

Historic Preservation Studio
Office of Design
55 Trinity Avenue S.W., Suite 3350
Atlanta, Georgia 30303 (404) 330-6145



Department of
CITY PLANNING

Application #: _____
Date Accepted: _____

Application for Certificates of Appropriateness, Staff Review, and Review and Comment

Applicant's Name Adam Stillman

Applicant's Address 270 OB Land Lane

City Lakemont State GA Zip 30552

Phone # 770-330-3389 E-Mail apstillman@gmail.com

DESCRIPTION OF PROPERTY:

Property Address 331 Sinclair Ave NE Atlanta GA 30307

Zoning Category R-5/HC-20L-SA1 Beltline? Y In SPI / MR / MRC / NC? N

Is Inclusionary Zoning applicable to this project? Yes No

*Note: IZ is applicable to all new or conversion multifamily residential rental projects with ten (10) or more units in either the Beltline Overlay District or four Westside Neighborhoods (English Avenue, Vine City, Ashview Heights, or AUC). For these projects, applicant must complete and submit the supplemental Inclusionary Zoning Certification form.

DESCRIPTION OF PROJECT:

Describe clearly and in detail all proposed construction, alterations, repairs and other changes to the exterior appearance or site. The Office of Design Staff will use this description to determine the appropriate application type. Additional pages may be used if more space is needed, but "See Attached" will not be accepted

Construct deck and fence, install French doors, and install prefabricated plunge pool.

The Office of Design Accepts Applications
Monday through Friday from 8:30 Am to 3:00 PM
Incomplete applications will NOT be accepted.

Application Checklist

Required Submission Materials: (*Incomplete applications will NOT be accepted*). All submitted materials are retained by the Office of Design and not returned to the applicant.

Many scopes will require Compatibility Comparisons. Please see District regulations for specific requirements.

- Alterations with no structural changes (repairs/replacement):
 - Photographs
 - Manufacturer's spec. sheets for replacement products
- Alterations with structural changes:
 - Elevations
 - Photographs
- Additions and new construction:
 - Site Plans
 - Elevations
 - Photographs
- Specific requirements for window and door work:
 - Window and door repair:
 - Photographs of each window and door proposed for repair keyed to a rough floor plan
 - Description of the repair methods that will be used
 - Window and door replacement:
 - Photographs of each window and door proposed for replacement keyed to a rough floor plan
 - Elevations (only if windows are changing location)
 - Information detailing the infeasibility of repairing the existing windows and doors including various methods considered; and,
 - Information on the proposed replacement window product (Manufacturers Spec. Sheet)
- Specific requirements for fences and site work:
 - To-scale site plans which show all 4 corners of the subject property and the structure
 - For fences and walls:
 - The location, height, and materials of the fence/wall clearly noted on the site plan
 - For paving:
 - The location and materials of the paving clearly noted on the site plan
 - For decks
 - The location of the deck clearly noted on the site plan

While it is not required and will not affect the outcome of your review, the Office of Design Staff strongly recommends that you contact your neighborhood association for their input on your project before submitting for a review.

I HEREBY AUTHORIZE THE OFFICE OF DESIGN STAFF AND MEMBERS OF THE ATLANTA URBAN DESIGN COMMISSION TO INSPECT THE PREMISES OF THE ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE AND SAY THAT ALL STATEMENTS HEREIN AND ATTACHED STATEMENTS SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

APPLICANT OR AGENT



for, DOUG YOUNG, EXECUTIVE DIRECTOR

Authorization by Property Owner

(Required only if the applicant is not the owner of the property subject to the proposed application.)

(Please Print Clearly)

I, Allan and Ana Minter (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM THE OWNER OF THE PROPERTY AT 331 Sinclair Ave Ne (PROPERTY ADDRESS). AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA, WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO FILE THIS APPLICATION AS MY AGENT.

NAME OF APPLICANT:

LAST NAME Stillman FIRST NAME Adam
ADDRESS 270 OB Land Lane SUITE _____
CITY Lakemont STATE GA ZIP CODE 30552

OWNER'S TELEPHONE NUMBER: _____

ASM Ana Minter
SIGNATURE OF OWNER

Allan Minter Ana Minter
PRINT NAME OF OWNER

PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST KNOWLEDGE AND BELIEF.

[Signature]
NOTARY PUBLIC

1/11/23
DATE



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Atlanta, Georgia 30303 (404) 330-6145



Department of
CITY PLANNING

Application #: _____
Date Accepted: _____

Application for Variances and Special Exceptions

Applicant's Name Adam Stillman

Applicant's Address 270 OB Land Lane

City Lakemont State GA Zip 30552

Phone # 770-330-3389 E-Mail apstillman@gmail.com

DESCRIPTION OF PROPERTY:

Property Address 331 Sinclair Ave NE Atlanta GA 30307

Zoning Category R-5/HC-20L-SA1 Beltline? Y In SPI / MR / MRC / NC? N

Is Inclusionary Zoning applicable to this project? Yes No

*Note: IZ is applicable to all new or conversion multifamily residential rental projects with ten (10) or more units in either the Beltline Overlay District or four Westside Neighborhoods (English Avenue, Vine City, Ashview Heights, or AUC). For these projects, applicant must complete and submit the supplemental Inclusionary Zoning Certification form.

DESCRIPTION OF PROJECT:

Describe clearly and in detail all proposed construction, alterations, repairs and other changes to the exterior appearance or site. The Office of Design Staff will use this description to determine the appropriate application type. Additional pages may be used if more space is needed, but "See Attached" will not be accepted

Construct deck and fence, install French doors, and install prefabricated plunge pool.

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Incomplete applications will NOT be accepted.

ADDENDUM - VARIANCE PETITION

Directions: Complete responses must be provided for ALL questions. Incomplete applications will not be accepted. If extra space is needed, please attach information and reference attachments for the appropriate question. Applicant, having received a determination that proposed action is at broad variance with the referenced zoning regulations when seeking a Certificate of Appropriateness, hereby requests that the Atlanta Urban Design Commission grant a variance for (description of variance):

1. Relief from section 16-20L.006.1.j to allow a deck on the side of the principal structure

2. Relief from section 16-20L.006.b to allow a swimming pool in a side yard

for the following reasons:

(1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)?

Please see next page for all answers

(2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship?


(3) What conditions are peculiar to this particular piece of property?

(4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta.

(5) State whether the property described in this application forms any part of the subject matter of a pending application or ordinance for a zoning change or Special Use Permit. _____YES NO

I HEREBY FILE THIS REQUEST FOR VARIANCE FROM THE TERMS OF THE ZONING REGULATIONS FOR THE Inman Park Historic DISTRICT AND OTHER TERMS OF THE ZONING ORDINANCE OF THE CITY OF ATLANTA, WHICH APPLY TO THE PROPERTY IN QUESTION. I HEREBY AUTHORIZE THE OFFIC OF DESIGN STAFF AND THE MEMBERS OF THE ATLANTA URBAN DESIGN COMMISSION TO INSPECT THE PREMISES OF THE ABOVE DESCRIBED PROPERTY. I HEREBY DEPOSE AND SAY THAT ALL STATEMENTS HEREIN AND ATTACHED STATEMENTS SUBMITTED ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Applicant



For Doug Young, Executive Director.

Addendum - Variance Petition and Special Exception

Description of Variance/Special Exception requested:

1. Relief from section 16-20L.006.1.j to allow a deck on the side of the principal structure
2. Relief from section 16-20L.006.b to allow a swimming pool in a side yard

(1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)?

