERAGE	20.0%

FLOOR AREA

EXISTING FLOOR AREA	0.0' sq ft
PROPOSED FLOOR AREA	4,976.0' sq ft
TOTAL	4,976.0' sq ft

REAR YARD CALCULATIONS

REAR YARD AREA	152.0' sq ft
MINIMUM REAR YARD AREA	152.0' sq ft
COMPLIANCE	YES

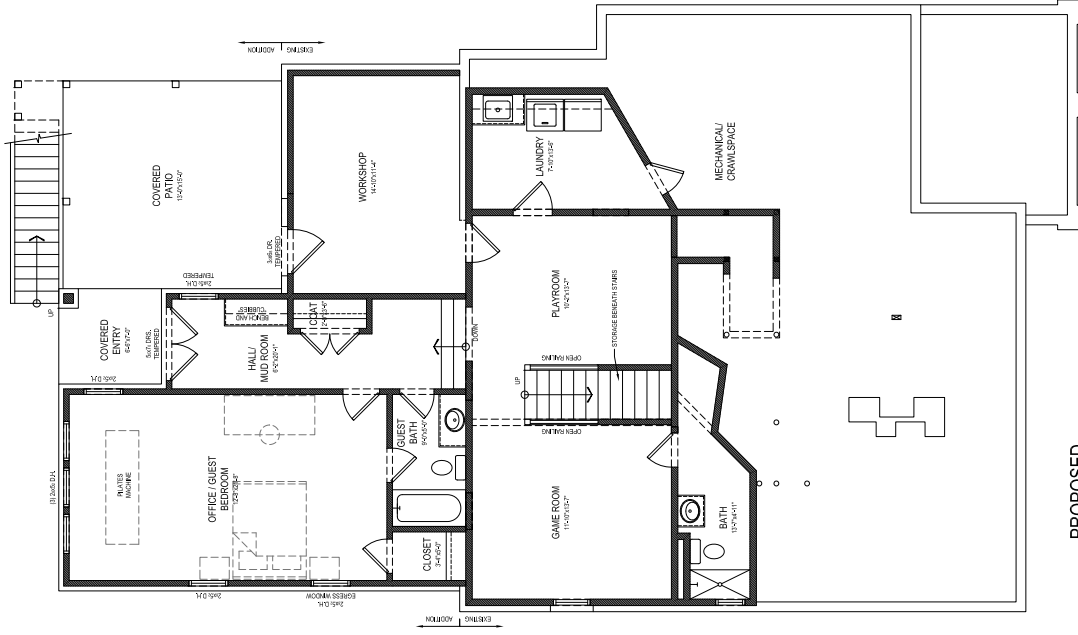
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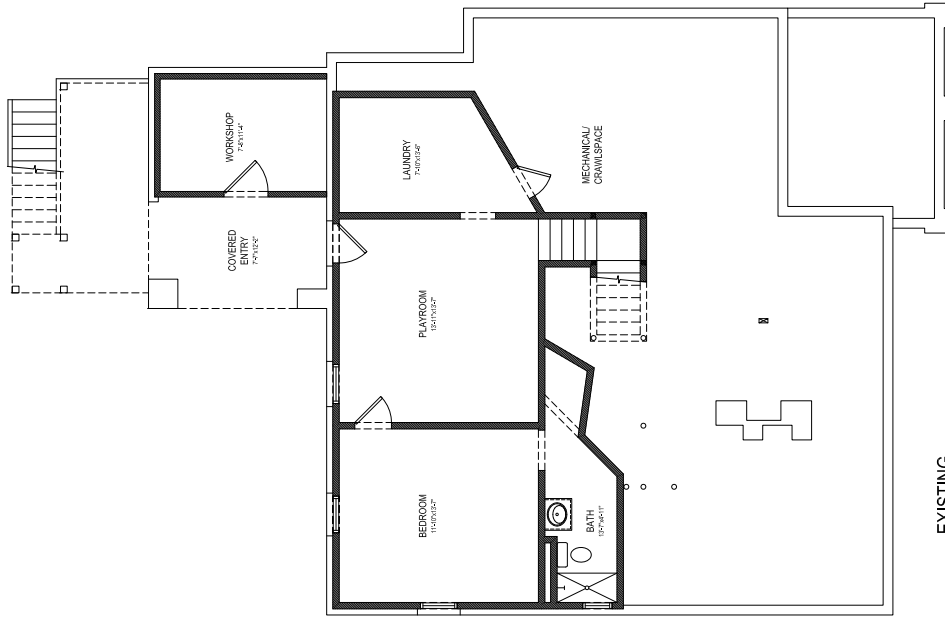
ISSUED FOR CONSTRUCTION

All drawings shall be prepared in accordance with the standards of the American Institute of Architects. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.

