

# 309 NORTH HIGHLAND RENOVATION

309 NORTH HIGHLAND AVENUE  
ATLANTA, GA 30307

SUBMITTAL FOR TYPE III



## KEY PLAN

## KEYNOTE LEGEND

### DRAWING LIST

- A0.0 - COVER SHEET
- A0.1 - AS-BUILT/DEMO SITE PLAN
- A0.2 - ARCHITECTURAL SITE PLAN
- A0.3 - DEMOLITION FLOOR PLAN: LOWER LEVEL
- A0.4 - DEMOLITION FLOOR PLAN: MAIN LEVEL
- A0.5 - DEMOLITION EXTERIOR ELEVATIONS
- A0.6 - DEMOLITION EXTERIOR ELEVATIONS
- A1.1 - FLOOR PLAN: MAIN LEVEL
- A1.2 - FLOOR PLAN: LOWER LEVEL
- A2.1 - PROPOSED EXTERIOR ELEVATIONS
- A2.2 - PROPOSED EXTERIOR ELEVATIONS

H.P. SUBMISSION

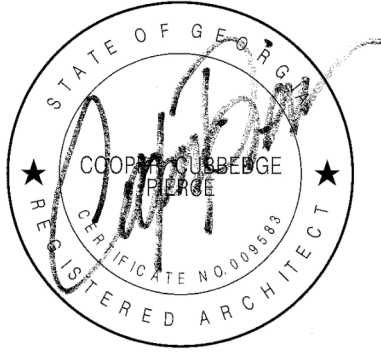
TYPE III

309 NORTH HIGHLAND RENOVATION

309 NORTH HIGHLAND AVENUE, ATLANTA, GEORGIA 30307

JONES PIERCE  
400 PLASTERS AVENUE, SUITE 225, ATLANTA, GEORGIA 30324 ■■■ 404.688.1050 ■■■

01 H.P./UDC SUBMISSION 05-04-2021  
No. REVISIONS/SUBMISSIONS Date  
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## COVER SHEET

Project No. 21053

Drawing No.

Date 05/04/2021

Scale N.T.S.