The subject property is an unusual size and shape. The predominant platting pattern for the surrounding blocks consists of long, narrow lots. The subject property is irregularly shaped, with a small rear yard and large west side yard due to the alley configuration, which wraps around the west side and rear of the lot.

(2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship?

Due to the unusual size and shape of the lot, the only usable yard for active recreation is the west side yard. Decks and swimming pools are allowable uses, so strict application of the requirements for such structures to be located only behind the principal structure would deny the homeowners full as-of-right use of their property.

(3) What conditions are peculiar to this particular piece of property?

The lot is an unusual size and shape, and is bound on the side and rear by alleys. The locations of the existing house, detached garage, and driveway severely limit the useable yard space, with no space behind the principal structure for the proposed improvements.

(4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta.

The locations of the proposed deck and pool are in a location already used by the homeowners for outdoor entertaining and children's play space. The deck is located behind an existing (historic and original) side porch, and the plunge pool is located in the widest portion of the west side yard in the furthest practical location from the street. The proposed pool location will not have a materially different impact on surrounding properties than if it were located behind the principal structure, as it would still be adjacent to and visible from the alley.



Front of house - unchanged



Left side of house - unchanged



Back of house - unchanged



Right side of house - area of proposed deck and plunge pool



French doors on block face - front elevation of 351 Sinclair



Your Home. You're Home. (770) 330-3389 adam@adamstillman.net

331 Sinclair Avenue NE

Atlanta, Georgia

CONTRACTOR/OWNER/24 HR CONTACT

Ana and Alan Minter
331 Sinclair Ave NE
ATLANTA, GA 30307
678-907-9246 (Ana)

ARCHITECT

ADAM STILLMAN
350 SINCLAIR AVE NE
ATLANTA, GA 30307
770-330-3389

STANDARD CONSTRUCTION CODES:

- International Building Code, 2018 Edition, with Georgia Amendments (2020)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020)
- International Fire Code, 2018 Edition (no Georgia Amendments)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- International Mechanical Code, 2018 Edition, with Georgia Amendment (2020)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendment (2020)
- National Electrical Code, 2020 Edition (no Georgia Amendments)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
- International Swimming Pool and Spa Code, 2018 Edition, with GA Amendments (2020)
- 2018 NFPA 101 - Life Safety Code 2018 Edition with State Amendments (2020)

- FLOOD HAZARD: NO
- TYP. DEAD LOADS: 10 psf
- TYP. LIVE LOADS: 40 psf
- TYP. ROOF LOADS: 20 psf LIVE/15 psf DEAD
- WIND SPEED/CATEGORY: 115 mph/B
- TERMITE: SEVERE
- WEATHER: MODERATE
- FRONT LINE DEPTH: 12"
- MEAN ANNUAL TEMP: 66.2°
- WINTER DESIGN TEMP: 22°
- GROUND SNOW LOAD: 5 psf
- SEISMIC DESIGN CATEGORY: B

PROJECT NAME: Minter Residence

SCOPE OF WORK: Construct deck and fence, install French doors, and install prefabricated plunge pool.

NUMBER OF STORIES: 1

BUILDING HEIGHT: 20'-0"

FLOOR AREAS (UNCHANGED)

EXISTING: 1905 sf

UNHEATED FLOOR AREAS:

- FRONT STOOP: 24 sf
- SCREEN PORCH: 133 sf
- EXISTING DECK: 87 sf
- PROPOSED DECK: 100 sf
- SIDE PORCH: 34 sf

DRAWING INDEX:

- A-0 COVER SHEET AND SITE PLAN
- A-1 FLOOR PLANS
- A-2 FRONT & RIGHT ELEVATIONS
- A-3 REAR & LEFT ELEVATIONS

revisions

ISSUED FOR CONSTRUCTION

All drawings are the property of Adam Stillman, and must be returned at the completion of work. They shall not be reproduced, modified, or revised in any way without written consent. The contractor shall check and verify all dimensions and report any discrepancies before proceeding with the work. Adam Stillman shall protect this copyright and be reimbursed for all legal and court costs, etc., for any necessary protection of the drawings. Submission of these drawings to any public body for any use does not release in any way the copyright and ownership of drawings provisions listed herein.

title	COVER SHEET AND SITE PLAN		
scale	-		
drawn	APS	checked	
date	01-09-2023	sheet no.	A-0
project no.	331Sinclair		



REFERENCE MATERIAL

- WARRANTY DEED IN FAVOR OF ALLAN S. MINTER, IV AND ANA L. MINTER DEED BOOK 53743 PAGE 497 FULTON COUNTY, GEORGIA RECORDS

