

THE CORNER
Type III HP Application
320 North Highland Avenue,
Atlanta, Georgia, 30307

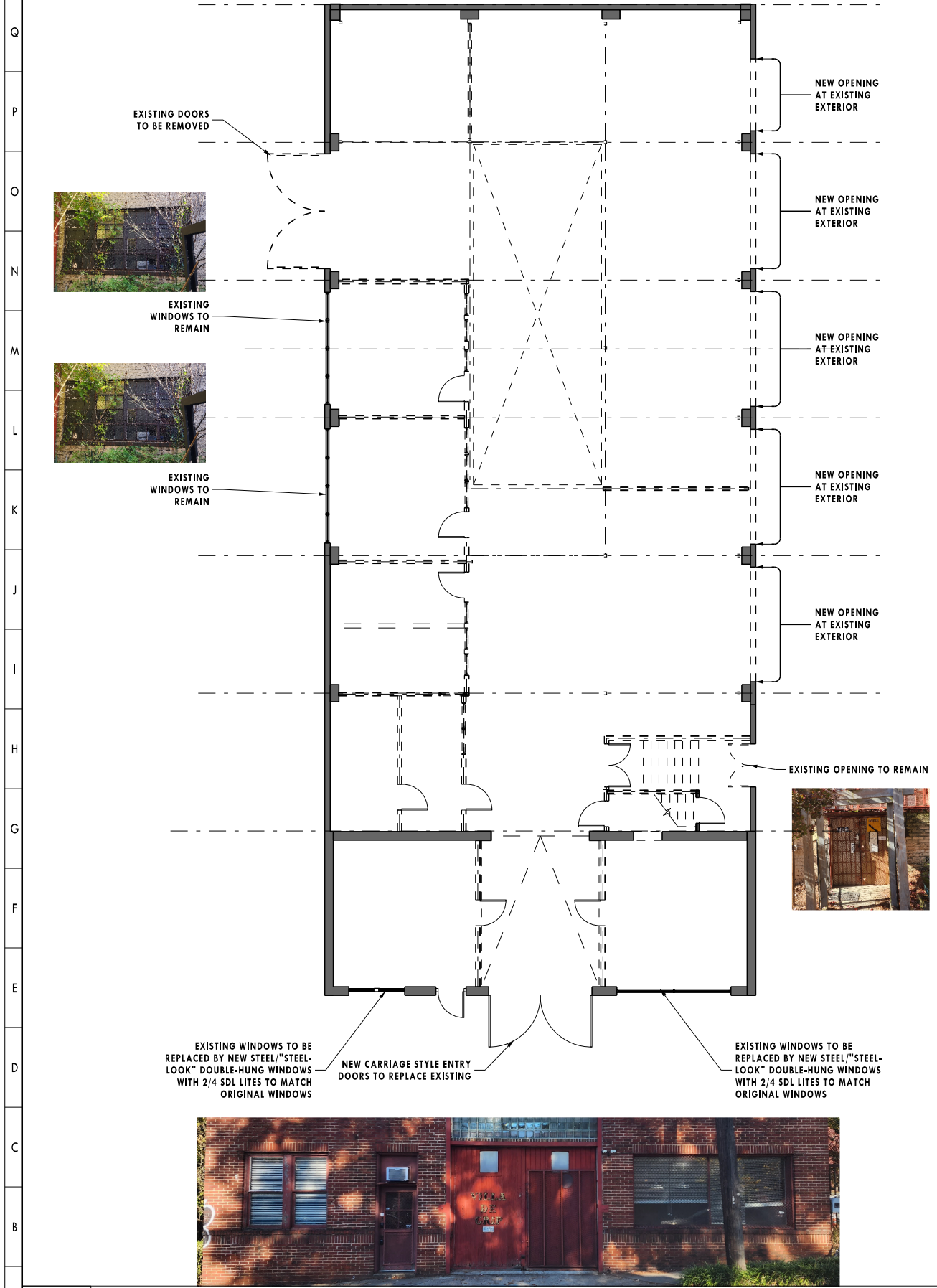
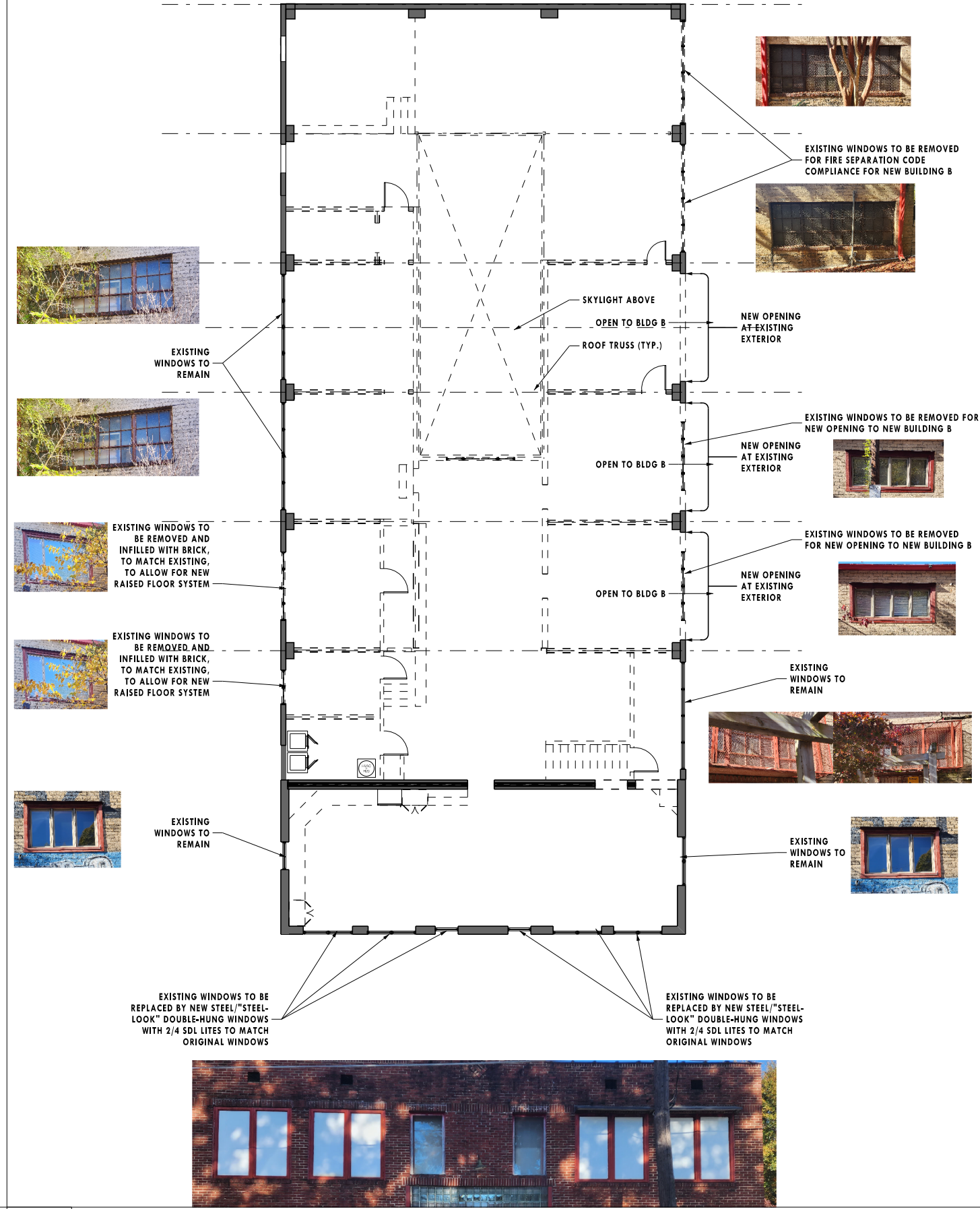
01	TYPE III HP SUBMISSION	09.01.2022
No.	REVISIONS/SUBMISSIONS	Date
Seal		

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EXISTING BUILDING A AS-BUILT/DEMO FLOOR PLANS	
Project No.	22016
Drawing No.	
Date	08.11.2022
Scale	1/16" = 1'-0"