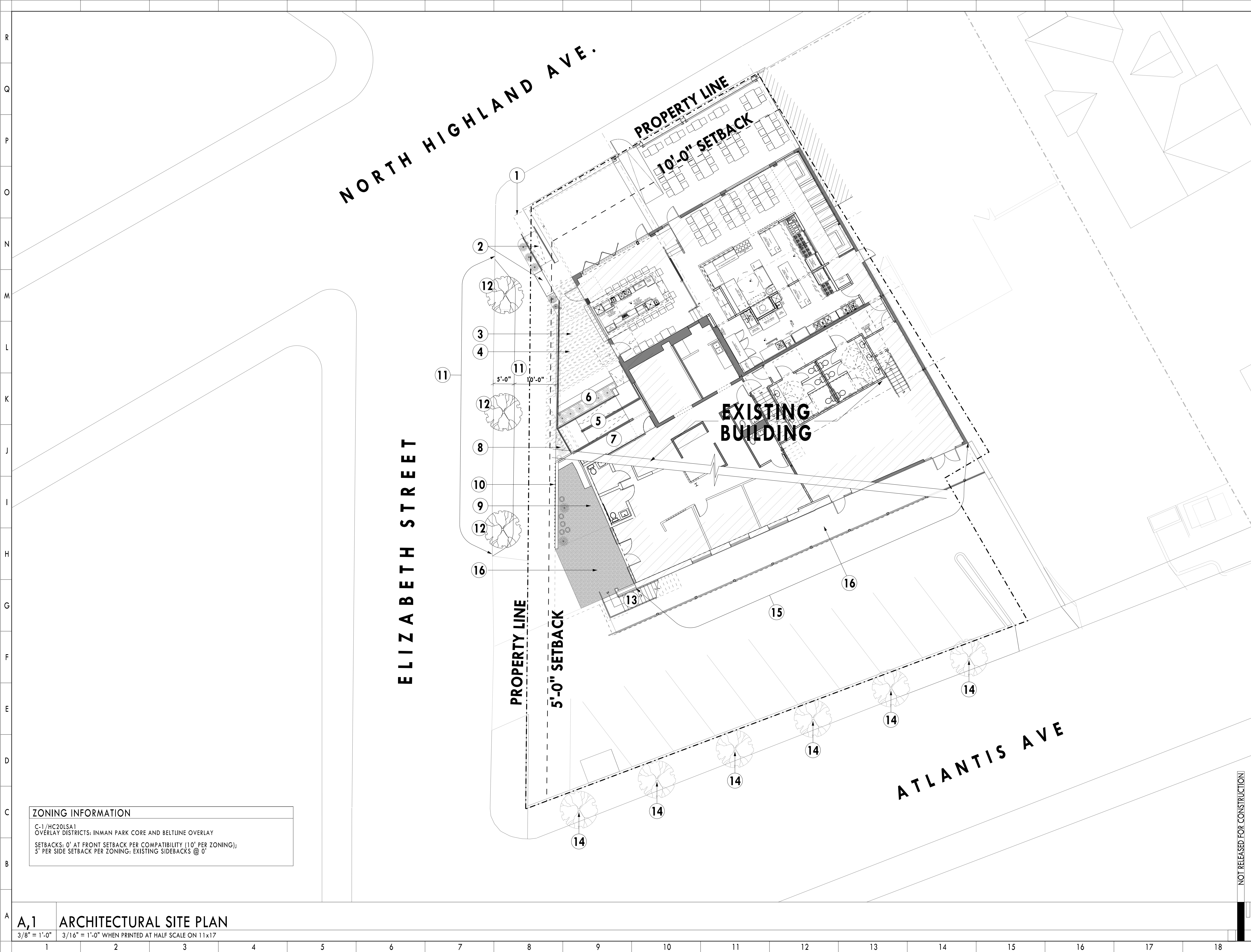
A0.0

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KEY PLAN

KEYNOTE LEGEND

1 - NEW "FLAT ROOF" & METAL FRAME SUPPORT W/ ROLL-UP SHADES AT EXISTING PATIO, SEE ELEVATIONS

2 - NEW ADA RAMP & NEW STEP FROM SIDEWALK TO EXISTING PATIO ELEVATION

3 - NEW RAISED CONCRETE PATIO, @ EXISTING PATIO ELEVATION, SEE ELEVATIONS FOR RETAINING WALL HEIGHT AT SIDEWALK

4 - NEW METAL FRAME OPEN-SLAT, TRELLIS ABOVE NEW PATIO, SEE ELEVATIONS

5 - NEW ADA RAMP FROM NEW DECK (TO REPLACE EXISTING) TO CONNECT DOWN TO NEW PATIO

6 - NEW PLANTER W/ BUILT-IN BENCH SEAT BETWEEN NEW RAMP & PATIO

7 - NEW DECK (TO REPLACE EXISTING) SEE A1.1 WHERE FULL DECK IS SHOWN

8 - NEW PLANTER AREA BETWEEN SIDEWALK & RAMP RETAINING WALL

9 - NEW PERVIOUS SURFACE AREA UNDER DECK WITH BUILT-IN BENCH SEAT

10 - NEW VERTICAL METAL SLATS TO PROVIDE OPEN SEPARATION BETWEEN SIDEWALK & PERVIOUS SURFACE AREA (VERTICAL SLATS TO ALSO ACT AS GUARD RAIL); SEE ELEVATIONS

11 - NEW 10FT SIDEWALK CLEAR ZONE WITH NEW 5FT STREET TREE & FURNITURE ZONE IN COMPLIANCE WITH BELTLINE GUIDELINES

12 - STREET TREES, 30FT ON CENTER MAX,

13 - NEW STAIR FROM NEW UPPER LEVEL BACK DECK (DECK WRAPS FROM NEW ADA RAMP LOCATION TO BACK SIDE, SEE A1.1 FOR FULL DECK)

14 - EXISTING TREES TO REMAIN

15 - NEW OPENINGS ALONG BACK SIDE, SEE ELEVATIONS

16 - NEW RAISED CONCRETE PATIO (FILL IN EXISTING)

17 - NEW RAILING, RAILING TO BE BLACK-COATED METAL 12" SQUARE POSTS, 1/2"x2" TOP RAIL, AND 1/2" VERTICAL PICKETS), TYPICAL

01 H.P./UDC SUBMISSION  
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Date

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Drawing Title

ARCHITECTURAL  
SITE PLAN

Project No. 21053  
Drawing No.

Date 05/04/2021  
Scale 3/8" = 1'-0"

A0.2

H.P. SUBMISSION  
TYPE III

309 NORTH HIGHLAND RENOVATION

309 NORTH HIGHLAND AVENUE, ATLANTA, GEORGIA 30307

JONES PIERCE  
400 PLASTERS AVENUE, SUITE 225, ATLANTA, GEORGIA 30324 ■■■ 404.688.1059 ■■■











1. POCHÉ ON THE PLANS INDICATES PARTITIONS TO REMAIN. REFER TO FLOORPLANS AND ELEVATIONS TO DETERMINE FULL EXTENT OF DEMOLITION

2. DURING DEMOLITION OPERATIONS, SHOULD ANY MATERIAL LISTED AS A HAZARDOUS MATERIAL BY THE EPA BE DISCOVERED, NOTIFY ARCHITECT AND OWNER IMMEDIATELY AND DISCONTINUE THAT PORTION OF WORK UNTIL FURTHER INSTRUCTED.

3. PROTECT PORTIONS OF EXISTING BUILDING INDICATED TO REMAIN. REPAIR OR REPLACE PORTIONS OF BUILDING DAMAGED BY THIS WORK, AT NO ADDITIONAL COST.

4. PROVIDE TEMPORARY PROTECTIVE WALKWAYS OR COVERING OVER EXISTING FLOOR SURFACES TO PROTECT FLOOR FINISHES.

5. WHERE WORK INCLUDES CUTTING OR REMOVING MATERIALS TO ACCOMMODATE NEW WORK, FORM NEAT, UNIFORM, AND SMOOTH EDGES.

6. REMOVE EXISTING FINISHES TO LIMITS INDICATED WITHOUT DAMAGE TO SUBSTRATES OR ADJACENT SURFACES. INCLUDE REMOVAL OF MECHANICAL AND ELECTRICAL WORK AS APPLICABLE.

7. PROVIDE TEMPORARY ENCLOSURES OR OTHER METHODS TO LIMIT DUST TRANSMISSION TO ADJACENT AREAS. PROVIDE TEMPORARY NOISE REDUCTION BARRIERS TO SEPARATE WORK AREAS FROM ADJACENT OCCUPIED AREAS.

8. ALL WORK SHALL BE CONSTRUCTED BY 1926 OSHA REGULATIONS FOR CONSTRUCTION INDUSTRY. PROVIDE HAZARD COMMUNICATION PROGRAM WITH MATERIAL SAFETY DATA SHEETS (MSDS) SUBMITTED TO OWNER AS MATERIALS ARRIVE ON THE JOB SITE. ALSO PROVIDE DOCUMENTATION OF COMPETENT PERSON TRAINING FOR SCAFFOLDING AND FALL PROTECTION

9. MAINTAIN BUILDING SECURITY. EQUIP DOORS WITH LOCKS. SECURE CONSTRUCTION AREA DURING NON-WORKING HOURS.

10. NO SMOKING PERMITTED ON JOBSITE.

11. JOBSITE TO BE CLEANED AT THE END OF EACH WORK DAY AND DEBRIS DEPOSITED IN DUMPSTER ON JOB SITE.

12. SCHEDULE TRASH REMOVAL (DUMPSTER PULLS) AT FREQUENT INTERVALS TO COORDINATE WITH OWNER'S SITE REQUIREMENTS OR LOCAL ORDINANCE.

13. EXCEPT FOR ITEMS DESIGNATED TO BE REMOVED AND REUSED IN THE WORK OR ITEMS RETAINED BY OWNER FOR STORAGE, ALL MATERIAL RESULTING FROM THIS WORK SHALL BECOME PROPERTY OF CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM SITE. STORAGE OR SALE OF REMOVED MATERIALS WILL NOT BE PERMITTED ON PROJECT SITE OR WITHIN BUILDING.

14. MATERIALS RESULTING FROM DEMOLITION BECOME THE PROPERTY OF THE OWNER. OWNER TO DETERMINE MATERIALS TO BE SALVAGED OR DISPOSED.

15. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS (IF THIS IS NOT CLEAR, PLEASE CALL ARCHITECT) CAUSED BY DEMOLITION OPERATIONS, AS DIRECTED BY THE ARCHITECT OR GOVERNING AUTHORITIES. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO THE START OF WORK.