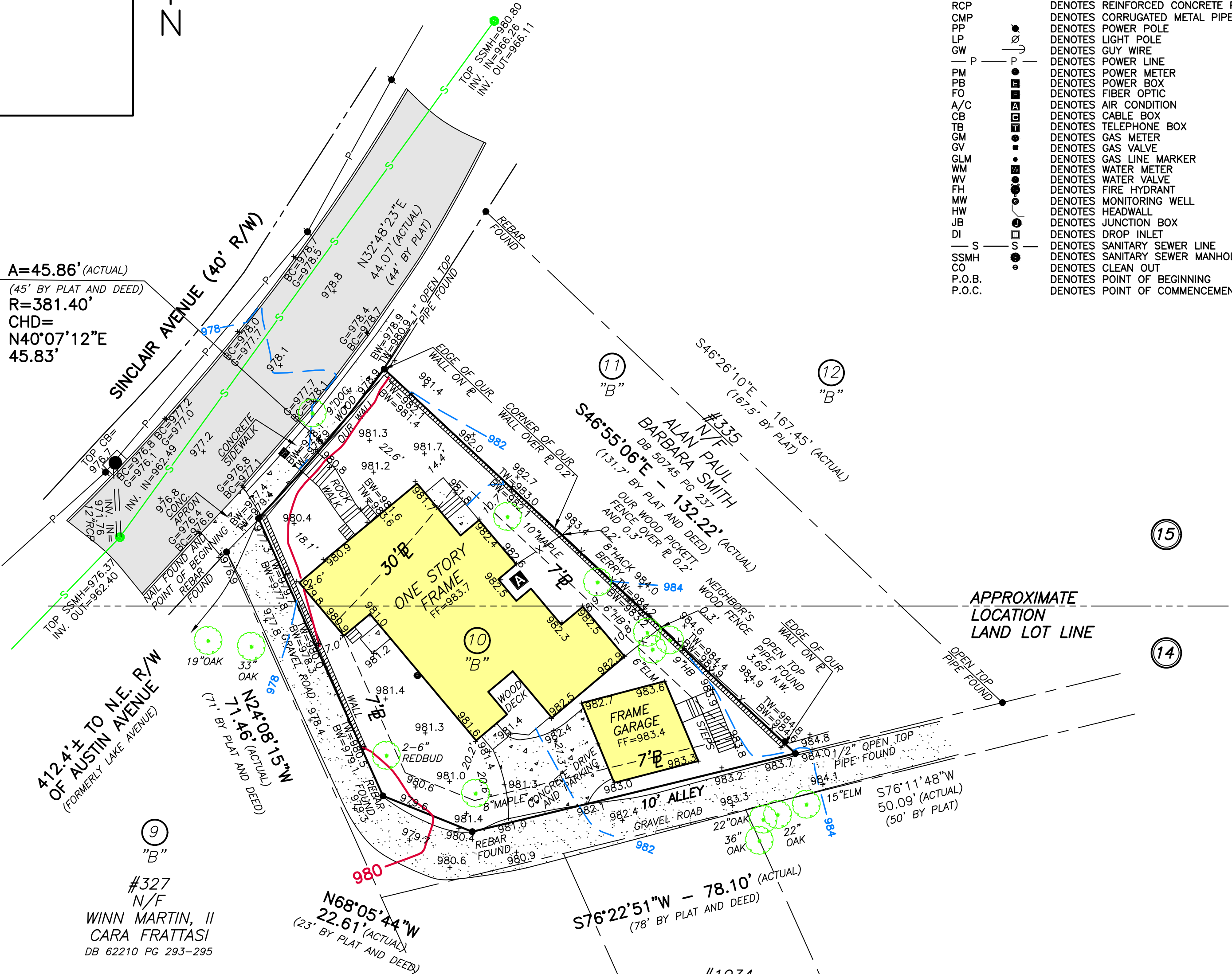
TREE LEGEND

- HB DENOTES HACKBERRY TREE

LEGEND

- B DENOTES BUILDING LINE
- R DENOTES PROPERTY LINE
- R/W DENOTES RIGHT-OF-WAY
- C DENOTES CENTERLINE
- BC DENOTES BACK OF CURB
- G DENOTES GUTTER
- EP DENOTES EDGE OF PAVING
- TW DENOTES TOP OF WALL
- BW DENOTES BOTTOM OF WALL
- X-X DENOTES FENCE
- RCP DENOTES REINFORCED CONCRETE PIPE
- CMP DENOTES CORRUGATED METAL PIPE
- PP DENOTES POWER POLE
- LP DENOTES LIGHT POLE
- GW DENOTES GUY WIRE
- P-P DENOTES POWER LINE
- PM DENOTES POWER METER
- PB DENOTES POWER BOX
- FO DENOTES FIBER OPTIC
- A/C DENOTES AIR CONDITION
- CB DENOTES CABLE BOX
- TB DENOTES TELEPHONE BOX
- GM DENOTES GAS METER
- GV DENOTES GAS VALVE
- GLM DENOTES GAS LINE MARKER
- WM DENOTES WATER METER
- WV DENOTES WATER VALVE
- FH DENOTES FIRE HYDRANT
- MW DENOTES MONITORING WELL
- HW DENOTES HEADWALL
- JB DENOTES JUNCTION BOX
- DI DENOTES DROP INLET
- S-S DENOTES SANITARY SEWER LINE
- SSMH DENOTES SANITARY SEWER MANHOLE
- CO DENOTES CLEAN OUT
- P.O.B. DENOTES POINT OF BEGINNING
- P.O.C. DENOTES POINT OF COMMENCEMENT

A=45.86' (ACTUAL)
 (45' BY PLAT AND DEED)
 R=381.40'
 CHD=
 N40°07'12"E
 45.83'



FLOOD NOTE

THIS PROPERTY IS NOT LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.R.M. OFFICIAL FLOOD HAZARD MAPS. COMMUNITY PANEL No. 13121C0263 G EFFECTIVE DATE: SEPTEMBER 18, 2013. FULTON COUNTY, GEORGIA

SURVEY NOTES

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES. UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. PLEASE CALL ALL LOCAL UTILITY PROVIDERS AND OR 811 FOR FURTHER INFORMATION.
- THE FIELD DATA UPON WHICH THIS PLAT IS BASED WAS GATHERED BY AN OPEN TRAVERSE AND HAS A CALCULATED POSITIONAL TOLERANCE OF 0.03 FEET. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 40,630 FEET. A GEOMAX ZOOM 90 SERIES ROBOTIC TOTAL STATION WITH CARLSON SURVEY 2 DATA COLLECTOR WERE USED IN THE COLLECTION OF FIELD DATA. A TOPCON GR-5 WAS USED IN THE COLLECTION OF GPS OBSERVATIONS.
- BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.
- THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.
- ALL REBARS SET ARE 1/2" REBARS UNLESS OTHERWISE NOTED.
- THE EXISTENCE, SIZE, AND LOCATION OF IMPERVIOUS BUFFERS ARE SUBJECT TO FINAL DETERMINATION BY THE LOCAL ISSUING AUTHORITY, CITY, OR COUNTY.
- CONTOUR INTERVAL= 2 FEET
- ELEVATION DATUM= NAVD 1988 (LOCAL GPS OBSERVATION)



THIS PROPERTY SUBJECT TO THE FOLLOWING

- CURRENT ZONING PER CITY OF ATLANTA, GEORGIA R-5
 - MINIMUM FRONT SETBACK= 30 FEET
 - MINIMUM SIDE SETBACK= 7 FEET
 - MINIMUM REAR SETBACK= 7 FEET
 - MINIMUM LOT AREA= 7,500 SQ. FT.
 - MINIMUM STREET FRONTAGE= 50 FEET
 - MAXIMUM LOT COVERAGE= 55%
 - MAXIMUM FLOOR AREA RATIO= SEE SECTION 16-07.010
- MUST BE VERIFIED BY CITY OF ATLANTA BEFORE CONSTRUCTION

SURVEYOR'S CERTIFICATE

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Regulation for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Michael R. Noles

Michael R. Noles Georgia RLS No. 2646 10-3-22



Michael R. Noles
 Georgia RLS #2646
 Member SAMSOG

NO.	REVISIONS	DATE



McClung Surveying Services, Inc.
 4833 South Cobb Drive Suite 200
 Smyrna, Georgia 30080 (770) 434-3383
 www.mcclungsurveying.com Certificate of Authorization #LSF000752

TOPOGRAPHIC MAP FOR
 ALLAN MINTER

331 SINCLAIR AVENUE
 ATLANTA, GEORGIA

TOTAL AREA= 0.157± ACRES
 OR 6,822± SQ. FT.



SCALE IN FEET

LOT 10 BLOCK "B"
 COPENHILL

LAND LOTS 14 AND 15
 14TH DISTRICT
 FULTON COUNTY, GEORGIA
 PLAT PREPARED: 10-3-22
 FIELD: 9-30-22 SCALE: 1"=20'

JOB#259647

OWNER/CONTRACTOR/24 HR CONTACT

ARCHITECT

Ana and Allan Minter
331 SINCLAIR AVE NE
ATLANTA GA 30307
770-313-4694

ADAM STILLMAN
350 SINCLAIR AVE NE
ATLANTA, GA 30307
770-330-3389

Before starting land-disturbance activities, the Contractor is required to schedule a pre-construction meeting with Erosion & Sediment Control. Call (404) 546-1300

NOTES:

- 1. DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
2. SEPARATE PERMIT IS REQUIRED FOR SIDEWALK AND/OR DRIVEWAY CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY CONTACT TECHNICAL SERVICES AT (404) 330-6039.
3. SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181-TEMPORARY SILT FENCE, OF THE GEORGIA STANDARD SPECIFICATIONS, 1983 EDITION.
4. MAINTENANCE STATEMENT- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR.
5. STATEMENT- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
6. NO GRADED SLOPE SHALL EXCEED 2H:1V
7. PROPERTY ADDRESS = 331 SINCLAIR AVE ATLANTA, GEORGIA
8. TOTAL LOT AREA = 0.147 acre
9. TOTAL AREA DISTURBED: 0.04 acre
10. CUT ± 18 C.Y. FILL ± 0 C.Y. BALANCE DIRT ON SITE. DEMOLITION DEBRIS ± 4 C.Y.
11. THE BENCHMARK FOR THIS SITE Survey By McClung Surveying
12. PROPERTY IS NOT IN 100 YEAR FLOOD PLAIN. FEMA MAP 13121C0263G 9/18/2013
13. OWNER: Ana and Allan Minter

Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
Establish temporary protection for disturbed areas. Establish permanent vegetative cover such as trees, shrubs, vines, grasses, sod, or sequoia on disturbed areas to produce on-erosion retarding cover.

Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
Establish permanent vegetative cover such as trees, shrubs, vines, grasses, sod, or sequoia on disturbed areas to produce on-erosion retarding cover.

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
Establish a temporary vegetative cover with fast growing seedlings on disturbed areas.

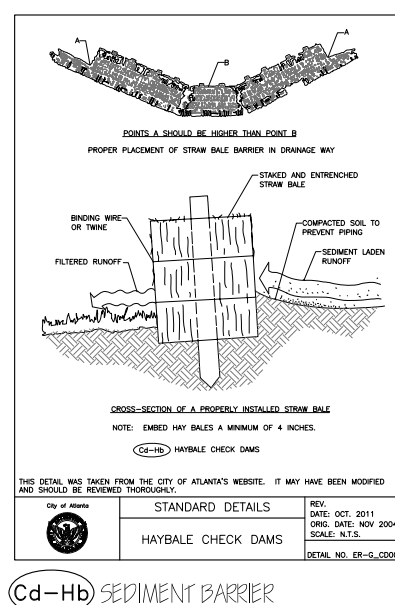
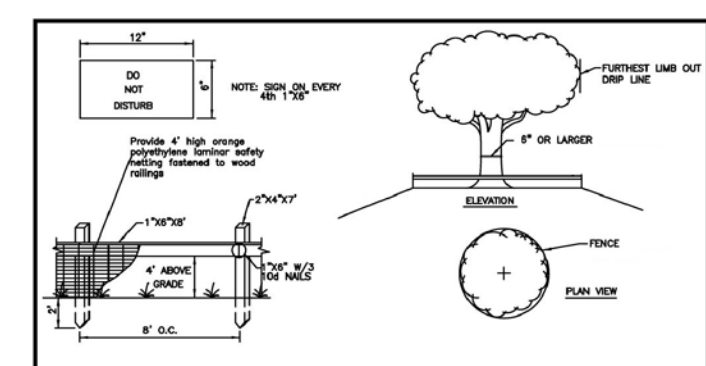
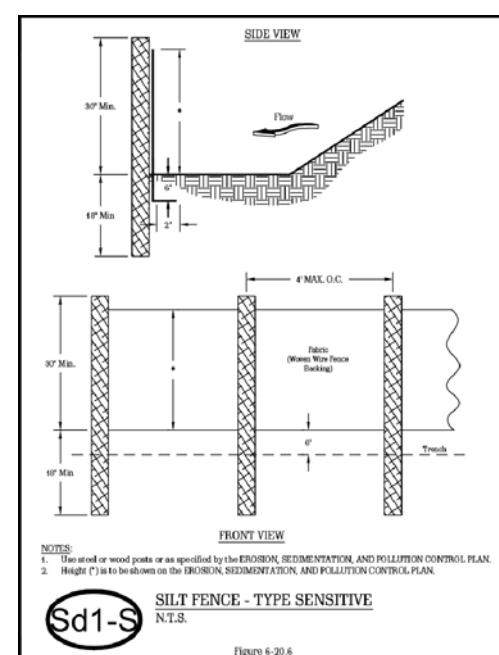
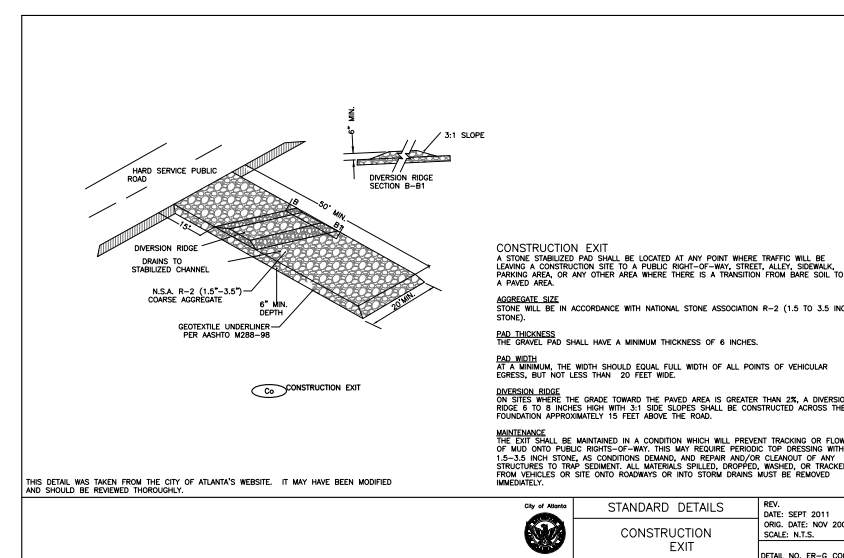
Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)
Establish permanent vegetative cover with sod grass on disturbed areas.

EROSION AND SEDIMENT CONTROL PRACTICES

- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures prior to or concurrent with land-disturbance activities.
Erosion and sediment control measures shall be maintained at all times. Additional measures beyond the approved plan shall be implemented as necessary.
Disturbed areas idle 14 days shall be stabilized with temporary vegetation; disturbed areas idle 30 days shall be stabilized with permanent vegetation.
Erosion and sediment control measures shall be inspected at least twice weekly, after each rain, and repaired as necessary.
Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.
Silt fence shall meet the requirements of Section 171 - Type C temporary silt fence, of the Georgia Department of Transportation Standard Specifications, 1993 Edition.