NOT FOR CONSTRUCTION

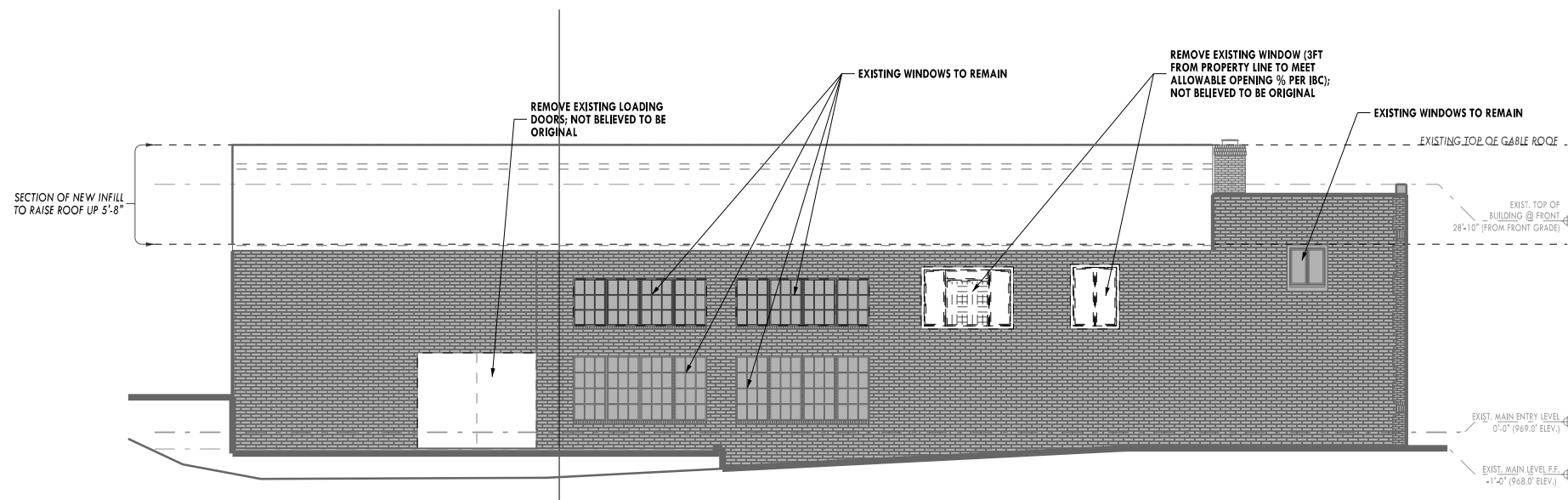
A1.1a



A1 EXISTING BUILDING A AS-BUILT/DEMO FLOOR PLAN - MAIN LEVEL

A10 EXISTING BUILDING A AS-BUILT/DEMO FLOOR PLAN - UPPER LEVEL

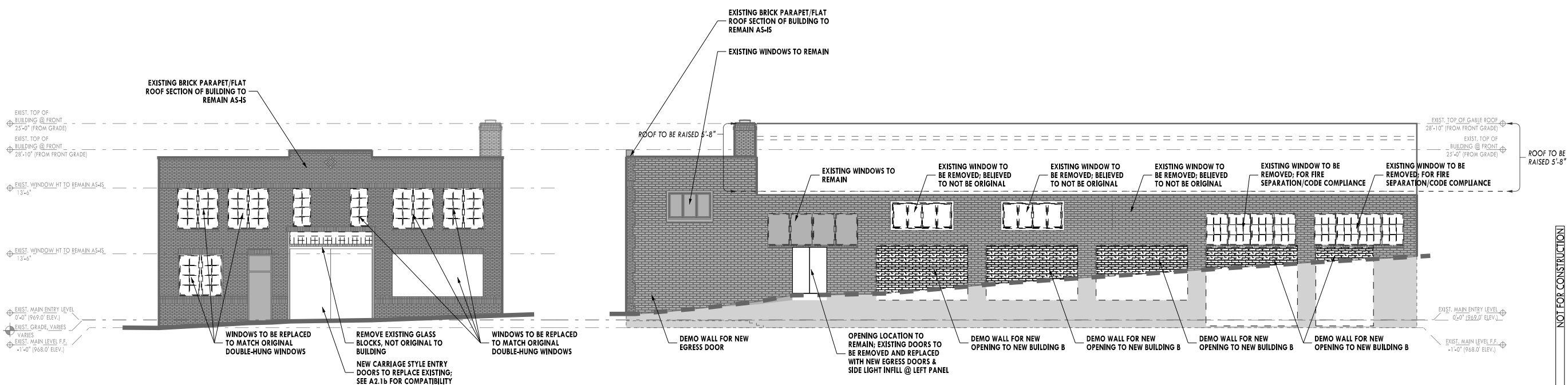
SHADED AREAS INDICATE EXISTING TO REMAIN



J,1 AS-BUILT/DEMOLITION EXTERIOR ELEVATIONS: LEFT/WEST ELEVATION

1/8" = 1'-0" 1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

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A,1 AS-BUILT/DEMOLITION EXTERIOR ELEVATIONS: FRONT/SOUTH ELEVATION

1/8" = 1'-0" 1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

A,9 AS-BUILT/DEMOLITION EXTERIOR ELEVATIONS: RIGHT/EAST ELEVATION

1/8" = 1'-0" 1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

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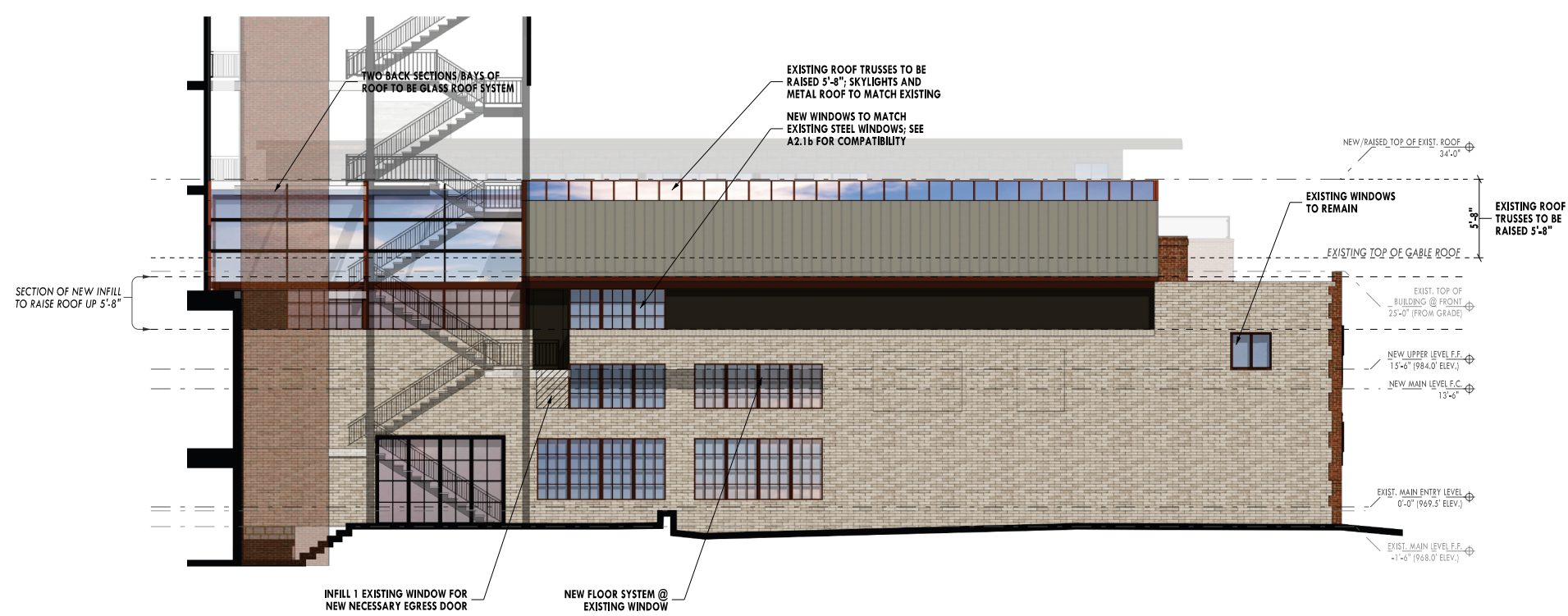
BUILDING A AS-BUILT/DEMO. EXTERIOR ELEVATIONS

Project No. 22016 Drawing No.