16. BURIAL OR BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON THE SITE.

17. AT PROJECT SITE, COMPARE EXISTING LOCATIONS OF EQUIPMENT, ELECTRICAL AND MECHANICAL WORK WITH PLACEMENT IN CONTRACT DOCUMENTS. REPORT ANY DISCREPANCIES DISCOVERED FOR RESOLUTION.

18. MAKE MECHANICAL AND ELECTRICAL CONNECTIONS WITHOUT DISRUPTION OF SERVICE TO OCCUPIED AREAS OR OVERLOADING OF EXISTING SYSTEMS.

19. WHERE REMOVAL OR ALTERATION OF CONCEALED STRUCTURAL MEMBERS IS REQUIRED, WHICH ARE NOT INCLUDED IN DETAIL ON DRAWINGS, NOTIFY ARCHITECT AND OWNER IN WRITING AND AWAIT INSTRUCTIONS PRIOR TO PROCEEDING.

20. DURING DEMOLITION, PROTECT ADJOINING WORK FROM DAMAGE, OBSERVE AND MONITOR ADJACENT STRUCTURAL ELEMENTS, STOP WORK AND NOTIFY OWNER FOR INSTRUCTIONS IF CHANGES ARE NOTED. CRACKS OR STRUCTURAL DAMAGE RESULTING FROM DEMOLITION SHALL BE REPAIRED AT NO EXPENSE TO OWNER AND TO ARCHITECT'S & OWNER'S SATISFACTION.

21. PROVIDE ALL NECESSARY SHORING AND BRACING TO MAINTAIN STRUCTURAL INTEGRITY OF THE BUILDING DURING DEMOLITION OPERATIONS. REMOVE ONLY AFTER NEW STRUCTURE IS IN PLACE AND CAPABLE OF SUPPORTING BRACED OR SHORED PARTS.

22. COMPLY WITH EPA AND GEORGIA STORM WATER ACT AND OTHER GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING, AND POLLUTION. PROVIDE NECESSARY SILT FENCING FOR PROTECTION AGAINST RUN-OFF & EROSION.

23. WHEN STORING MATERIALS, PREPARE AN ITEMIZED LIST INCLUDING QUANTITIES, CONDITION, AND LOCATION NOT TO BE EXPOSED TO THE ELEMENTS. SUBMIT COPIES TO OWNER WITHIN SEVEN DAYS OF REMOVAL OF ITEM.

24. PROVIDE TEMPORARY FIRE PROTECTION DEVICES AND CONSTRUCTION IN COMPLIANCE WITH 1926 OSHA STANDARDS AND LOCAL JURISDICTION NFPA REQUIREMENTS. INSTALL PERMANENT FIRE PROTECTIVE CONSTRUCTION TO CLOSE VOIDS AND PENETRATIONS AS WORK PROGRESSES, AS SPECIFIED IN FIRESTOPPING SPECIFICATION.

25. COORDINATE DEMOLITION DISRUPTIVE TO ADJACENT TENANTS, TRASH REMOVAL, DRILLING, CONCRETE CORING, AND RELATED WORK WITH OWNER.

26. DEBRIS FROM INTERIOR DEMOLITION SHALL BE REMOVED DIRECTLY TO THE EXTERIOR OF THE BUILDING. REMOVAL OF DEBRIS THROUGH CORRIDORS AND FREIGHT ELEVATORS MUST BE APPROVED & SCHEDULED WITH THE OWNER. MEET WITH OWNER DAILY TO REPORT DEBRIS REMOVAL

27. SCHEDULE REMOVAL OF DEBRIS AND CLEANING OPERATIONS SO AS NOT TO INTERFERE WITH VEHICULAR OR PEDESTRIAN TRAFFIC IN BUILDING LOBBIES, CORRIDORS, ELEVATORS, OR STREETS.

28. SCHEDULE HIGH NOISE LEVEL OPERATIONS TO NON-BUSINESS HOURS AS ACCEPTABLE TO OWNER WHERE WORKING IN CLOSE PROXIMITY TO EXISTING BUSINESS OPERATIONS. CONSULT PREVAILING JURISDICTION FOR BUSINESS HOUR LIMITATIONS.

KEY PLAN

KEYNOTE LEGEND

WALL LEGEND

PLAN NOTES

1 - REMOVE EXISTING LOW WALL AT EXISTING PATIO

2 - REMOVE EXISTING STEPS

3 - REMOVE EXISTING PLANTER

4 - REMOVE EXISTING RAMP

5 - REMOVE EXISTING TRELLIS/CANOPY

6 - REMOVE EXISTING RETAINING WALL

7 - CUT BACK EXISTING CURB AT PATIO 1 FT TO EXPAND ACCESS

8 - PARTIALLY DEMO EXISTING PORCH FOR NEW PORCH ADDITION/EXTENSION, REMOVE DECKING ENTIRELY

9 - EXISTING PATIO CURB TO REMAIN

10 - EXISTING STAIR TO BE REMOVED

11 - EXISTING CURB AT EXISTING LOADING AREA & DRIVE TO BE REMOVED

12 - EXISTING SIDEWALK TO BE REMOVED AND CUT BACK FOR NEW BELTLINE COMPLIANT SIDEWALK WITH STREET TREE & FURNITURE ZONE

13 - EXISTING RAMP SECTION, @ RAISED CONCRETE PATIO, TO BE REMOVED

14 - EXISTING TREES TO REMAIN

15 - EXISTING TREE TO BE REMOVED

16 - REMOVE EXISTING SECTION OF CONCRETE

17 - REMOVE EXISTING METAL SIDING

18 - EXISTING SIDE WALL AT STAIR TO BE REMOVED

19 - EXISTING SECTION OF WALL TO BE REMOVED

20 - EXISTING OPENING (DOOR AND/OR WINDOW) TO BE REMOVED

01 H.P./JDC SUBMISSION

REVISIONS/SUBMISSIONS

05-04-2021

Date

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AS-BUILT/DEMOLITION EXTERIOR ELEVATIONS

Project No. 21053

Drawing No.