VEGETATIVE PLAN

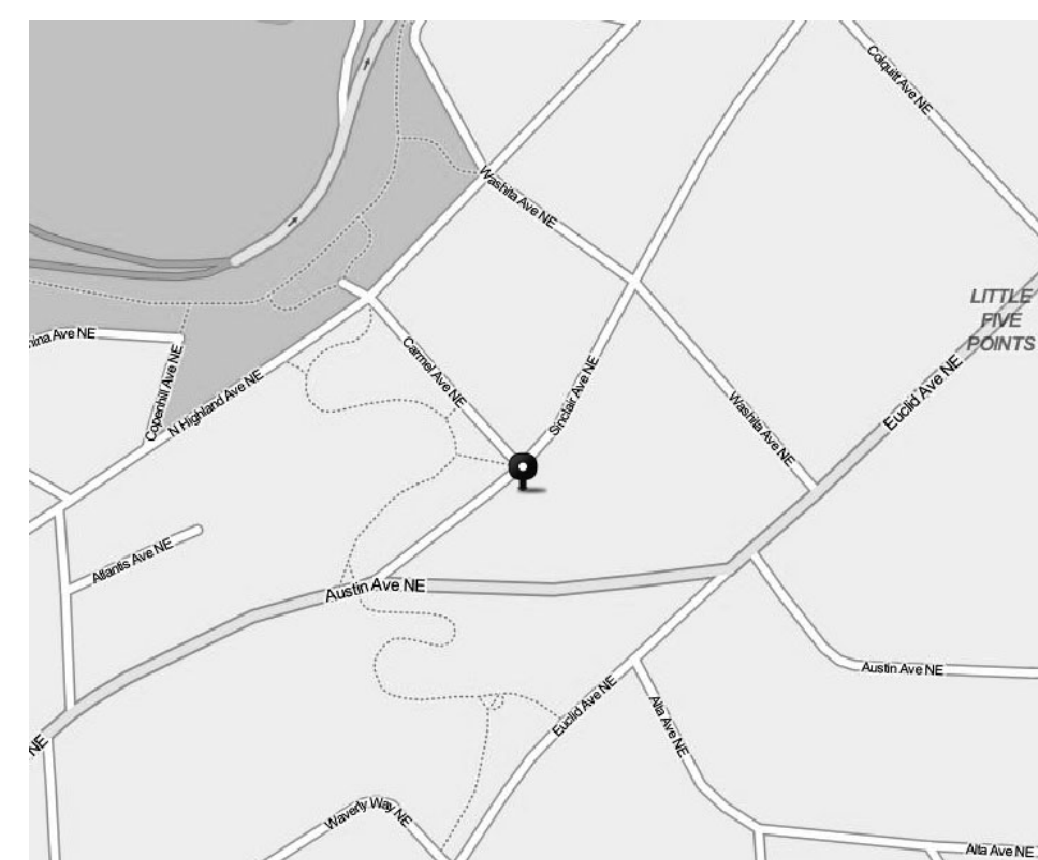
- FALL SEEDING
Treat soil with 40lbs/1000sf lime, till soil, and water thoroughly. Seed with 6-8lbs./1000sf Bermuda (Cynodon dactylon) and Centipede (Eremochloa ophiuroides) with 4lbs/1000sf starter fertilizer (20-27-5) and mulch with straw at a rate of 1 bale/800sf. Fertilize with 24-6-12 at 60 and 150 days after seeding. Skip 150 day fertilizing if WITHIN 30 days of Spring Seeding.
SPRING SEEDING
Treat soil with 40lbs/1000sf lime, till soil, and water thoroughly. Seed with 6-8lbs./1000sf Ryegrass (Lolium multiflorum) and Red Fescue (Festuca rubra) with 4lbs/1000sf starter fertilizer (20-27-5) and mulch with straw at a rate of 1 bale/800sf. Fertilize with 24-6-12 at 60 and 150 days after seeding. Skip 150 day fertilizing if WITHIN 30 days of Fall Seeding.
Test soil and reapply 40lbs/1000sf lime as needed on an annual basis



- 1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEGMENTATION.
2. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO THE START OF THE LAND-DISTURBANCE.
3. ALL TREE PROTECTION DEVICES TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. ALL TREE PROTECTION DEVICES TO BE REPLACED AS NEEDED.
5. ALL TREE PROTECTION DEVICES TO BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.

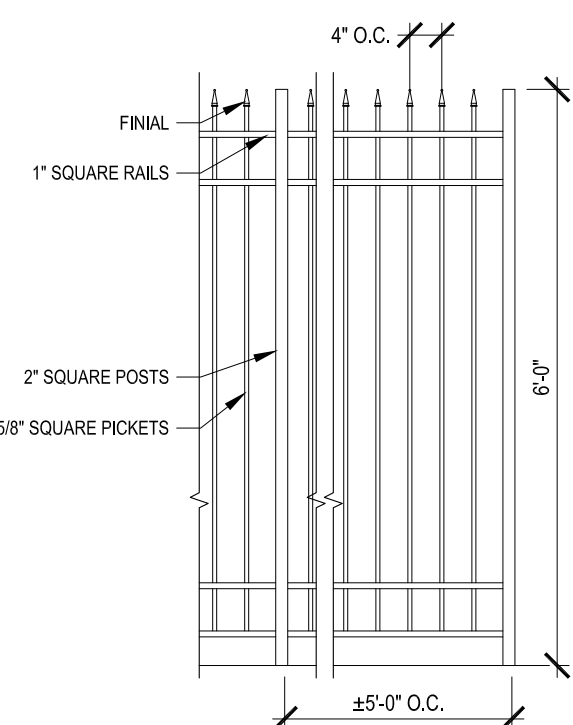
TS1 TREE PROTECTION FENCE

CD-HB SEDIMENT BARRIER



VICINITY MAP

NOT TO SCALE

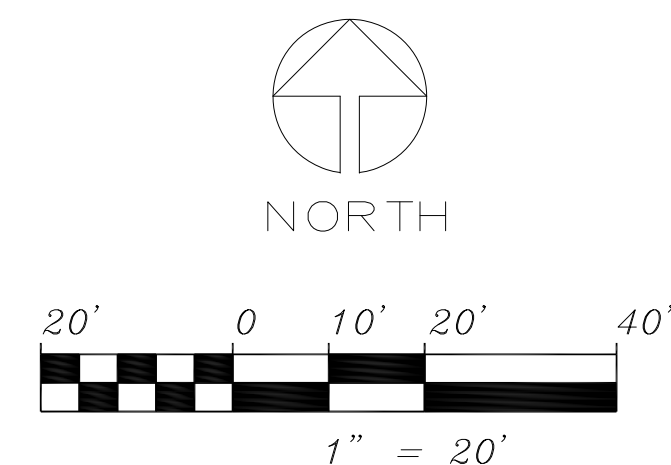


FENCE DETAIL

1/2" = 1'-0"