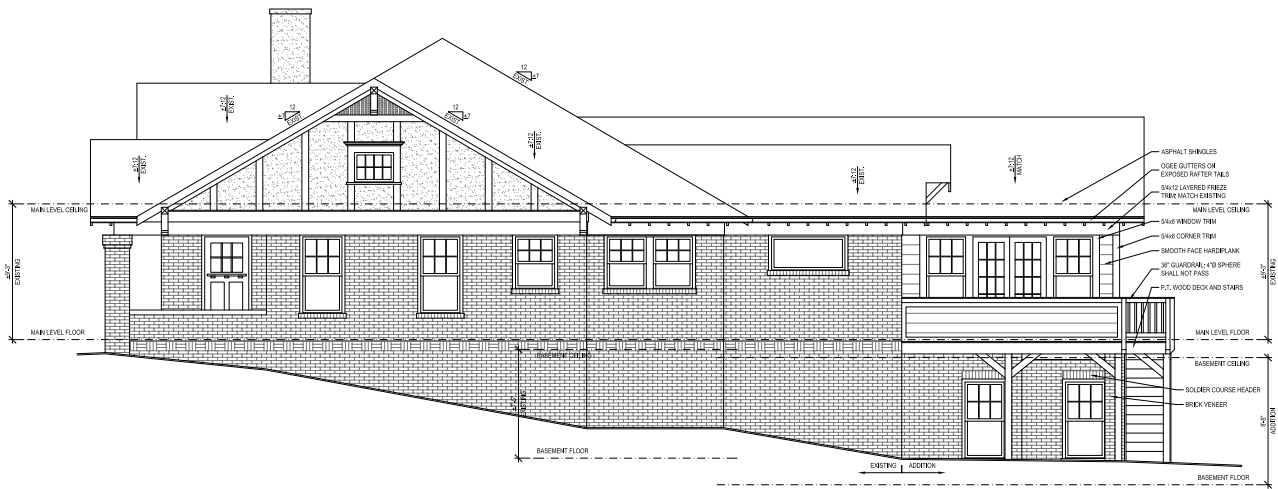
title	BASEMENT FLOOR PLAN
date	1/14/21
drawn	AS
checked	AS
project no.	02-01-2021
sheet no.	A-2
project name	360 Sinclair



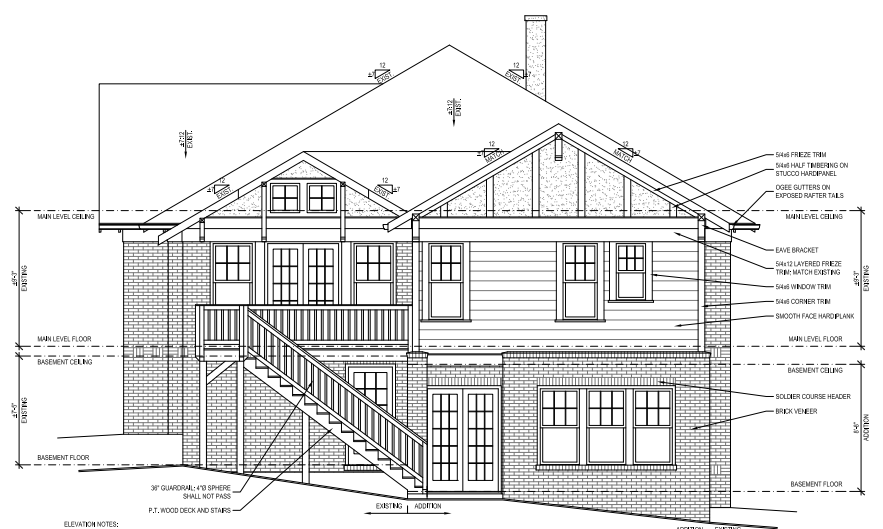
PROPOSED
BASEMENT FLOOR PLAN
1/4" = 1'-0"



EXISTING
BASEMENT PLAN
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES:
 1. ALL CONCRETES ARE EXISTING TO REMAIN EXCEPT AS NOTED
 2. NEW DOORS AND WINDOWS TO BE WOOD SHIMULATED UNBROD LIGHT WITH PERMANENTLY AFFIXED EXTERIOR MOUNTED GANGED WINDOWS TO HAVE 1/2" CHANGING ROLLERS
 3. ALL EXTERIOR TRIM IS WOOD

ISSUED FOR CONSTRUCTION	
DATE	02-21-2021
PROJECT NO.	360Sinclair
DESIGNER	ADAMS
DATE	02-21-2021
PROJECT NO.	A-3

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 Atlanta, Georgia

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