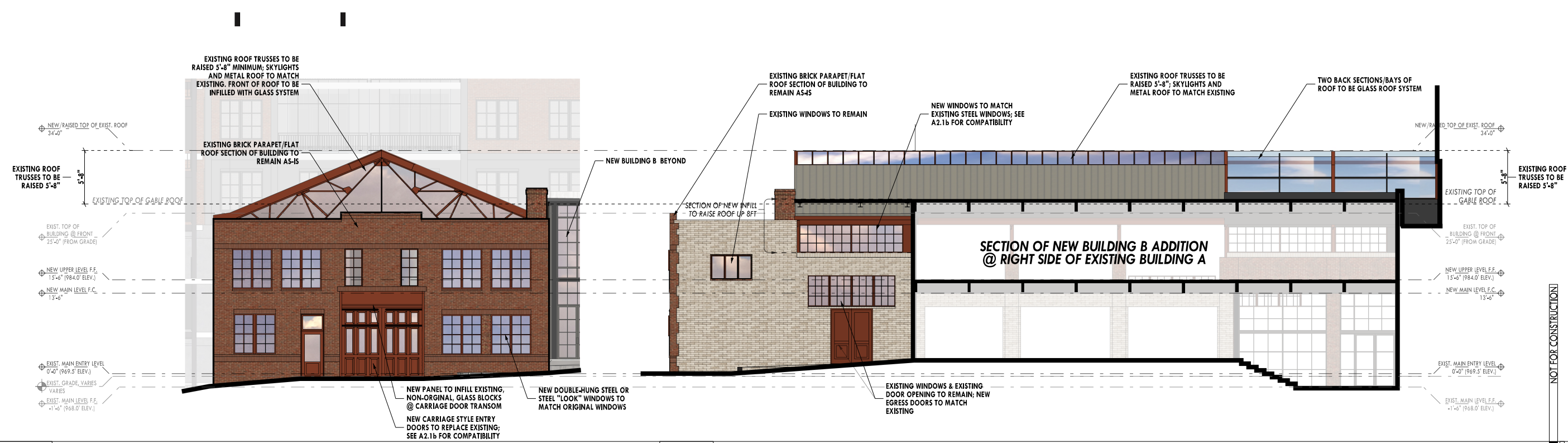
Date 08.11.2022

Scale A2.1a

SHADED AREAS INDICATE EXISTING TO REMAIN



J,9 EXTERIOR ELEVATIONS: LEFT/WEST ELEVATION
 1/8" = 1'-0" 1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



A,1 EXTERIOR ELEVATIONS: FRONT/SOUTH ELEVATION
 1/8" = 1'-0" 1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

A,9 EXTERIOR ELEVATIONS: RIGHT/EAST ELEVATION
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BUILDING A	
EXTERIOR ELEVATIONS	
Project No.	22016
Date	08.11.2022
Scale	A2.1b

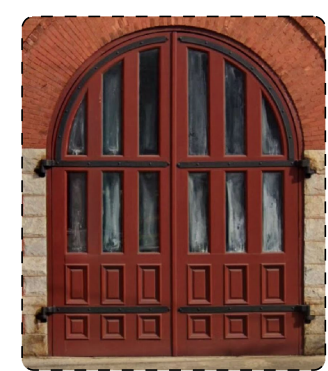


K,1 3D IMAGES OF PROPOSED ALTERATIONS
 NTS

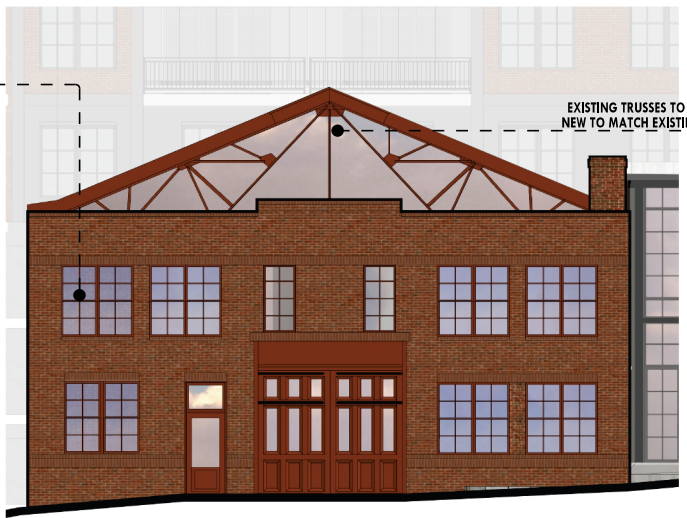
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EXISTING 320 NORTH HIGHLAND - ORIGINAL DOUBLE-HUNG WINDOWS: SAME SIZE (36X72) & ALL EXIST. OPENINGS @ FRONT ARE SAME SIZE



NEW CARRIAGE STYLE ENTRY DOOR; SIMILAR DOOR FOR REFERENCE AT 39 BOULEVARD NE - HISTORIC FIRE STATION CARRIAGE DOORS; NEW DOORS TO MIMIC THIS STYLE WHICH IS COMPATIBLE FOR THE TIME & DESIGN OF THE ORIGINAL BUILDING



EXISTING TRUSSES TO BE RE-USED, ANY NEW TO MATCH EXISTING AS NECESSARY



EXISTING 320 NORTH HIGHLAND - TRUSSES & SKYLIGHT AT GABLE ROOF



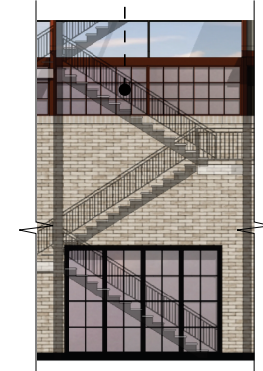
EXISTING 320 NORTH HIGHLAND - SKYLIGHT AT GABLE ROOF



EXISTING WINDOWS - NEW TO MATCH EXISTING: STEEL OR STEEL "LOOK" WITH 3/8" LITE PATTERN



SIDE ELEVATION: WINDOW INFILL (STYLE), RAISE GABLE ROOF UP 5'-8" - MAINTAINING SKYLIGHTS & TRUSSES, NEW WINDOWS (STYLE)



SIDE ELEVATION: NEW WINDOWS (STYLE)

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Drawing Title		BUILDING A COMPATIBILITY & 3D IMAGES	
Project No.	22016	Drawing No.	A2.1c
Date	08.11.2022		
Scale			

A,1 BUILDING A COMPATIBILITY
 NTS

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Drawing Title
BUILDING A SECTION DIAGRAMS
 Project No. 22016 Drawing No.

Date 08.11.2022
 Scale
A2.1d

THIS DIAGRAM ILLUSTRATES MAINTAINING EXISTING MAIN LEVEL CLG HEIGHT OF 11'-8" WITH NEW 2'-0" FLOOR SYSTEM; WILL NEED TO RAISE TRUSSES/ROOF A MINIMUM OF 3'-4" TO MAKE 2ND FLOOR CODE COMPLIANT; MIN. HEAD HEIGHT PER IBC 2018 IS 7'-6"

3'-4" MINIMUM TRUSSES WOULD NEED TO BE RAISED FOR 2ND LEVEL TO BE CODE COMPLIANT
 7'-6" MINIMUM HEAD HT ALLOWED BY CODE
 2'-0" FOR NEW FLOOR SYSTEM