NO WATERS OF THE STATE EXIST WITHIN 200' OF THE PROJECT SITE

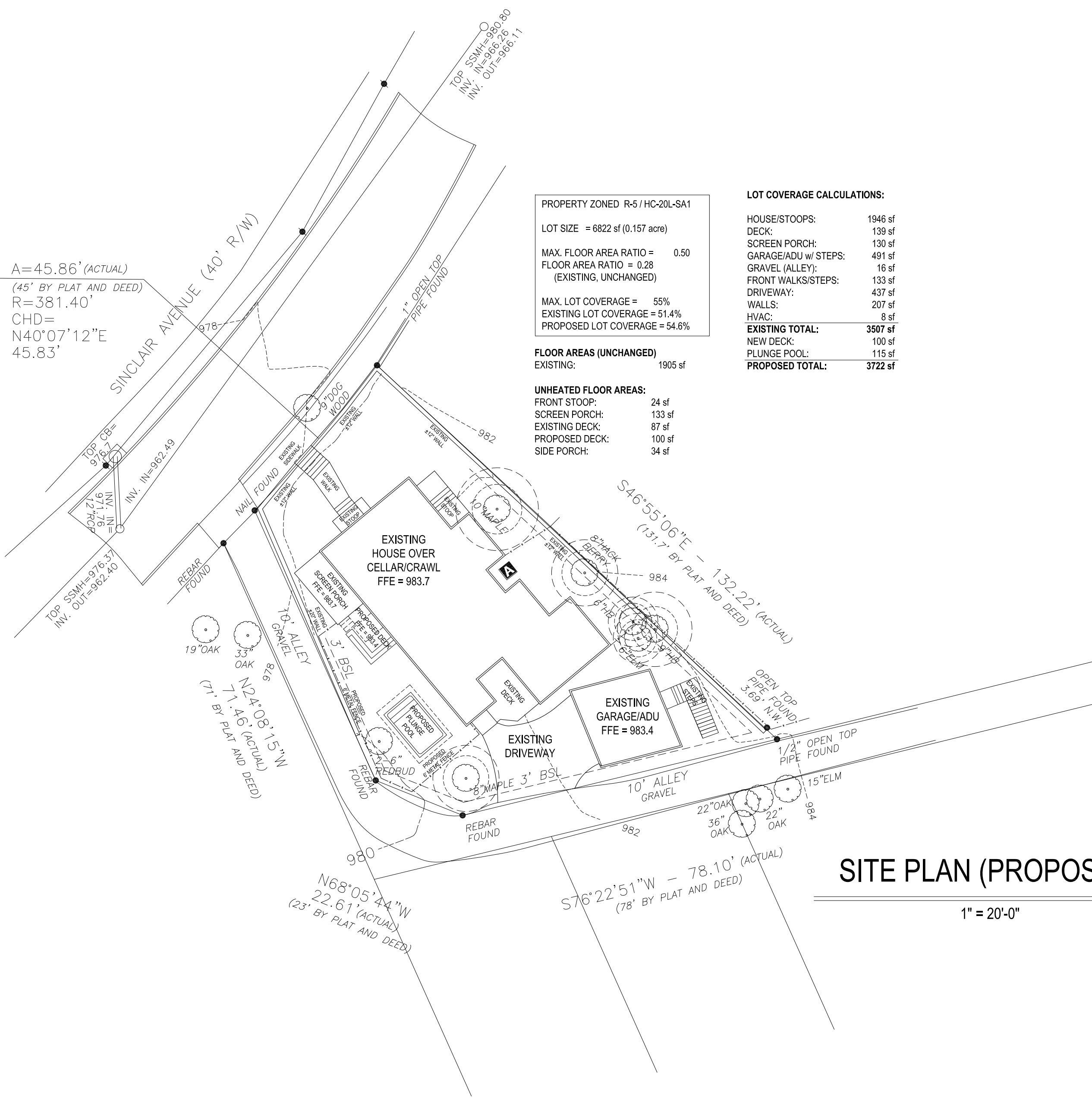
NOTE: LIMITS OF DISTURBANCE COINCIDE WITH SILT FENCE



NO GRADED SLOPES SHALL EXCEED 2H:1V

CONTOUR TYPE

- EXISTING TO REMAIN
--- EXISTING TO BE REMOVED
--- NEW CONTOUR



PROPERTY ZONED R-5 / HC-20L-SA1
LOT SIZE = 6822 sf (0.157 acre)
MAX. FLOOR AREA RATIO = 0.50
FLOOR AREA RATIO = 0.28 (EXISTING, UNCHANGED)
MAX. LOT COVERAGE = 55%
EXISTING LOT COVERAGE = 51.4%
PROPOSED LOT COVERAGE = 54.6%

FLOOR AREAS (UNCHANGED)
EXISTING: 1905 sf

UNHEATED FLOOR AREAS:
FRONT STOOP: 24 sf
SCREEN PORCH: 133 sf
EXISTING DECK: 87 sf
PROPOSED DECK: 100 sf
SIDE PORCH: 34 sf

LOT COVERAGE CALCULATIONS:

HOUSE/STOOPS: 1946 sf
DECK: 139 sf
SCREEN PORCH: 133 sf
GARAGE/ADU w/STEPS: 491 sf
GRAVEL (ALLEY): 16 sf
FRONT WALKS/STEPS: 133 sf
DRIVEWAY: 437 sf
WALLS: 207 sf
HVAC: 8 sf
EXISTING TOTAL: 3507 sf
NEW DECK: 100 sf
PLUNGE POOL: 115 sf
PROPOSED TOTAL: 3722 sf

SITE PLAN (PROPOSED)

1" = 20'-0"



331 Sinclair Avenue NE
Atlanta, Georgia

revisions

architect seal

ISSUED FOR CONSTRUCTION

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title SITE PLAN

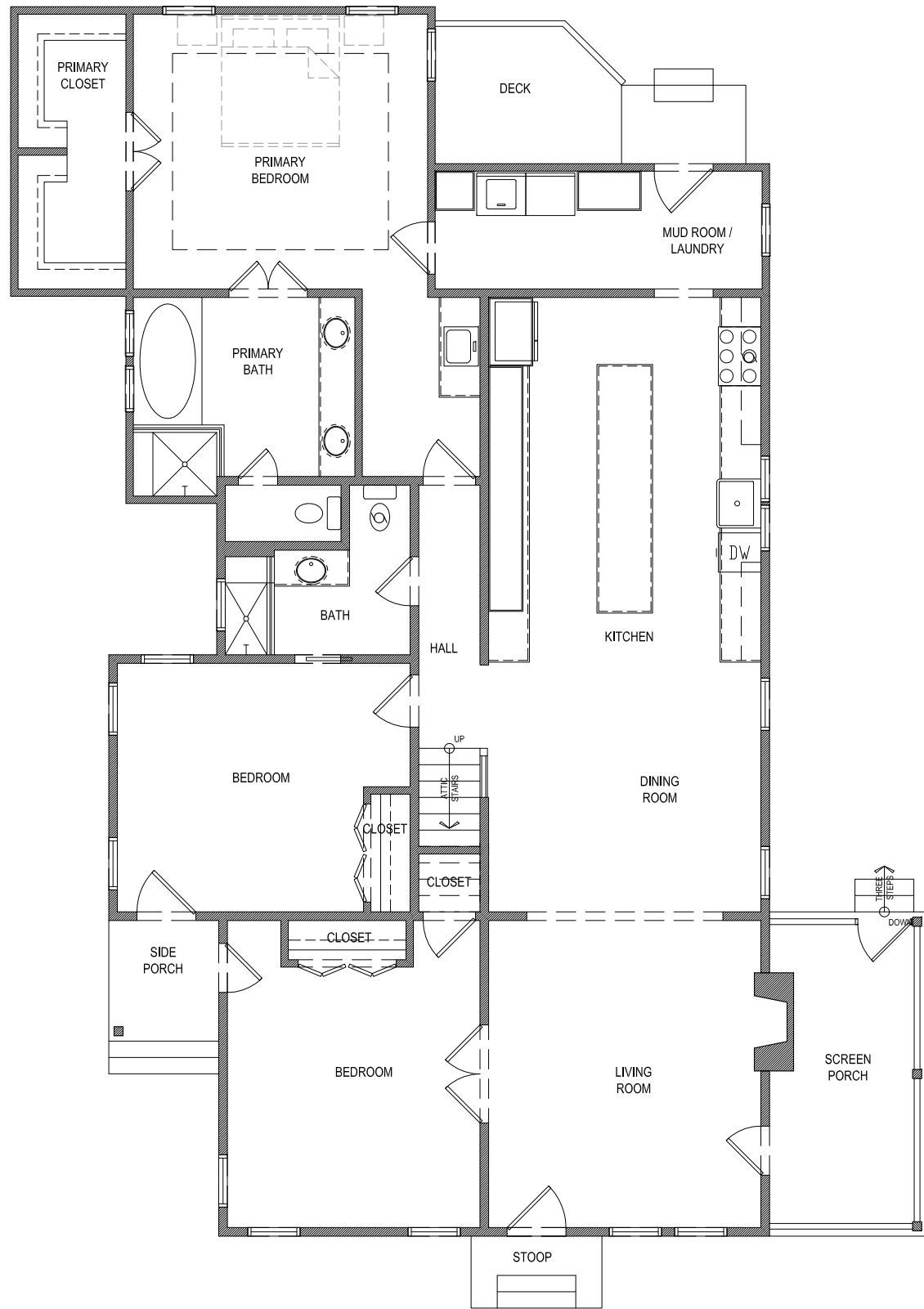
scale 1" = 20'-0"