Date 05/04/2021

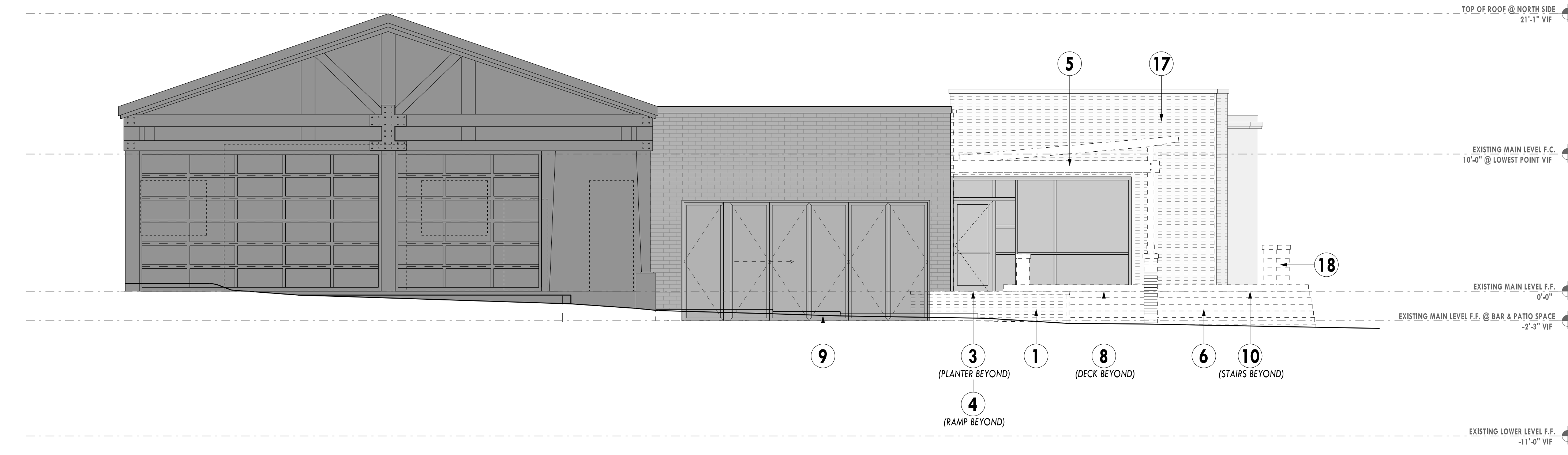
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A0.5

AS-BUILT/DEMOLITION EXTERIOR ELEVATION: NORTH SIDE

3/16" = 1'-0"

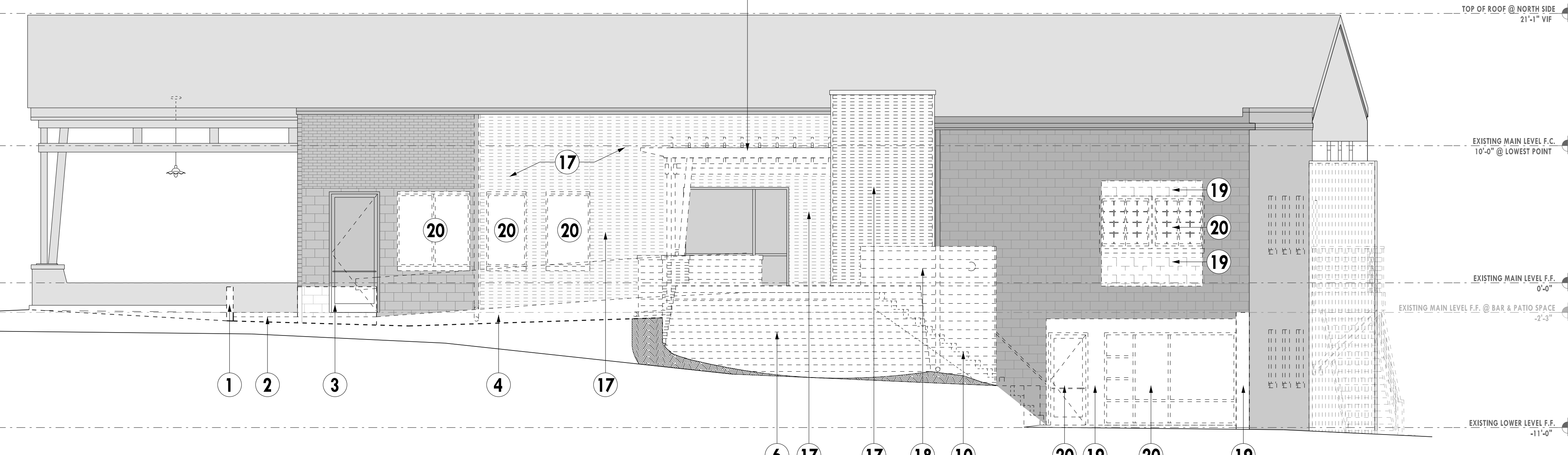
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AS-BUILT/DEMOLITION EXTERIOR ELEVATION: WEST SIDE

3/16" = 1'-0"

3/32" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



DEMOLITION NOTES

NO SCALE

AS-BUILT/DEMOLITION EXTERIOR ELEVATION: WEST SIDE

3/16" = 1'-0"

3/32" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

KEY PLAN

KEYNOTE LEGEND

WALL LEGEND

PLAN NOTES

1 - REMOVE EXISTING LOW WALL AT EXISTING PATIO

2 - REMOVE EXISTING STEPS

3 - REMOVE EXISTING PLANTER

4 - REMOVE EXISTING RAMP

5 - REMOVE EXISTING TRELLIS/CANOPY

6 - REMOVE EXISTING RETAINING WALL

7 - CUT BACK EXISTING CURB AT PATIO 1 FT TO EXPAND ACCESS

8 - PARTIALLY DEMO EXISTING PORCH FOR NEW PORCH ADDITION/EXTENSION, REMOVE DECKING ENTIRELY

9 - EXISTING PATIO CURB TO REMAIN

10 - EXISTING STAIR TO BE REMOVED

11 - EXISTING CURB AT EXISTING LOADING AREA & DRIVE TO BE REMOVED

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14 - EXISTING TREES TO REMAIN

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AS-BUILT/DEMOLITION EXTERIOR ELEVATIONS

