



**OFFICE OF ZONING AND DEVELOPMENT**

55 Trinity Avenue S.W., Suite 3350

Atlanta, Georgia 30303

(404) 330-6145

APPLICATION #: **V-21-180**

DATE ACCEPTED **07/27/2021**

**NOTICE TO APPLICANT**

Address of Property:

**300 North Highland AVE NE**

City Council District: **2** Neighborhood Planning Unit (NPU): **N**

Board of Zoning Adjustment (BZA) Hearing Date:

**Thursday, September 09, 2021 at 12:00 p.m.**

Council Chambers, 2nd Floor, City Hall  
55 Trinity Avenue, S.W.

The contact person for NPU N is:

**Catherine Woodling**  
**(404) 550-7271**  
**npunchair@gmail.com**

Contact info for adjacent NPUs is provided below if necessary:

**Additional Contacts:**

Please contact the person(s) listed above within five days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6145.

Signed,

*Rhonda Goodman*

RG, for Director, Office of Zoning and  
Development

Chris Quinn

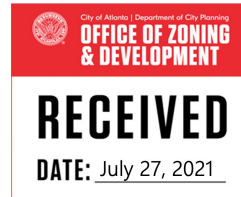
**V-21-180**





**City of Atlanta**  
**Office of Zoning and Development**  
 55 Trinity Avenue, Suite 3350  
 Atlanta, Georgia 30303  
 Phone: 404-330-6145

**V-21-180**



**REFERRAL CERTIFICATE**

COUNCIL DISTRICT   2   APPLICATION NUMBER

NPU   N   DATE FILED   07/21/2021  

CHRIS QUINN  
 Name of Applicant

**BUILDING PERMIT AUTHORIZING  
 ATM/KIOSK**

at   300 NORTH HIGHLAND AVENUE     NE     14/14    
 Street Address Quadrant Land Lot & District

to be used for   INDUSTRIAL   purposes

The property is zoned   HC20LSA3(INMANPARK)/    
  I-2 (HEAVY INDUSTRIAL)/BELTLINE   District

Applicant seeks a special exception from the zoning regulation to reduce the required number of  
off-street parking spaces from 30 to 29 parking spaces for the construction of a new walk-up ATM.

**Applicant seeks no other variances at this time.**

**1982 ZONING ORDINANCE, AS AMENDED**

Chapter   17   Section   16-17.009   Paragraph   (1)  

Tamaria Letang   07/26/2021    
 Plan Reviewer Date

Chris Quinn   07/26/2021    
 Applicant Date

# APPLICATION FOR BOARD OF ZONING ADJUSTMENT

Please mark "X" next to the type of application(s) you are submit

Variance	<input type="checkbox"/>
Special Exception	<input checked="" type="checkbox"/>
Variance & Special Exception	<input type="checkbox"/>

V-21-180



Date Filed 06/21/2021

Application Number

Name of Applicant Chris Quinn

Daytime Phone 847-257-2245

Company Name (if applicable) TKO Installations, Inc. email Chris.Quinn@TKOSafe.com

Address 1287 Kyle Ct, Wauconda, IL 60084  
street city state zip code

Name of Property Owner 300 N. Highland, LLC/Thomas N. Wineland, Manager Phone 404-217-6109

Address 2965 Pharr Court South, NW Suite # 805, Atlanta, GA 30305  
street city state zip code

## Description of Property

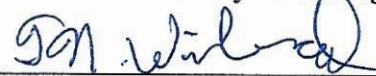
Address of Property 300 North Highland Avenue Northeast, Atlanta, GA 30307  
street city state zip code

Area: \_\_\_\_\_ Land Lot: 14 District: 14, Dekalb County, GA.

Property is zoned: I-2, Council District: 2, Neighborhood Planning Unit (NPU): N

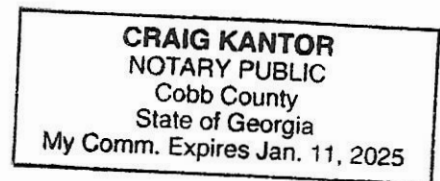
TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received a preliminary plan review from the Office of Zoning and Development prior to seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant a Variance or Special Exception.

I hereby authorize the staff of the Office of Zoning and Development to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Zoning and Development upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

  
Owner or Agent for Owner (Applicant)  
Thomas N. Wineland  
Print Name of Owner

Sworn To And Subscribed Before Me This 9 Day Of July, 20 21.

  
NOTARY PUBLIC





# SUMMARY & JUSTIFICATION FOR VARIANCE

**Directions:** Complete responses must be provided for ALL questions. Incomplete applications are not accepted. The space below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. **The justification must address the criteria.** Please submit a typewritten or legible justification.