drawn APS checked

date 01-09-2023

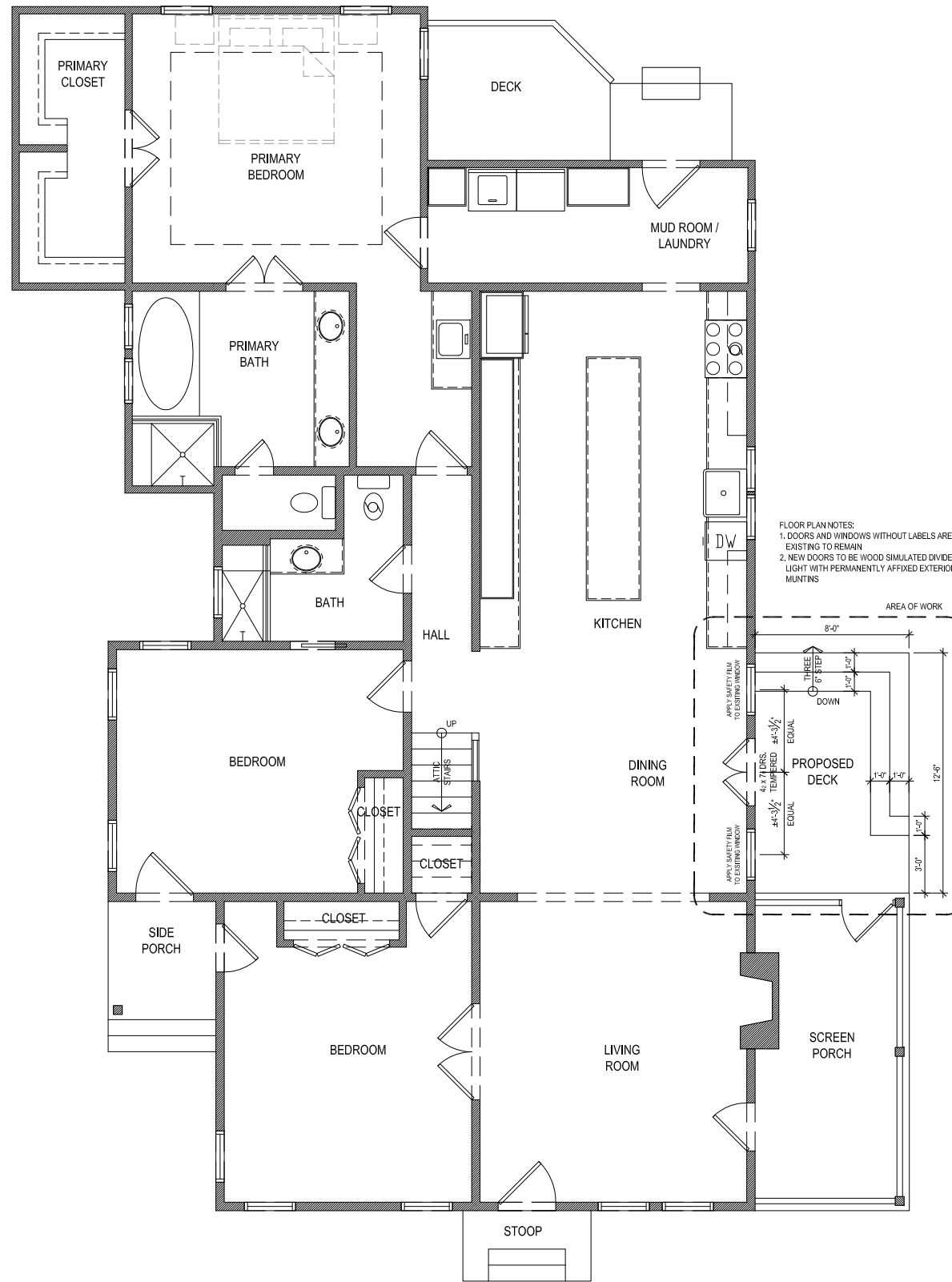
project no. 331Sinclair

sheet no. S-1



EXISTING FLOOR PLAN

1/8" = 1'-0"



PROPOSED FLOOR PLAN

1/8" = 1'-0"

FLOOR PLAN NOTES:
 1. DOORS AND WINDOWS WITHOUT LABELS ARE EXISTING TO REMAIN
 2. NEW DOORS TO BE WOOD SIMULATED DIVIDED LIGHT WITH PERMANENTLY AFFIXED EXTERIOR MUNTINS



331 Sinclair Avenue NE

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title FLOOR PLANS

scale 1/8" = 1'-0"

drawn APS checked

date 01-09-2023

project no. 331Sinclair

sheet no.

A-1



EXISTING RIGHT ELEVATION

1/8" = 1'-0"



PROPOSED RIGHT ELEVATION

1/8" = 1'-0"

5/4x6 TRIM w/ DRIP CAP
AND BED MOULDING; MATCH
EXISTING PROFILES
PRESSURE TREATED WOOD DECK

AREA OF WORK

ELEVATION NOTES:

1. ALL CONDITIONS ARE EXISTING TO REMAIN EXCEPT AS NOTED
2. NEW DOORS TO BE WOOD SIMULATED DIVIDED LIGHT WITH PERMANENTLY AFFIXED EXTERIOR MUNTINS; GANGED WINDOWS TO HAVE 6" DIVIDING MULLIONS
3. ALL EXTERIOR TRIM IS WOOD
4. NO CHANGES PROPOSED TO FRONT AND LEFT ELEVATIONS



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title
RIGHT ELEVATIONS

scale
1/8" = 1'-0"

drawn APS **checked**

date
01-09-2023

project no.
331Sinclair

sheet no.

A-2



EXISTING REAR ELEVATION

1/8" = 1'-0"



PROPOSED REAR ELEVATION

1/8" = 1'-0"



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title
 REAR ELEVATIONS

scale
 1/8" = 1'-0"