Project No. 21053

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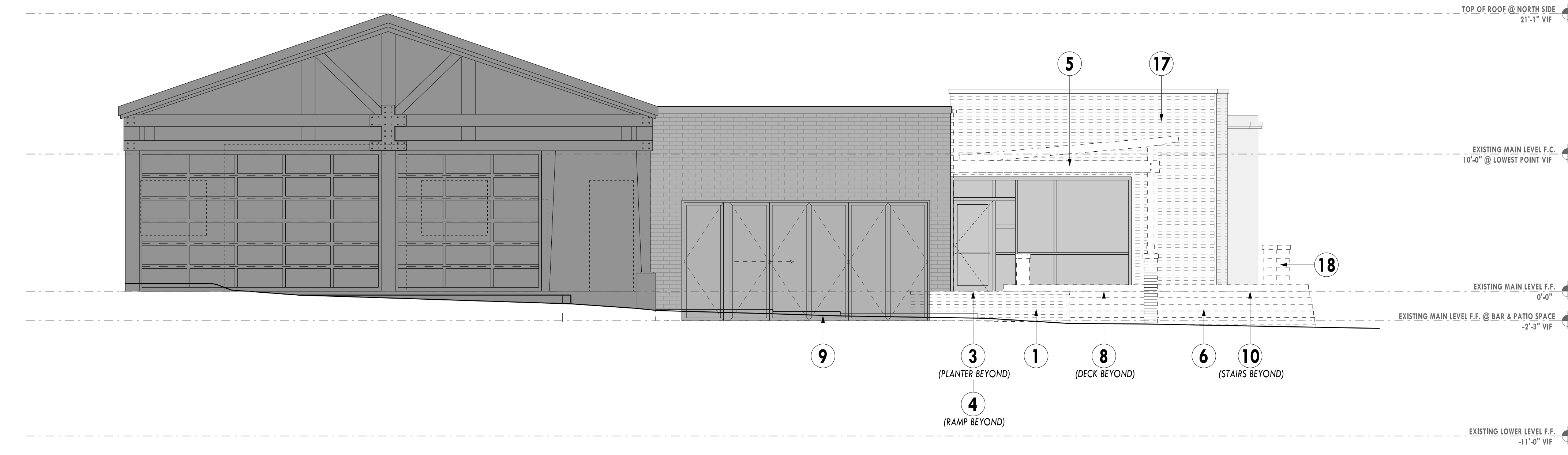
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AS-BUILT/DEMOLITION EXTERIOR ELEVATION: NORTH SIDE

3/16" = 1'-0"

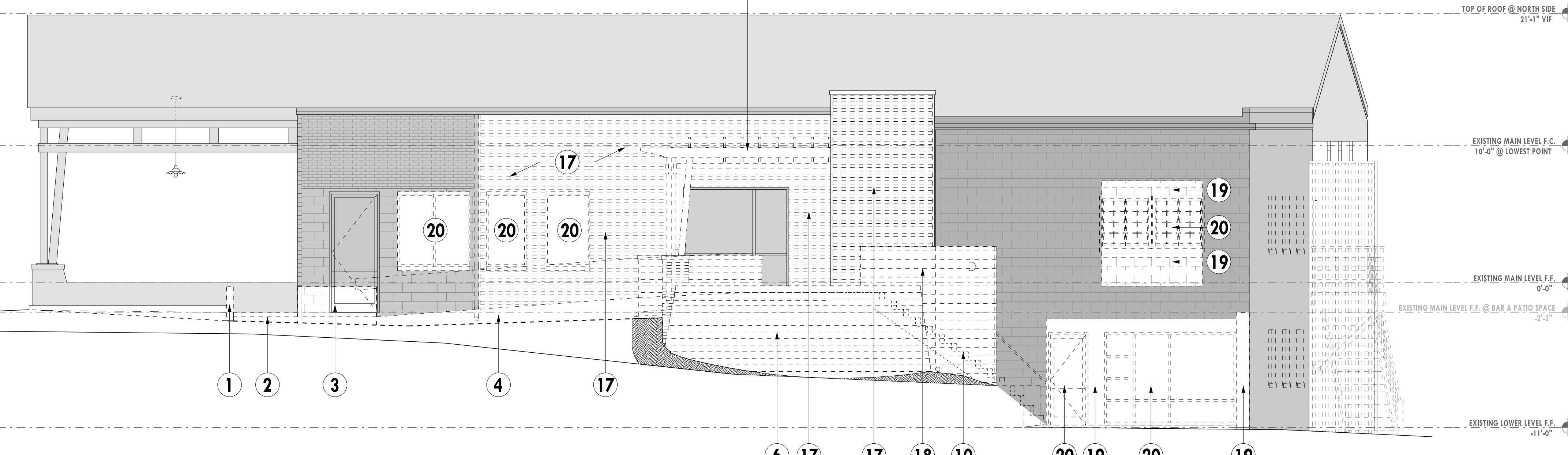
3/32" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



AS-BUILT/DEMOLITION EXTERIOR ELEVATION: WEST SIDE

3/16" = 1'-0"

3/32" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17



DEMOLITION NOTES

NO SCALE

AS-BUILT/DEMOLITION EXTERIOR ELEVATION: WEST SIDE

3/16" = 1'-0"

3/32" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

KEY PLAN

KEYNOTE LEGEND

WALL LEGEND

PLAN NOTES

1 - REMOVE EXISTING LOW WALL AT EXISTING PATIO

2 - REMOVE EXISTING STEPS

3 - REMOVE EXISTING PLANTER

4 - REMOVE EXISTING RAMP

5 - REMOVE EXISTING TRELLIS/CANOPY

6 - REMOVE EXISTING RETAINING WALL

7 - CUT BACK EXISTING CURB AT PATIO 1 FT TO EXPAND ACCESS

8 - PARTIALLY DEMO EXISTING PORCH FOR NEW PORCH ADDITION/EXTENSION, REMOVE DECKING ENTIRELY

9 - EXISTING PATIO CURB TO REMAIN

10 - EXISTING STAIR TO BE REMOVED

11 - EXISTING CURB AT EXISTING LOADING AREA & DRIVE TO BE REMOVED

12 - EXISTING SIDEWALK TO BE REMOVED AND CUT BACK FOR NEW BELTLINE COMPLIANT SIDEWALK WITH STREET TREE & FURNITURE ZONE

13 - EXISTING RAMP SECTION, @ RAISED CONCRETE PATIO, TO BE REMOVED

14 - EXISTING TREES TO REMAIN

15 - EXISTING TREE TO BE REMOVED

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AS-BUILT/DEMOLITION EXTERIOR ELEVATIONS

Project No. 21053

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Scale 3/16" = 1'-0"

A0.5

H.P. SUBMISSION

309 NORTH HIGHLAND RENOVATION

309 NORTH HIGHLAND AVENUE, ATLANTA, GEORGIA 30307

JONES PIERCE

400 PASTERS AVENUE, SUITE 225, ATLANTA, GEORGIA 30324 PH: 404.488.1050







Architectural drawing showing the Floor Plan: Lower Level of a building, including a key plan, keynote legend, plan notes, and a title block.