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit? \_\_\_\_\_YES \_\_\_\_\_NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor). Please provide the relevant zoning application number associated with the subject property: \_\_\_\_\_.

**Summary of proposed construction changes to buildings or site (shall not replace submittal of written criteria).** (Examples: "Convert a 100' x 200' retail space into a restaurant." "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Proposed Lot Coverage (After Construction):** Calculate total amount of lot coverage on entire property, after completion of proposed construction, including existing and proposed buildings and other structures; sidewalks, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.

\_\_\_\_\_ covered square feet / \_\_\_\_\_ total lot square feet = \_\_\_\_\_% proposed lot coverage  
\_\_\_\_\_ % maximum allowed lot coverage

**Variance Criteria (see page 6 for detailed criteria):**

- 1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)? \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- 2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship? \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- 3) What conditions are peculiar to this particular piece of property? \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- 4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_





# SUMMARY & JUSTIFICATION FOR SPECIAL EXCEPTI

**Directions:** Complete responses must be provided. Incomplete applications will not be accepted. The space below may only be utilized for the summary of proposal or responses may be submitted as a separate attachment. Specific criteria for Board approval of special exceptions may be found on page 9. **The justification must address the criteria. Please submit a separate justification for responses to the applicable special exception criteria.**

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit? \_\_\_\_\_YES \_\_\_\_\_NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor.) Please provide the relevant zoning application number associated with the subject property: \_\_\_\_\_.

**Summary of proposed special exception request (shall not replace submittal of written criteria).** (Examples: "Installation of a swimming pool adjacent to the public right of way ("active recreation"), "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

**Parking & Loading:** List the hours and manner of operation for the proposed use, the maximum number of employees who will park on the site at any given time, and list the maximum estimated number of customers (visitors or similar persons) who will require automobile parking in connection with the use on the site at any given time. **If you are proposing off-site parking, see the attached Standards for off-site Parking Agreements (page 11).**

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**Walls and Fences:** Any request for walls or fences should include a site plan and elevations showing the full extent of the wall or fence and a drawing showing a typical portion of the wall or fence including gates of ornamental fences. \_\_\_\_\_

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**Active Recreation:** \_\_\_\_\_

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**Non-Conforming Uses & Structures (i.e. duplex):** \_\_\_\_\_

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**All other Special Exception Requests:** \_\_\_\_\_

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**TKO INSTALLATIONS, INC.**

*Specialties Contractor - General Construction*

**1287 Kyle Court  
Wauconda, IL 60084**

(847) 526-1169  
(847) 526-7109 FAX

www.tko.com

**V-21-180**



City of Atlanta, Office of Zoning and Development (404-330-6145)  
Application for Board of Zoning Adjustments Variances & Special Exceptions

Property Address:  
300 North Highland Avenue northeast, Atlanta, GA

Scope of Work:  
New walk-up ATM with raised concrete pad, ATM kiosk, bollards, lighting, security cameras and meter pedestal.  
Lane striping and pavement markings to be painted.  
New Kiosk/ATM to be located within the parking lot of an existing strip center.

Please refer to attached drawings:

- G001 Cover Sheet and General Notes
- A101 Existing Conditions and Site Plan
- A102 Elevations and Details
- A103 Electrical Sections and Details
- Copy of Metes and Bounds
- Copy of site survey.

Requesting a Special Exception to reduce the required number of parking spaces from 30 to 29, a net reduction of 1 parking space.

Special circumstances are such that this parcel is merely 895 ft. short of meeting the criteria of [Section 16-28.014\(14\)](#), and within 2,640 feet of a High Capacity Transit station whereas these parking minimums would not apply.

Project has been submitted for the following applications/approvals:

Case Number CA2S-21-212. Approved by the historic district.

Case Number BL-21-017. Approved pending parking variance/special exception approval.

It is our hope that this pedestrian friendly improvement would be granted this exception so that this complimentary accessory to the development and the local community can be completed.

Regards,

**Chris Quinn**



**TKO Installations Inc.**

1287 Kyle Ct. Wauconda, IL. 60084

[Chris.Quinn@TKOSafe.com](mailto:Chris.Quinn@TKOSafe.com)

847-526-1169 x104 Office **847-257-2245 Cell**

Cc: R. Hunt Dunlap, Jr ESQ.