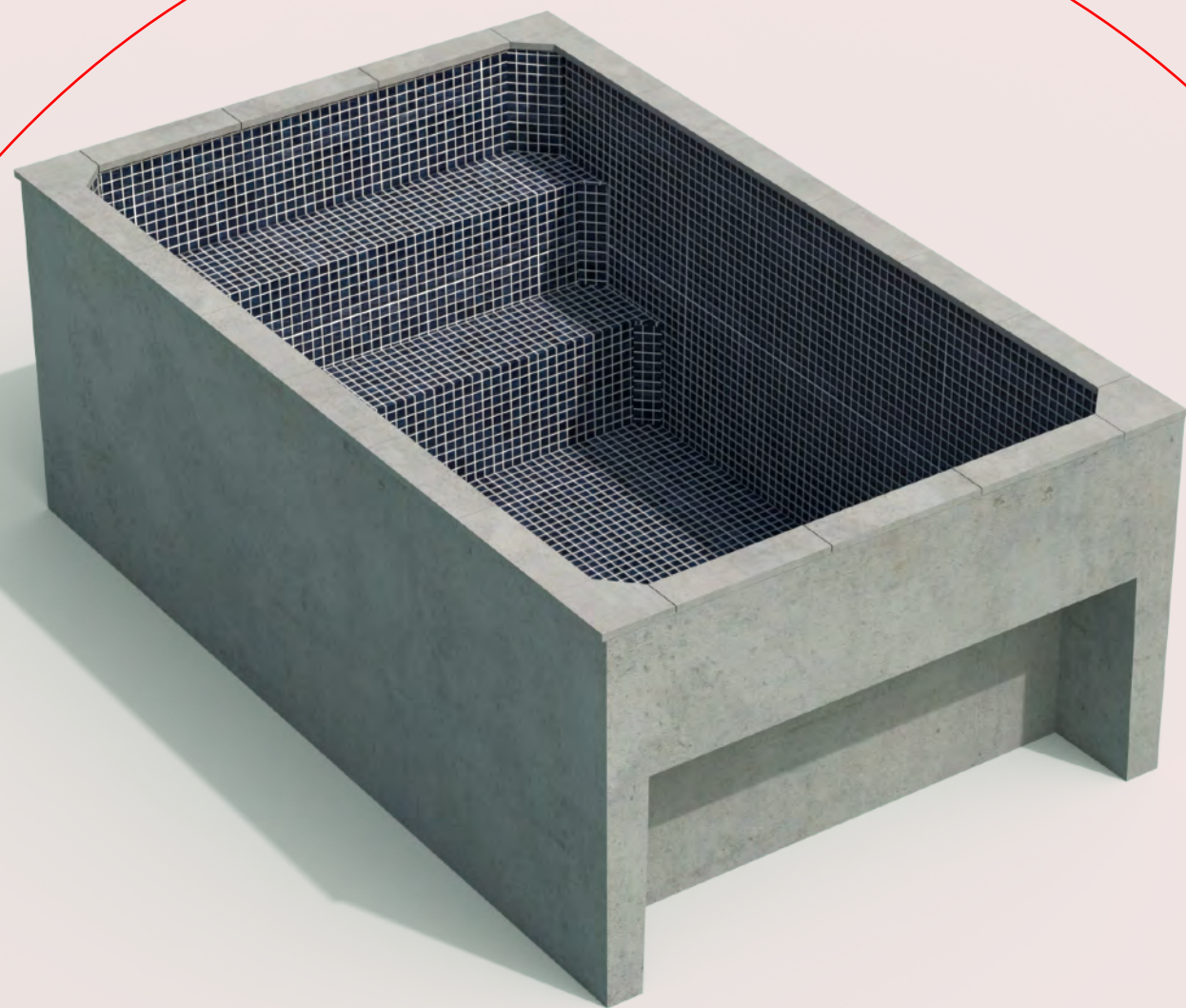
drawn **checked**
 APS

date
 01-09-2023

project no.
 331Sinclair

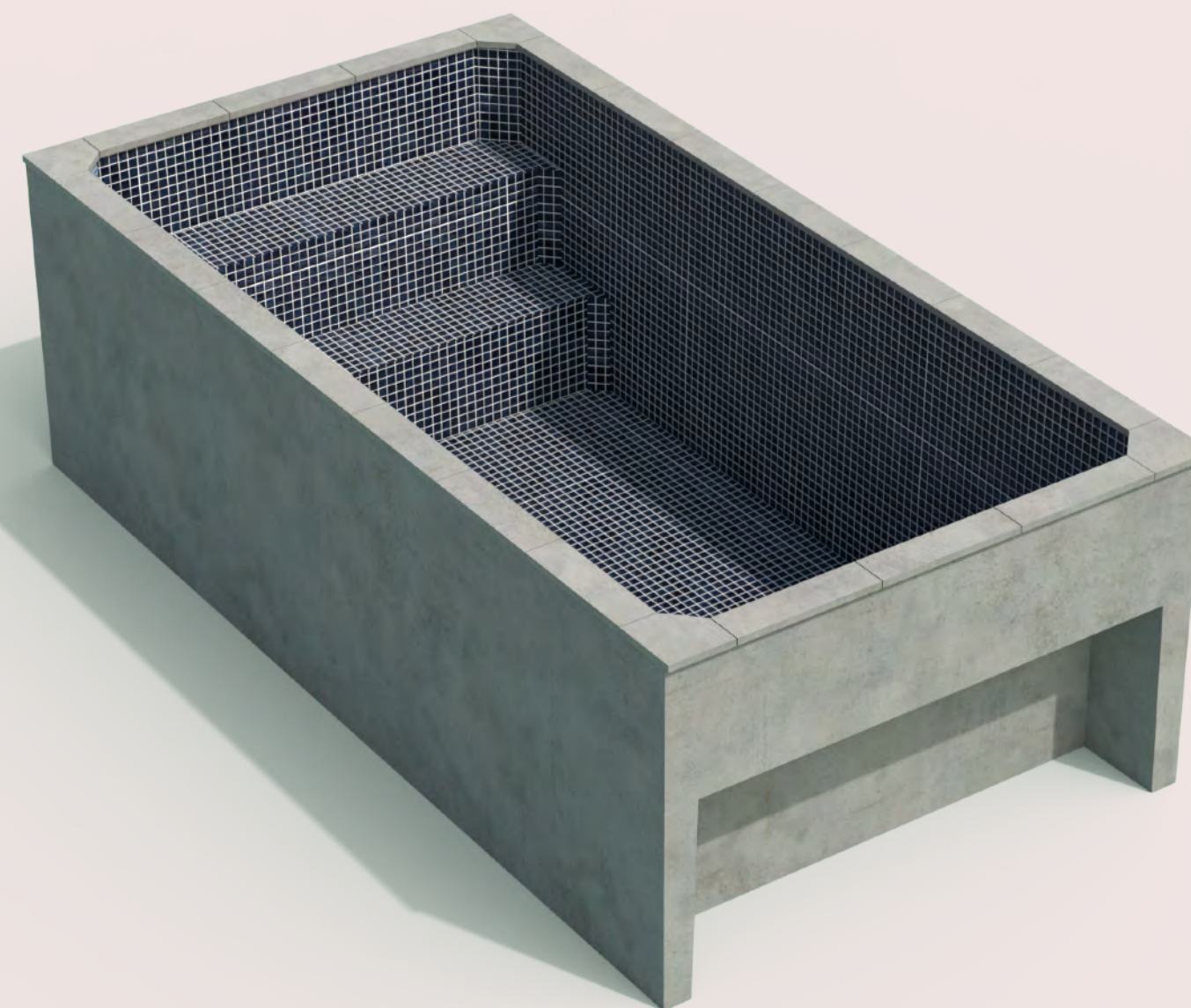
sheet no.

A-3



PROPER MEDIUM

LENGTH ~ 13.5ft
WIDTH ~ 8.5ft
DEPTH ~ 4.5ft (waterline)



PROPER LARGE

LENGTH ~ 16ft
WIDTH ~ 8.5ft
DEPTH ~ 4.5ft (waterline)

- With thorough planning, construction time on site can be reduced to a matter of days with a Proper Plunge Pool. Our pools are designed to be placed at various depths in the ground, which will obviously determine the depth of excavation required. Refer to PAD PREP details when finalizing this depth
- We recommend over excavating the hole by 18” on the end with the plumbing connections, and 8”~12” on the other three sides.
- It is important to let the client know that it can be difficult to predict how long the excavation process may take depending on the type of soils or rock encountered underground.



- Soil conditions can vary greatly from site to site, so it is critical to consult with a local engineer to get their guidance on final pad preparation details. For typical, stable soils, we recommend a 6” concrete pad, reinforced with rebar. A concrete pad can ensure a level base for the pool to sit on.



- The over-excavated area surrounding the pool should be backfilled as soon as the plumbing connections have been made and proper inspections have been passed. *Please consult with local inspector.
- The backfill material should allow for adequate drainage away from the pool. Typical material used is $\frac{3}{8}$ "- $\frac{5}{8}$ " locally sourced gravel that has been screened. Your local landscape supply might deliver in bags, which can be craned into the job site around the pool.
- When backfilling, make certain that the material is compacted throughout the process and there are no voids or air pockets.
- Leave the rough grade around the pool sloping away from the walls. Some settling will occur in the backfill over time.