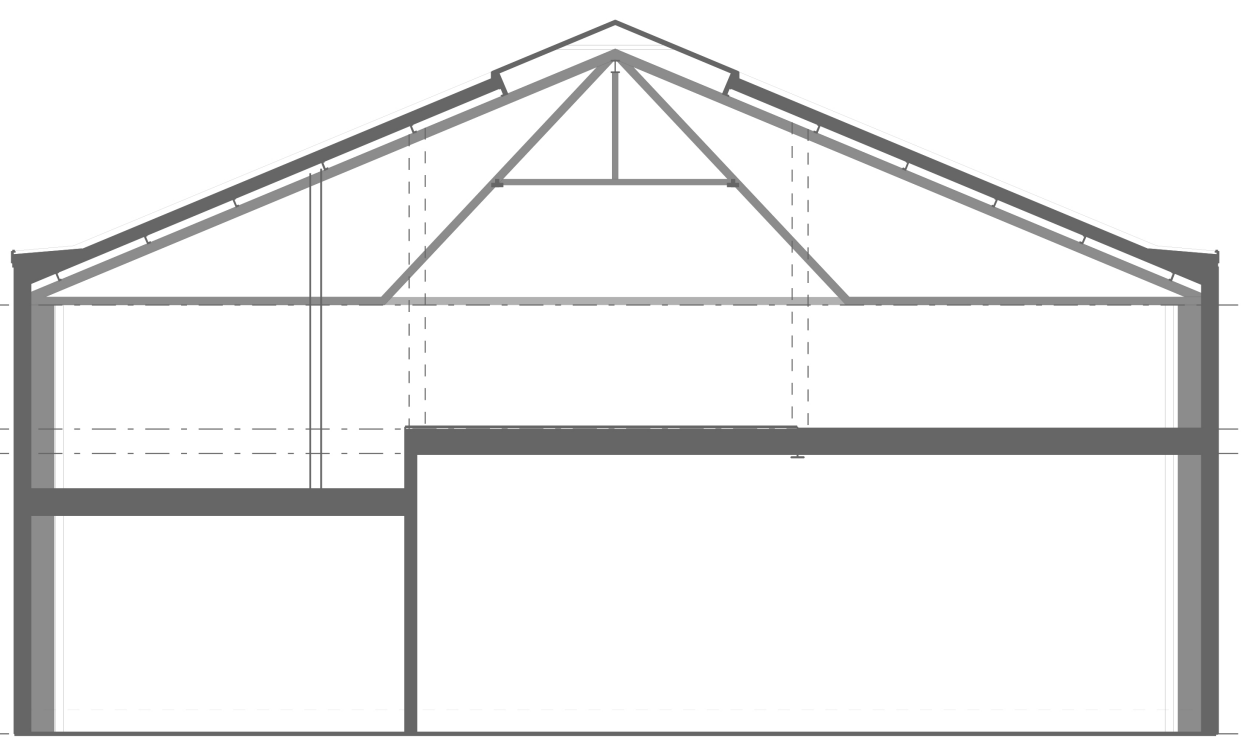


DIAGRAM A
 BUILDING A EXISTING SECTION

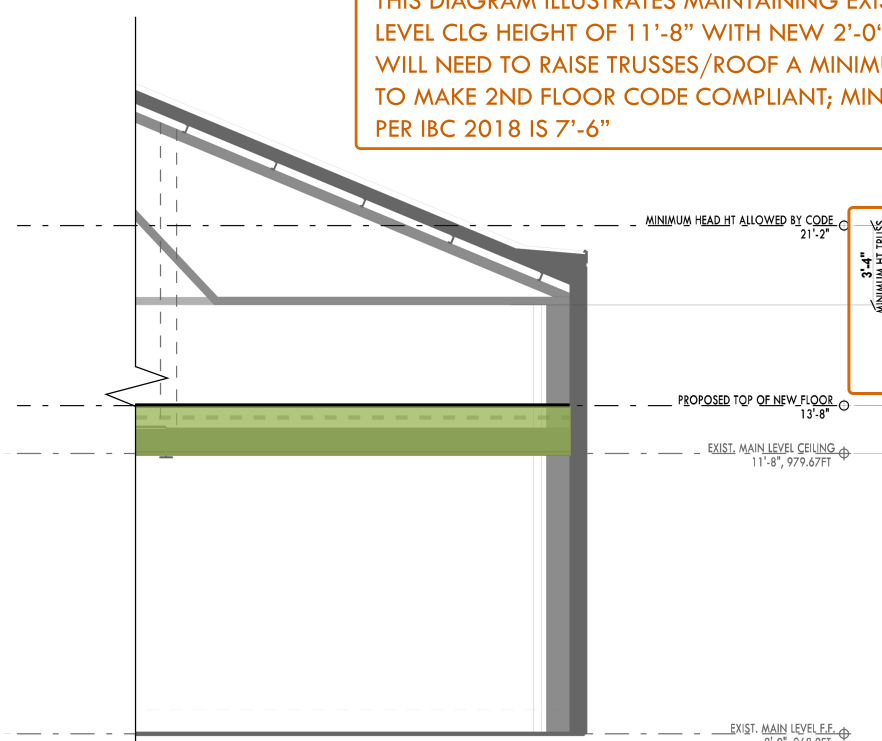


DIAGRAM B
 BUILDING A SECTION SHOWING MINIMUM HEIGHT TO RAISE TRUSS FOR CODE COMPLIANCE WITH EXISTING MAIN LEVEL CEILING HEIGHT

PER DIAGRAM B, ROOF/TRUSSES MUST BE RAISED A MINIMUM 3'-4" FOR CODE COMPLIANCE; IN THIS DIAGRAM (DIAGRAM C) WE ARE REQUESTING TO RAISE THE ROOF/TRUSSES A TOTAL OF 5'-8" TO BE ABLE TO HAVE BUILDING A & B FLOORS ALIGNED WITH MIN. 7'-6" CLEARANCE BELOW TRUSSES PER CODE. THIS WOULD ONLY BE 2'-4" HIGHER THAN WHAT WILL ALREADY BE REQUIRED.

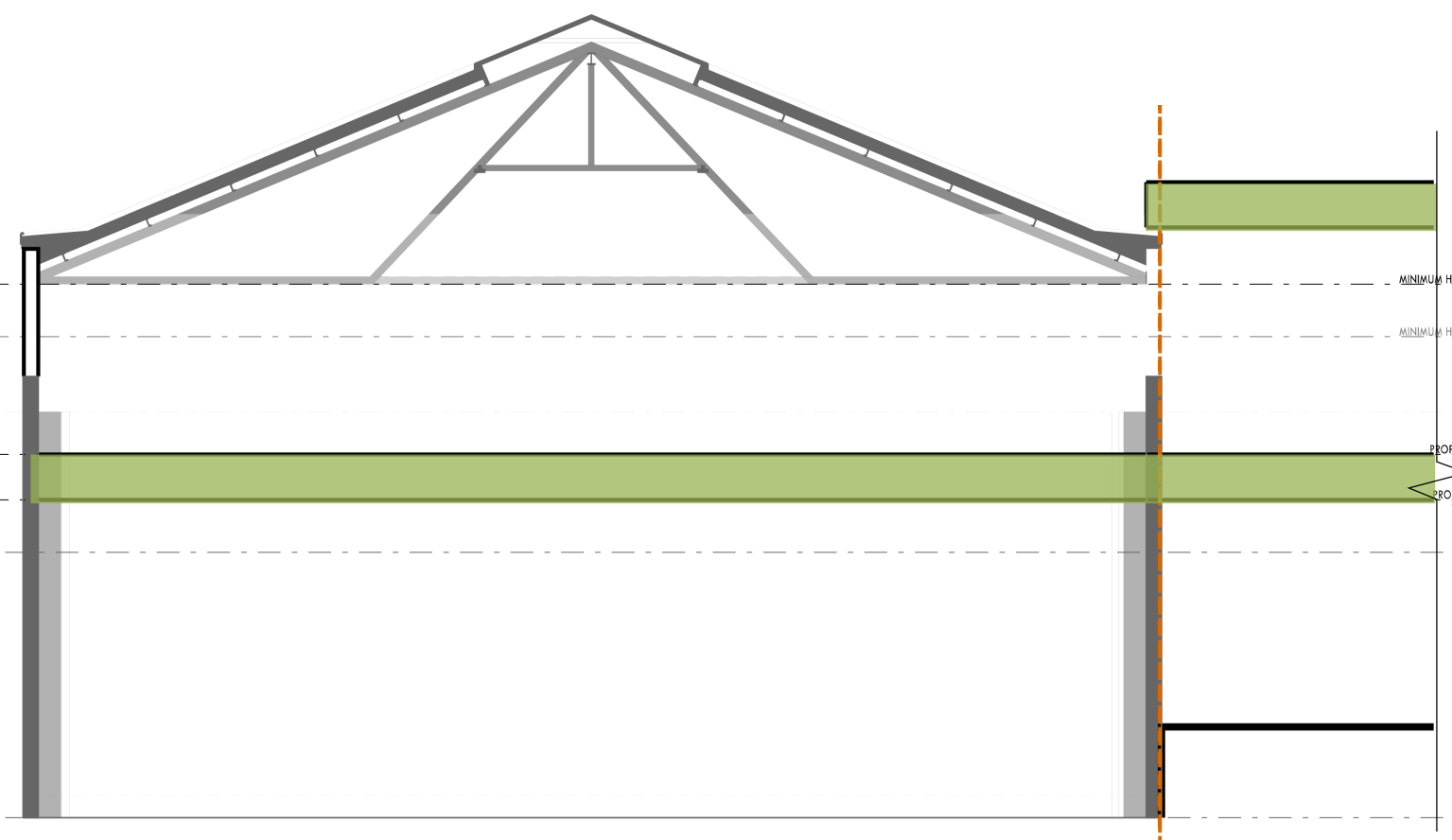
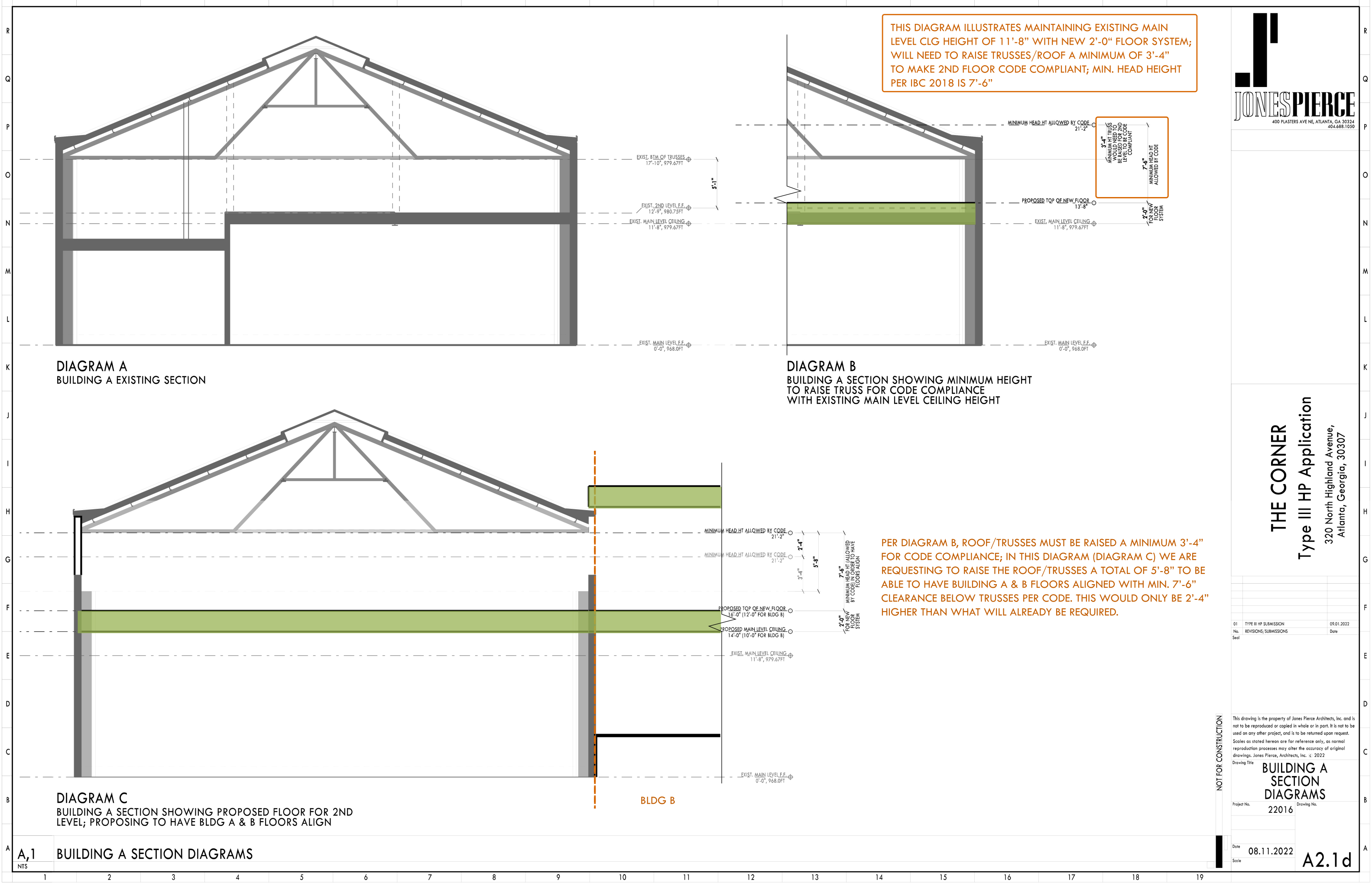