**KEY PLAN**

**KEYNOTE LEGEND**

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW WALL

**PLAN NOTES**

- TENANT SPACE D: 1,200 SF (NET)
- NEW ENCLOSED EGRESS STAIR FROM MAIN LEVEL TO LOWER LEVEL, WITH ENCLOSED VESTIBULE
- NEW EGRESS DOOR WITH SIDELIGHT
- NEW FRENCH DOORS, SEE ELEVATIONS
- NEW WALL WITH EXTERIOR ENTRY DOOR PAIR, TO ALIGN WITH EXISTING EXTERIOR WALL
- NEW OPEN, EGRESS STAIR FROM NEW DECK ABOVE
- NEW RAISED CONCRTE PATIO INFILL @ EXISTING. EXTEND OUT TO REACH LEVEL GRADE FOR ACCESS
- NEW VINE/GREEN TRELLIS SYSTEM SURROUND AT STAIR, SEE ELEVATIONS
- NEW PERVIOUS SURFACE AREA UNDER DECK WITH BUILT-IN BENCH SEAT
- NEW VERTICAL METAL SLATS TO PROVIDE OPEN SEPARATION BETWEEN SIDEWALK & PERVIOUS SURFACE AREA (VERTICAL SLATS TO ALSO ACT AS GUARD RAIL); SEE ELEVATIONS
- NEW 6X6 WOOD POSTS AT CONCRETE PATIO