DIAGRAM C
 BUILDING A SECTION SHOWING PROPOSED FLOOR FOR 2ND LEVEL; PROPOSING TO HAVE BLDG A & B FLOORS ALIGN

BLDG B



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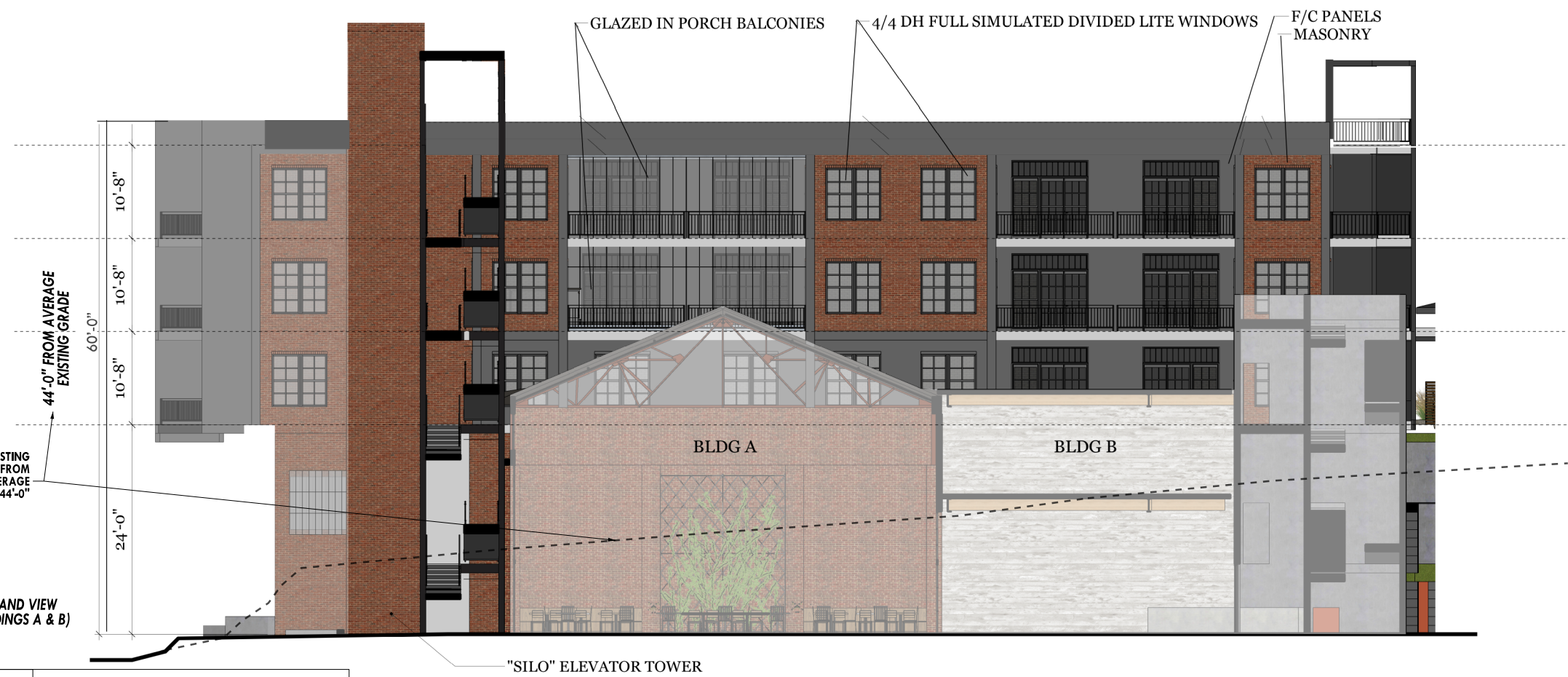
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BUILDING C EXTERIOR ELEVATIONS

Project No.	22016	Drawing No.	
Date	08.11.2022	Scale	

A2.3a

NOT FOR CONSTRUCTION



A,1 BLDG C - SOUTH ELEVATION
1/8" = 1'-0" 1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



A,1 BLDG C - NORTH ELEVATION
1/8" = 1'-0" 1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

HEIGHT FROM AVERAGE GRADE @ ALLEY = 44'-0"



A,1 BLDG C - WEST ELEVATION
1/8" = 1'-0" 1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



A,1 BLDG C - EAST ELEVATION
1/8" = 1'-0" 1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

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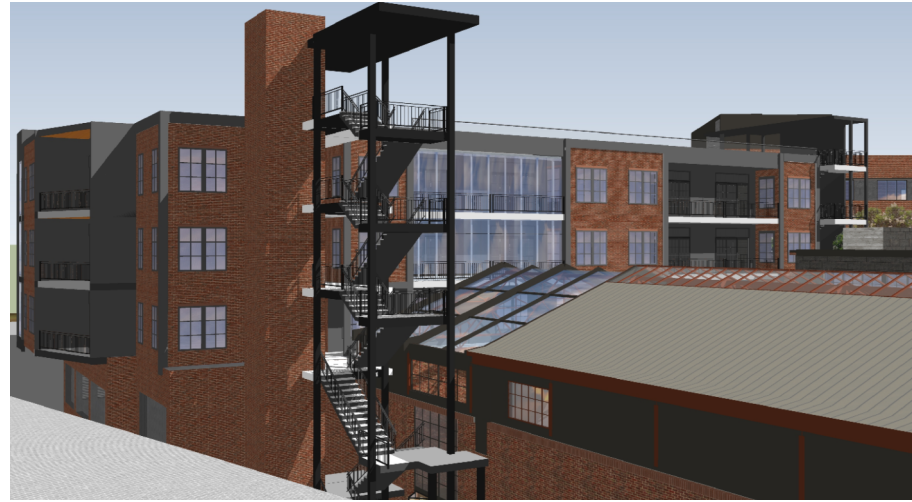
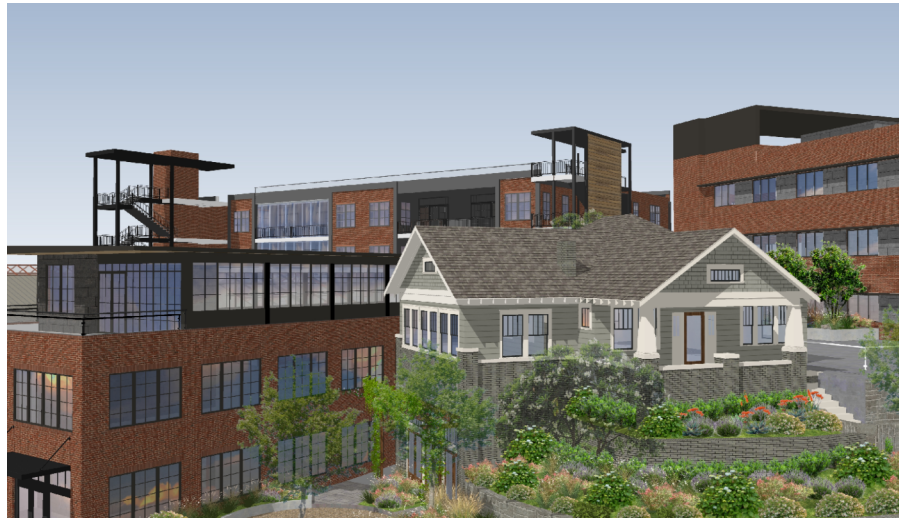
No.	REVISIONS, SUBMISSIONS	Date
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**BUILDING C
EXTERIOR ELEVATIONS**

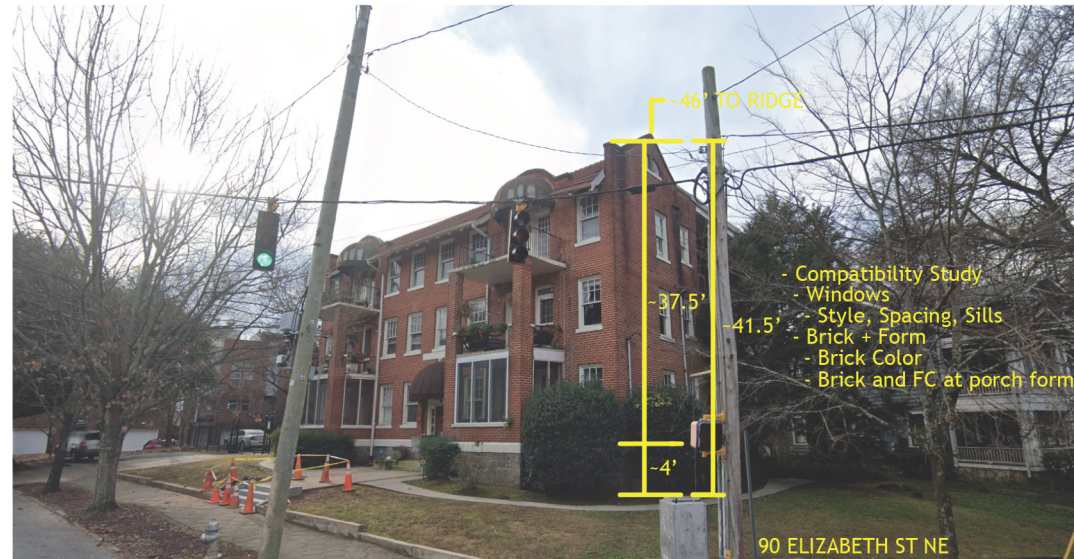
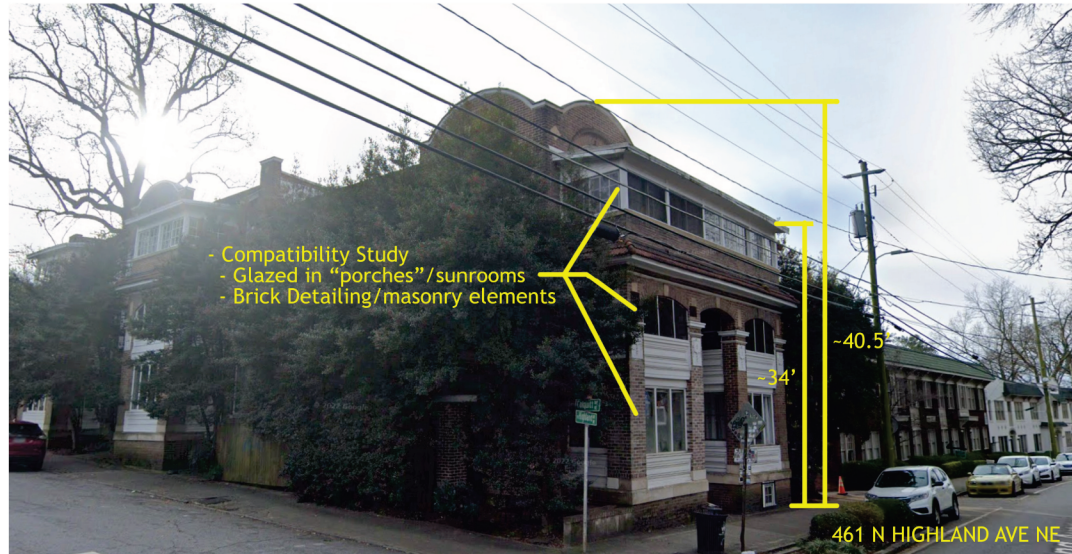
Project No.	22016	Drawing No.	A2.3b
Date	08.11.2022		
Scale			

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H,1 BUILDING C 3D IMAGES
 NTS



A,1 BUILDING C COMPATIBILITY
 NTS

No.	REVISIONS, SUBMISSIONS	Date
01	TYPE III HP SUBMISSION	09.01.2022

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**BUILDING C
 COMPATIBILITY
 & 3D IMAGES**

Project No. 22016 Drawing No.

Date 08.11.2022

Scale



SETBACK COMPATIBILITY FOR BLOCK FACE: 0FT MIN. & 17FT MAX

BUILDING B SETBACK OF 1'-2" IS WITHIN THE BLOCK FACE COMPATIBLE SETBACK RANGE OF 0FT-17FT

***SEE A0.2b FOR HOUSE "D" SETBACK NOTES**

CALCULATIONS

ZONING DESIGNATION - 320/342 CONSOLIDATED LOT
 MRC-1-C/HC20LSA1 BELTLINE OVERLAY INMAN PARK OVERLAY

FLOOR AREA RATIOS - 320/342 CONSOLIDATED LOT

NET LOT AREA:	28,950 SF
NET LOT AREA (342 ONLY):	7,606 SF
320/342 COMMERCIAL MAX ALLOWABLE F.A.R.:	28,950 SF (1.0 LOT AREA)
320 ONLY RESIDENTIAL MAX ALLOWABLE F.A.R.:	14,937 SF (0.696 LOT AREA)
342 ONLY RESIDENTIAL MAX ALLOWABLE F.A.R.:	3,803 SF (0.5 LOT AREA)

BUILDING A	9,938 SF
(RESTAURANT/COMMERCIAL) FIRST LEVEL:	(5,773 SF) 4,165 SF + 1,600 SF COURTYARD
(OFFICE/COMMERCIAL) SECOND LEVEL:	4,165 SF
BUILDING B	11,850 SF
(RESTAURANT&OFFICE/COMMERCIAL) FIRST LEVEL:	4,650 SF
(OFFICE/COMMERCIAL) SECOND LEVEL:	4,650 SF
(OFFICE/COMMERCIAL) THIRD LEVEL:	2,550 SF
BUILDING C	(32 UNITS + CLUBHOUSE/AMENITY SPACE) 24,965 SF
(RESIDENTIAL) FIRST LEVEL:	6918 SF
(RESIDENTIAL) SECOND LEVEL:	6918 SF
(RESIDENTIAL) THIRD LEVEL:	6918 SF
(RESIDENTIAL) FOURTH LEVEL:	4211 SF
BUILDING D (EXST. 346 COPENHILL HOUSE) - 342 ONLY	2,923 SF
NEW LOWER LEVEL:	1,342 SF
EXISTING UPPER LEVEL:	1,230 SF
NEW UPPER LEVEL ADDITION:	351 SF
TOTAL PROPOSED COMMERCIAL FAR	21,788 SF
TOTAL PROPOSED 320-ONLY RESIDENTIAL FAR	24,965 SF
TOTAL PROPOSED 342-ONLY RESIDENTIAL FAR	2,923 SF
TOTAL COMBINED FAR:	49,676 SF (1.716)

UOSR, BONUSES - 320/342 CONSOLIDATED LOT

BLDG B PLAZA + SIDEWALK + BLDG D PLAZA	2,450 SF
BLDG B EGRESS WALK + BIKE PARKING PATIO	550 SF
BLDG D LANDSCAPED TERRACES	855 SF
COURTYARD ABOVE PARKING GARAGE	3,399 SF
BLDG B ROOF DECK	163 SF
BLDG C UNIT PORCHES (1/2 COUNTED = 300 SF PER LEVEL)	900
BLDG C ROOF DECK	2,400 SF
TOTAL UOS (FOR BONUS RESIDENTIAL SPACE):	10,717 SF
TOTAL BONUS SF FOR RESIDENTIAL:	(10,717 SF x2) 21,434 SF
TOTAL ALLOWABLE RES. (W/ BONUS):	36,371 SF
TOTAL PROPOSED RESIDENTIAL:	27,888 SF