**FLOOR PLAN: LOWER LEVEL**

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**JONES PIERCE**

**309 NORTH HIGHLAND RENOVATION**

**H.P. SUBMISSION**

**TYPE III**

**309 NORTH HIGHLAND AVENUE, ATLANTA, GEORGIA 30307**

**409 PLASTERS AVENUE, SUITE 225, ATLANTA, GEORGIA 30324 - 404.688.1050**

**STATE OF GEORGIA**

**REGISTERED ARCHITECT**

**COOPER L. BERGE**

**05/04/2021**

**1/8" = 1'-0"**

**A1.0**

**Project No. 21053**

**Drawing No.**

**Date 05/04/2021**

**Scale 1/8" = 1'-0"**

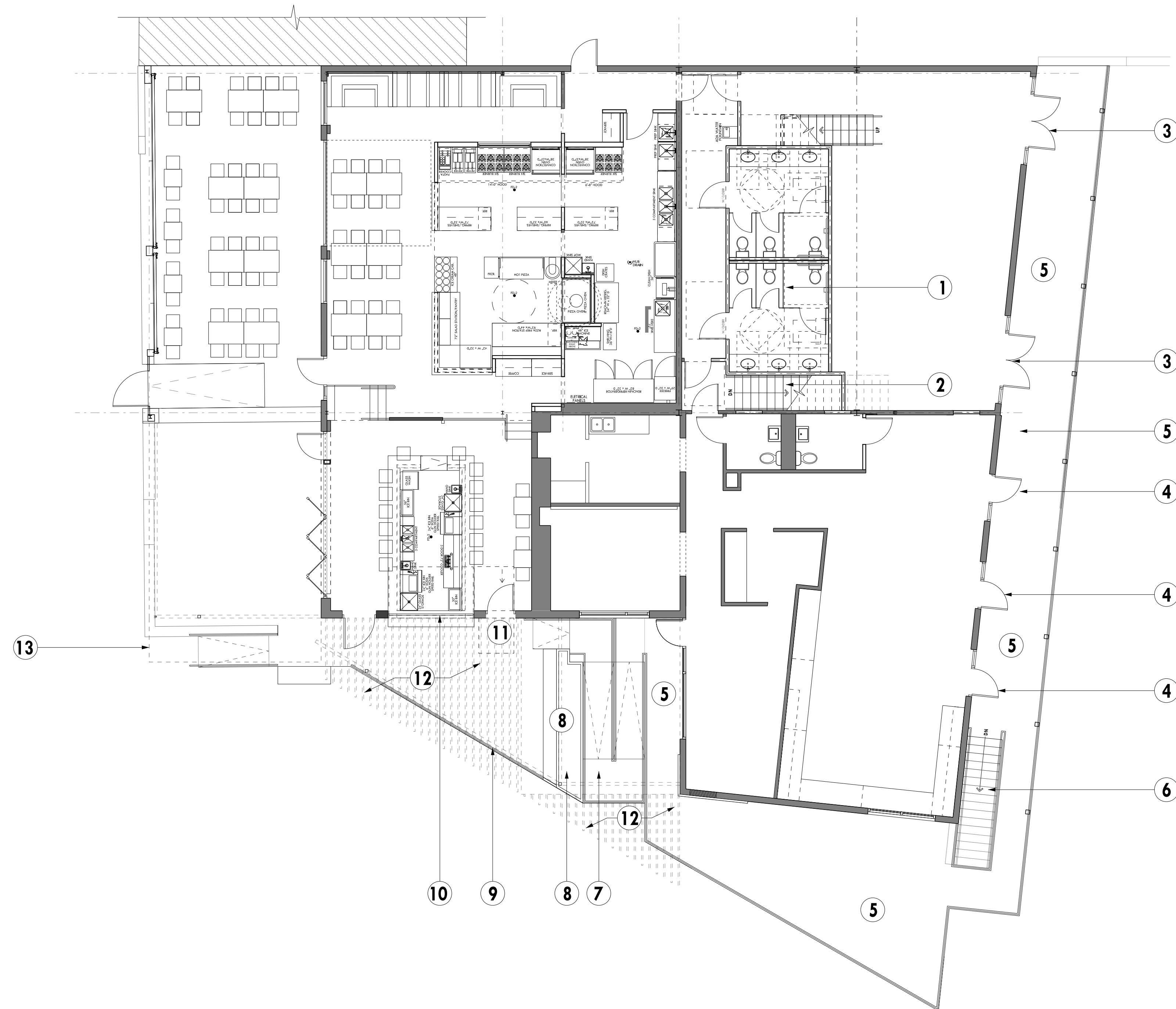
**1/8" = 1'-0"**

**1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17**

**1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18**

**A B C D E F G H I J K L M N O P Q R**








## KEY PLAN

## KEYNOTE LEGEND

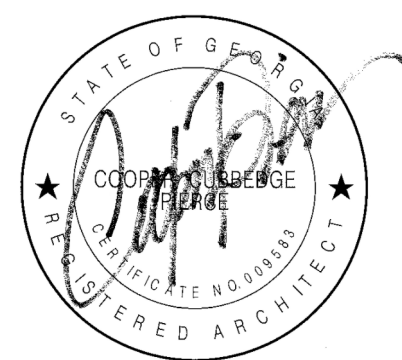
### WALL LEGEND

-  EXISTING WALL TO REMAIN  
 EXISTING TO BE DEMOLISHED  
 NEW WALL

## PLAN NOTES

- 1 - NEW SHARED RESTROOMS AND ACCESS CORRIDOR
- 2 - NEW ENCLOSED EGRESS STAIR FROM MAIN LEVEL TO LOWER LEVEL, WITH ENCLOSED VESTIBULE
- 3 - NEW EGRESS DOOR PAIR WITH SIDELIGHTS
- 4 - NEW FRENCH DOOR WITH SIDELIGHT, SEE ELEVATIONS
- 5 - NEW DECK, TO WRAP AT EXTERIOR AS SHOWN
- 6 - NEW OPEN, EGRESS STAIR
- 7 - NEW ADA RAMP
- 8 - NEW PLANTER WITH BUILT-IN BENCH SEAT
- 9 - NEW RAISED CONCRETE PATIO
- 10 - NEW FOLD OR ROLL-UP HALF-HEIGHT DOOR, SEE ELEVATIONS
- 11 - NEW EGRESS DOOR TO REPLACE EXISTING WINDOW
- 12 - NEW METAL FRAME OPEN-SLAT TRELLIS ABOVE MAIN PATIO, 2"x6" TUBE FRAMING @ 10" O.C.; SLATS TO BE ANGLED OUT TO NEW EAVE/EDGE OF PATIO WITH 26" OVERHANG AT NEW SIDEWALK
- 13 - DASHED LINE INDICATES NEW FLAT ROOF OVER EXISTING PATIO

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## FLOOR PLAN: MAIN LEVEL

Project No.	21053
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Date 05/04/2021

Scale  $1/8" = 1'-0"$

## A1.1

# H.P. SUBMISSION

# 309 NORTH HIGHLAND RENOVATION

309 NORTH HIGHLAND AVENUE, ATLANTA, GEORGIA 30307

# TONES PIERCE

A,1	FLOOR PLAN: MAIN LEVEL
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1/8" = 1'-0" | 1/16" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17





# 309 NORTH HIGHLAND RENOVATION

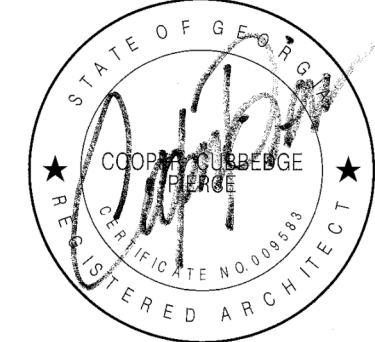
309 NORTH HIGHLAND AVENUE, ATLANTA, GEORGIA 30307

# JOHNES PIERCE

400 PLASTER AVENUE, SUITE 252, ATLANTA, GEORGIA 30324 :: 404.688.1050 ::

- 1 - NEW TOP "FLAT ROOF" W/ 1X6 CEMENT. FASCIA BOARD
- 2 - NEW ADJ RAMP & NEW STEP FROM SIDEWALK TO EXISTING PATIO ELEVATION
- 3 - NEW RAISED CONCRETE PATIO, @ EXISTING PATIO ELEVATION
- 4 - NEW METAL FRAME OPEN-SLAT TRELLIS ABOVE NEW 2" X 6" W/ 1/2" TUBE DRIVING @ 16" ON SLATS TO BE ANGLED OUT TO MATCH DECK; ANGLE OF PATIO WITH 2'6" OVERHANG AT NEW SIDEWALK
- 5 - NEW ADJ RAMP FROM NEW DECK TO (REPLACE EXISTING) TO CONNECT DOWN TO NEW PATIO
- 6 - NEW PLANTER W/ BUILT-IN BENCH SEAT BETWEEN NEW RAMP & PATIO
- 7 - NEW DECK (TO REPLACE EXISTING) SEE A.1.1 WHERE FULL DECK IS SHOWN
- 8 - NEW PLANTER AREA BETWEEN SIDEWALK & RAMP RETAINING WALL
- 9 - NEW PERVIOUS SURFACE AREA UNDER DECK WITH BUILT-IN BENCH SEAT
- 10 - NEW VERTICAL METAL SLATS TO PROVIDE OPEN SPACE BETWEEN SIDEWALK & PERVIOUS SURFACE AREA (VERTICAL SLATS TO ALSO ACT AS GUARD RAIL); SEE ELEVATIONS
- 11 - NEW 4" Ø METAL TUBE "W" SUPPORT & I-BEAM
- 12 - STREET TREES, 30FT ON CENTER MAX.
- 13 - NEW STAIR FROM NEW UPPER LEVEL BACK DECK
- 14 - EXISTING TREES TO REMAIN
- 15 - NEW DOOR WITH SIDELIGHTS
- 16 - NEW RAISED CONCRETE PATIO (FILL IN EXISTING)
- 17 - NEW RAILING, RAILING TO BE BLACK-COATED METAL (2" SQUARE POSTS, 1/2"x2" TOP RAIL, AND 1/2" VERTICAL PICKETS), TYPICAL
- 18 - NEW METAL BEAM
- 19 - NEW SQUARE METAL POST
- 20 - NEW WOOD-LOOK STONE SIDING, SPEC TBD
- 21 - EXISTING BRICK TO BE PAINTED, COLOR TBD
- 22 - NEW CEMENT. PANEL BOARD SIDING
- 23 - NEW STUCCO SIDING OVER EXISTING MASONRY
- 24 - NEW HANDLING SEAM ROOF W/ 1X6 FASCIA
- 25 - NEW HORIZONTAL CEMENT. SIDING W/ 6" REVEAL
- 26 - NEW FIXED WINDOW

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No.	REVISIONS/SUBMISSIONS	Date
Seal		



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Drawing Title

## EXTERIOR ELEVATIONS

Project No.	21053	Drawing No.
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Date 05/04/2021