PARKING

320/342 LOT	120 SPACES REQUIRED
RESTAURANT (9,000 SF @ 1:100)	90 SPACES
RETAIL/COMMERCIAL (950 SF @ 1:600)	2 SPACES
RESIDENTIAL (32 UNITS @ 0.87 PER UNIT)	28 SPACES
TOTAL PARKING PROVIDED	120 SPACES

VARIANCES
 VARIANCE REQUEST TO RAISE HEIGHT OF GABLE ROOF @ BUILDING A (EXISTING VILLA DE GRIP/320 BUILDING) UP 5'-8"



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SITE PLAN @ PARKING & STREET LEVEL
 Project No. 22016 Drawing No.
 Date 08.11.2022 Scale AS NOTED



CALCULATIONS

ZONING DESIGNATION - 320/342 CONSOLIDATED LOT	
MRC-1-C/HC20LSA1 BELTLINE OVERLAY INMAN PARK OVERLAY	
FLOOR AREA RATIOS - 320/342 CONSOLIDATED LOT	
NET LOT AREA:	28,950 SF
NET LOT AREA (342 ONLY):	7,606 SF
320/342 COMMERCIAL MAX ALLOWABLE F.A.R.:	28,950 SF (1.0 LOT AREA)
320 ONLY RESIDENTIAL MAX ALLOWABLE F.A.R.:	14,937 SF (0.696 LOT AREA)
342 ONLY RESIDENTIAL MAX ALLOWABLE F.A.R.:	3,803 SF (0.5 LOT AREA)
BUILDING A 9,938 SF	
(RESTAURANT/COMMERCIAL) FIRST LEVEL:	(5,773 SF) 4,165 SF + 1,600 SF COURTYARD
(OFFICE/COMMERCIAL) SECOND LEVEL:	4,165 SF
BUILDING B 11,850 SF	
(RESTAURANT&OFFICE/COMMERCIAL) FIRST LEVEL:	4,650 SF
(OFFICE/COMMERCIAL) SECOND LEVEL:	4,650 SF
(OFFICE/COMMERCIAL) THIRD LEVEL:	2,550 SF
BUILDING C (32 UNITS + CLUBHOUSE/AMENITY SPACE) 24,965 SF	
(RESIDENTIAL) FIRST LEVEL:	6918 SF
(RESIDENTIAL) SECOND LEVEL:	6918 SF
(RESIDENTIAL) THIRD LEVEL:	6918 SF
(RESIDENTIAL) FOURTH LEVEL:	4211 SF
BUILDING D (EXST. 346 COPENHILL HOUSE) - 342 ONLY 2,923 SF	
NEW LOWER LEVEL:	1,342 SF
EXISTING UPPER LEVEL:	1,230 SF
NEW UPPER LEVEL ADDITION:	351 SF
TOTAL PROPOSED COMMERCIAL FAR:	21,788 SF
TOTAL PROPOSED 320-ONLY RESIDENTIAL FAR:	24,965 SF
TOTAL PROPOSED 342-ONLY RESIDENTIAL FAR:	2,923 SF
TOTAL COMBINED FAR:	49,676 SF (1.716)
UOSR, BONUSES - 320/342 CONSOLIDATED LOT	
BLDG B PLAZA + SIDEWALK + BLDG D PLAZA:	2,450 SF
BLDG B EGRESS WALK + BIKE PARKING PATIO:	550 SF
BLDG D LANDSCAPED TERRACES:	855 SF
COURTYARD ABOVE PARKING GARAGE:	3,399 SF
BLDG B ROOF DECK:	163 SF
BLDG C UNIT PORCHES (1/2 COUNTED = 300 SF PER LEVEL):	900
BLDG C ROOF DECK:	2,400 SF
TOTAL UOS (FOR BONUS RESIDENTIAL SPACE):	10,717 SF
TOTAL BONUS SF FOR RESIDENTIAL:	(10,717 SF x 2) 21,434 SF
TOTAL ALLOWABLE RES. (W/ BONUS):	36,371 SF
TOTAL PROPOSED RESIDENTIAL:	27,888 SF

ZONING DESIGNATION - 346 COPENHILL	
I-1/HC20LSA1 BELTLINE OVERLAY INMAN PARK OVERLAY	
FLOOR AREA RATIO - 346 COPENHILL	
NET LOT AREA:	7,205 SF (0.165 ACRES)
COMMERCIAL MAX ALLOWABLE F.A.R.:	14,410 SF (2.0 LOT AREA)
BUILDING E	
FIRST LEVEL:	4,779 SF
SECOND LEVEL:	4,809 SF
THIRD LEVEL:	4,642 SF
PROPOSED F.A.R.:	14,231 SF (1.97)

PARKING	
320/342 LOT	120 SPACES REQUIRED
RESTAURANT (9,000 SF @ 1:100)	90 SPACES
RETAIL/COMMERCIAL (950 SF @ 1:600)	2 SPACES
RESIDENTIAL (32 UNITS @ 0.87 PER UNIT)	28 SPACES
346 LOT	47 SPACES REQUIRED, WILL SHARE WITH 320/342 RESTAURANT
OFFICE/COMMERCIAL (14,230 SF @ 1:300)	47 SPACES
TOTAL PARKING PROVIDED:	120 SPACES



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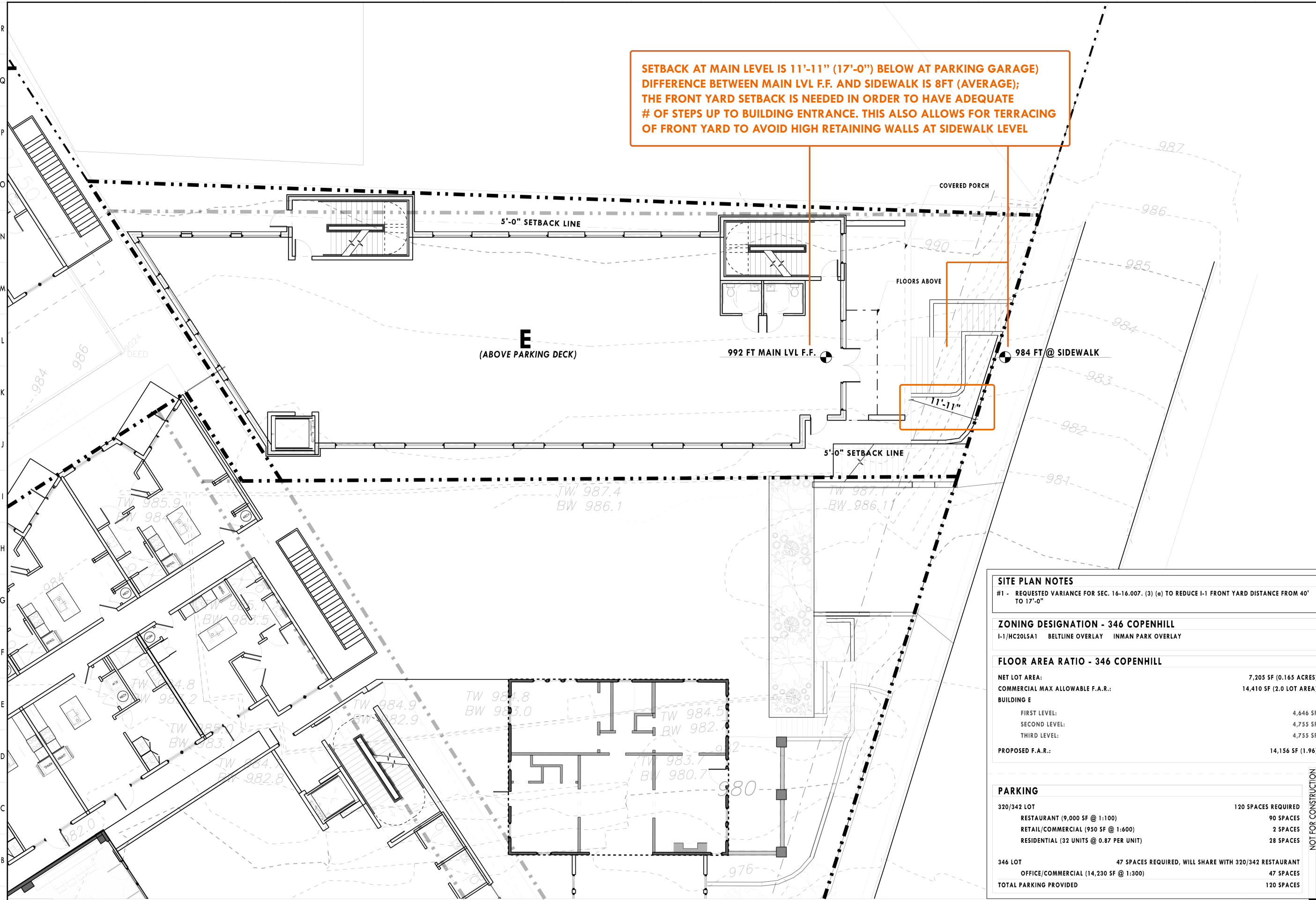
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Drawing Title
SITE PLAN - ABOVE STREET LEVEL

Project No. 22016 Drawing No.
Date 08.11.2022
Scale AS NOTED

A0.2b

**SETBACK AT MAIN LEVEL IS 11'-11" (17'-0") BELOW AT PARKING GARAGE)
 DIFFERENCE BETWEEN MAIN LVL F.F. AND SIDEWALK IS 8FT (AVERAGE);
 THE FRONT YARD SETBACK IS NEEDED IN ORDER TO HAVE ADEQUATE
 # OF STEPS UP TO BUILDING ENTRANCE. THIS ALSO ALLOWS FOR TERRACING
 OF FRONT YARD TO AVOID HIGH RETAINING WALLS AT SIDEWALK LEVEL**



THE CORNER
 346 Copenhill Ave NE,
 Atlanta, Georgia, 30307

SITE PLAN NOTES
 #1 - REQUESTED VARIANCE FOR SEC. 16-16.007. (3) (a) TO REDUCE I-1 FRONT YARD DISTANCE FROM 40' TO 17'-0"

ZONING DESIGNATION - 346 COPENHILL
 I-1/HC20LSA1 BELTLINE OVERLAY INMAN PARK OVERLAY

FLOOR AREA RATIO - 346 COPENHILL

NET LOT AREA:	7,205 SF (0.165 ACRES)
COMMERCIAL MAX ALLOWABLE F.A.R.:	14,410 SF (2.0 LOT AREA)
BUILDING E	
FIRST LEVEL:	4,646 SF
SECOND LEVEL:	4,755 SF
THIRD LEVEL:	4,755 SF
PROPOSED F.A.R.:	14,156 SF (1.96)

PARKING

320/342 LOT	120 SPACES REQUIRED
RESTAURANT (9,000 SF @ 1:100)	90 SPACES
RETAIL/COMMERCIAL (950 SF @ 1:600)	2 SPACES
RESIDENTIAL (32 UNITS @ 0.87 PER UNIT)	28 SPACES
346 LOT	47 SPACES REQUIRED, WILL SHARE WITH 320/342 RESTAURANT
OFFICE/COMMERCIAL (14,230 SF @ 1:300)	47 SPACES
TOTAL PARKING PROVIDED	120 SPACES

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SITE PLAN - ABOVE STREET LEVEL
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 Scale AS NOTED



ORIGINAL INDUSTRIAL CORRIDOR BUT NOT SA1
828 RALPH MCGILL BLVD (TF, MIXED-USE)
 - 3-4 STORIES
 - 56FT IN HEIGHT AT ENTRY
 & 51FT AT AVERAGE FRONT GRADE



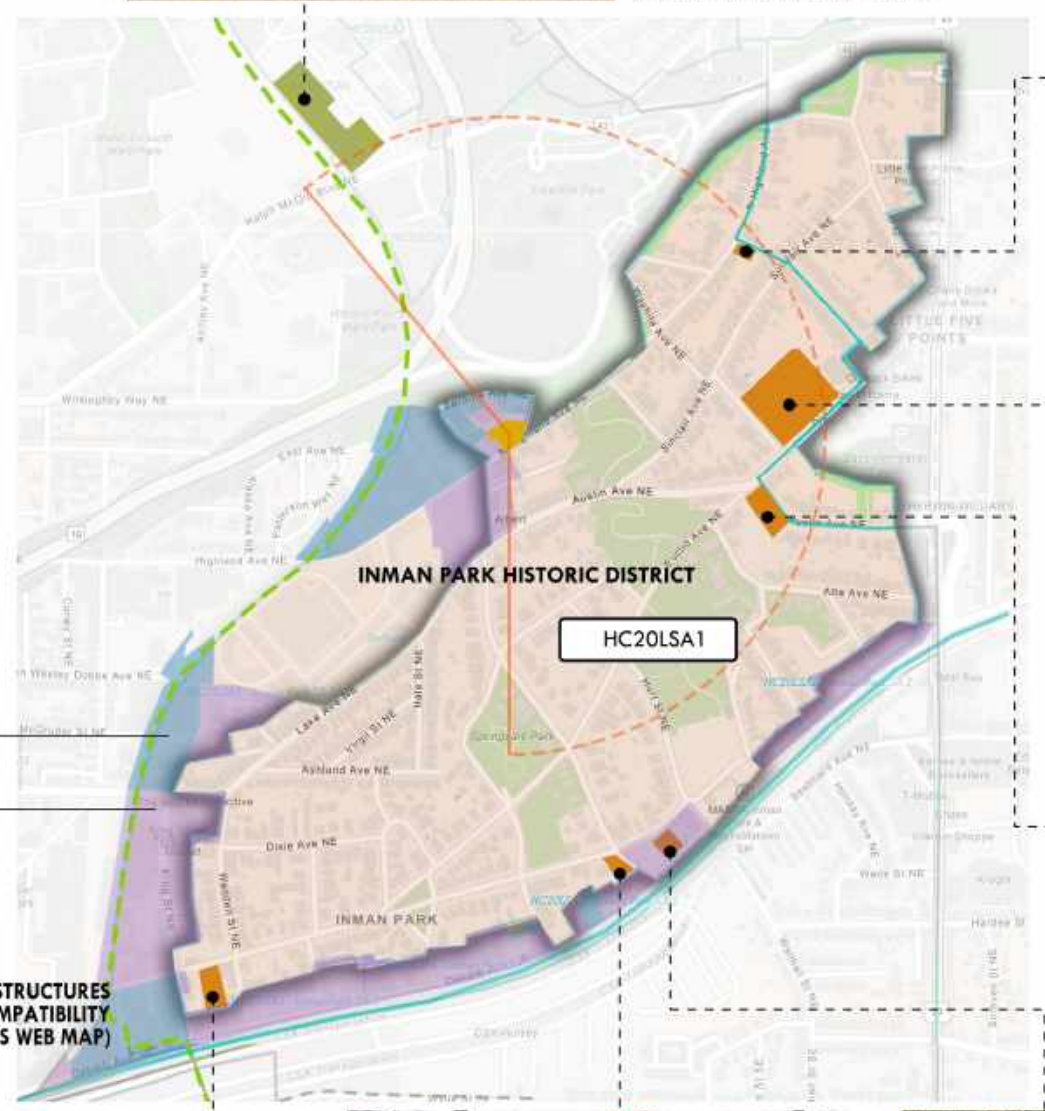
461 NORTH HIGHLAND AVE (APARTMENTS, MULTI-FAMILY)
 - 3 STORIES
 - 35FT IN HEIGHT AT CORNICE/GUTTER
 & 40.5FT TOP OF PARAPET



1080 EUCLID (BASS LOFTS, MULTI-FAMILY)
 - 3 STORIES
 - 45FT IN HEIGHT



1083 AUSTIN AVE (L5PCC, MIXED-USE)
 - 2-3 STORIES
 - 42FT IN HEIGHT



*NOTE: ALMOST ALL INDUSTRIAL & COMMERCIAL IS OUTSIDE OF SA1

BLUE IS INDUSTRIAL
 PURPLE IS COMMERCIAL

MAP OF ONTRIBUTING STRUCTURES HEIGHT COMPATIBILITY (MAP FROM ATL ARCGIS WEB MAP)



729 EDGEWOOD AVENUE NE (OLD SCHOOL, MULTI-FAMILY)
 - 3 STORIES
 - 42FT IN HEIGHT (TO GUTTER) & 48-49FT TO MAIN GABLE RIDGE



90 ELIZABETH ST (APARTMENTS, MULTI-FAMILY)
 - 3 STORIES
 - 41.5FT IN HEIGHT & 46FT TO GABLE RIDGE



999 EDGEWOOD AVE (IPMC, MIXED-USE OFFICE/EDUCATION)
 - 2.5 STORIES
 - 25'-11" FT IN HEIGHT

THE CORNER
 Type III HP Application
 320 North Highland Avenue,
 Atlanta, Georgia, 30307

No.	REVISIONS/SUBMISSIONS	Date
01	TYPE III HP SUBMISSION	08.01.2022

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CONTRIBUTING STRUCTURES ANALYSIS

Project No. 22016 Drawing No. _____

Date 08.11.2022

Scale NTS