Scale  $1/4" = 1'-0"$  **A**

## A2.1

NOT RELEASED FOR CONSTRUCTION



$3/16" = 1'-0"$	$3/32" = 1'-0"$ WHEN PRINTED AT HALF SCALE ON 11x17
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$3/16" = 1'-0"$	$3/32" = 1'-0"$ WHEN PRINTED AT HALF SCALE ON 11x17
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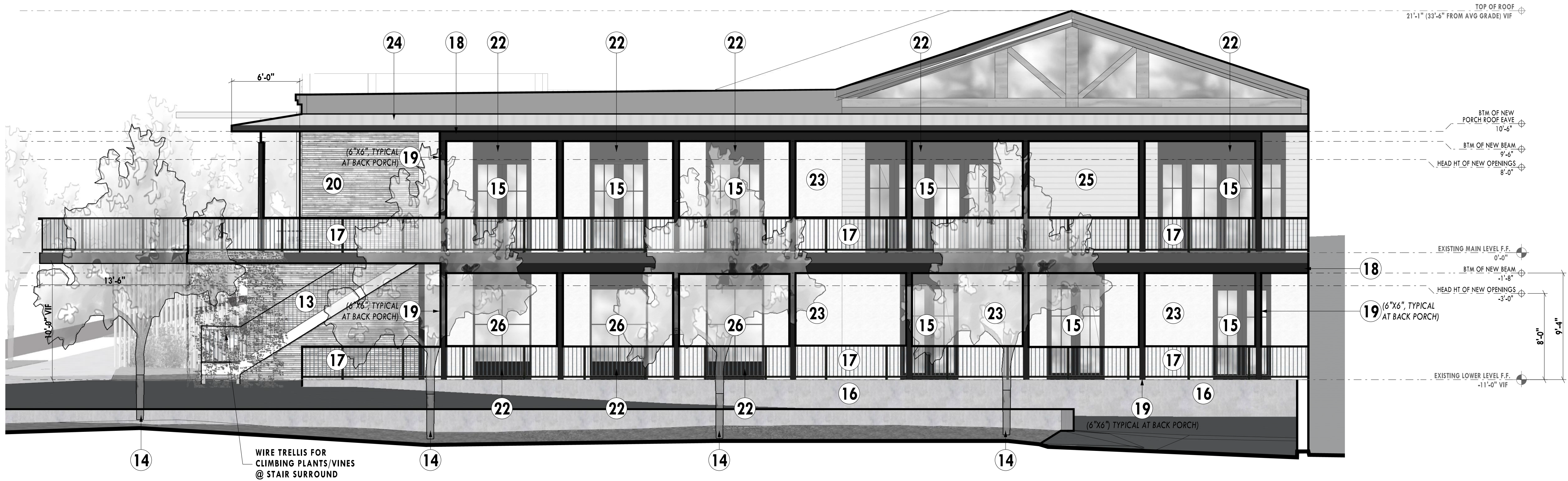
05/04/2021



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H  
G  
F  
E  
D  
C  
B  
A

A,1 EXTERIOR ELEVATIONS: SOUTH SIDE

3/16" = 1'-0" 3/32" = 1'-0" WHEN PRINTED AT HALF SCALE ON 11x17

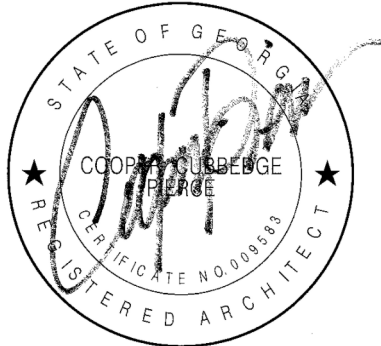


KEY PLAN

KEYNOTE LEGEND

- 1 - NEW TPO "FLAT ROOF" W/ 1X6 CEMENT. FASCIA BOARD
- 2 - NEW ADA RAMP & NEW STEP FROM SIDEWALK TO EXISTING PATIO ELEVATION
- 3 - NEW RAISED CONCRETE PATIO, @ EXISTING PATIO ELEVATION
- 4 - NEW METAL FRAME OPEN-SLAT TRELLIS ABOVE NEW PATIO. 2"x6" TUBE FRAMING @ 10" O.C.; SLATS TO BE ANGLED OUT TO MATCH EDGE/ ANGLE OF PATIO WITH 26" OVERHANG AT NEW SIDEWALK
- 5 - NEW ADA RAMP FROM NEW DECK (TO REPLACE EXISTING) TO CONNECT DOWN TO NEW PATIO
- 6 - NEW PLANTER W/ BUILT-IN BENCH SEAT BETWEEN NEW RAMP & PATIO
- 7 - NEW DECK (TO REPLACE EXISTING) SEE A1.1 WHERE FULL DECK IS SHOWN
- 8 - NEW PLANTER AREA BETWEEN SIDEWALK & RAMP RETAINING WALL
- 9 - NEW PERVIOUS SURFACE AREA UNDER DECK WITH BUILT-IN BENCH SEAT
- 10 - NEW VERTICAL METAL SLATS TO PROVIDE OPEN SEPARATION BETWEEN SIDEWALK & PERVIOUS SURFACE AREA (VERTICAL SLATS TO ALSO ACT AS GUARD RAIL); SEE ELEVATIONS
- 11 - NEW 4" Ø METAL TUBE "V" SUPPORT & I-BEAM
- 12 - STREET TREES, 30FT ON CENTER MAX.
- 13 - NEW STAIR FROM NEW UPPER LEVEL BACK DECK
- 14 - EXISTING TREES TO REMAIN
- 15 - NEW DOOR WITH SIDELIGHTS
- 16 - NEW RAISED CONCRETE PATIO (FILL IN EXISTING)
- 17 - NEW RAILING, RAILING TO BE BLACK-COATED METAL (2" SQUARE POSTS, 1/2"x2" TOP RAIL, AND 1/2" VERTICAL PICKETS), TYPICAL
- 18 - NEW METAL BEAM
- 19 - NEW SQUARE METAL POST
- 20 - NEW WOOD-LOOK STONE SIDING, SPEC TBD
- 21 - EXISTING BRICK TO BE PAINTED, COLOR TBD
- 22 - NEW CEMENT. PANEL BOARD SIDING
- 23 - NEW STUCCO SIDING OVER EXISTING MASONRY
- 24 - NEW STANDING SEAM ROOF W/ 1X6 FASCIA
- 25 - NEW HORIZONTAL CEMENT. SIDING W/ 6" REVEAL
- 26 - NEW FIXED WINDOW

01	H.P./JUDC SUBMISSION	05-04-2021
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EXTERIOR ELEVATIONS

Project No. 21053

Drawing No.

Date 05/04/2021

Scale 1/4" = 1'-0"

A2.2

H.P. SUBMISSION

TYPE III

309 NORTH HIGHLAND RENOVATION

309 NORTH HIGHLAND AVENUE, ATLANTA, GEORGIA 30307

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