V-21-180



Exhibit A  
 Property Description  
 300 North Highland Avenue, LLC  
 North Highland Avenue & Elizabeth Street  
 Fulton County, Georgia

All that tract or parcel of land lying and being in Land Lots 14 and 15 of the 14th District, Fulton County, Georgia, and being more particularly described as follows:

Beginning at a 1/2 inch rebar found at the intersection of the westerly right-of-way of Elizabeth Street (a 40 foot right-of-way) with the northerly right-of-way of North Highland Avenue (a 50 foot right-of-way), said 1/2 inch rebar found being the **TRUE POINT OF BEGINNING**. Thence departing the said westerly right-of-way of Elizabeth Street and continuing with the said northerly right-of-way of North Highland Avenue, South 58 degrees 15 minutes 18 seconds West, a distance of 176.80 feet to a 1-1/2 inch open top pipe found in the division line between 240 North Highland Property, L.P. (Deed Book 28566 at Page 336) on the west and north, respectively, and 300 North Highland Avenue, LLC (Deed Book 29916 at Pages 71 and 73) on the east and south, respectively; Thence departing the said northerly right-of-way of North Highland Avenue and continuing with the said division line the following three courses: North 56 degrees 02 minutes 13 seconds West, a distance of 130.92 feet to a 1/2 inch rebar found; Thence North 59 degrees 12 minutes 20 seconds East, a distance of 48.10 feet to a 1/2 inch rebar found; Thence North 59 degrees 35 minutes 36 seconds East, a distance of 129.88 feet to a 5/8 inch rebar set in the said westerly right-of-way of Elizabeth Street; Thence continuing with the said westerly right-of-way of Elizabeth Street, South 56 degrees 16 minutes 51 seconds East, a distance of 126.96 feet to a 1/2 inch rebar found at the said intersection of the said westerly right-of-way of Elizabeth Street with the said northerly right-of-way of North Highland Avenue, said 1/2 inch rebar found being the **TRUE POINT OF BEGINNING**.

Said tract of land contains 0.476 Acres.

*or 20,846 square feet*



# AUTHORIZATION BY PROPERTY OWNER

(Required only if the applicant is not the owner of the property subject to the proposed application)

(Please print clearly. Must be the original document. A copy will not be accepted.)

I, 300 N. Highland, LLC/Thomas N. Wineland, Manager (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM THE OWNER OF THE PROPERTY AT PID#14 00190004009 300 North Highland Ave Northeast, Atlanta GA (PROPERTY ADDRESS). AS SHOWN IN THE RECORDS OF Dekalb COUNTY, GEORGIA, WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO FILE THIS APPLICATION AS MY AGENT.

**NAME OF APPLICANT:**

LAST NAME Quinn FIRST NAME Chris

ADDRESS 1287 Kyle Ct. SUITE \_\_\_\_\_

CITY Wauconda STATE IL ZIP CODE 60084

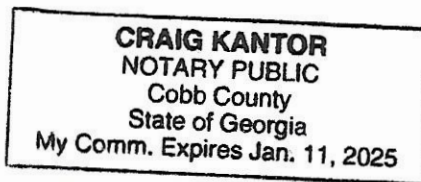
OWNER'S TELEPHONE NUMBER: 404-217-6109

JN. Wineland  
SIGNATURE OF OWNER

Thomas N. Wineland  
PRINT NAME OF OWNER

PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Craig Kantor  
NOTARY PUBLIC



07-09-2021  
DATE



**TITLE EXCEPTIONS**

(1) THIS SURVEY IS BASED ON A TITLE REPORT PREPARED BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NO. 12-0149, DATED APRIL 15, 2012.

(2) SEWER EASEMENT REFERENCED IN THAT WARRANTY DEED FROM MRS. BESSIE K. SPEARMAN TO W.D. HARPER, DATED 9/17/1989, RECORDED AT DEED BOOK 3140, PAGE 194, FULTON COUNTY, GEORGIA RECORDS.

APPEARS TO AFFECT THE SUBJECT PROPERTY BUT CAN NOT BE PLOTTED FROM THE INFORMATION PROVIDED.

(3) INDEMNITY AGREEMENT FROM 300 NORTH HIGHLAND AVENUE, LLC TO THE CITY OF ATLANTA, DATED 12/01/2005, RECORDED AT DEED BOOK 41699, PAGE 213, FULTON COUNTY, GEORGIA RECORDS.

AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE.

(4) UNRECORDED LEASE AS EVIDENCED BY REDORDABLE MEMORANDUM OF LEASE, BETWEEN 300 NORTH HIGHLAND AVENUE, LLC AND THE GRAPE AT INMAN PARK, LLC, AS SUCCESSFULLY ASSIGNED TO INMAN PROPERTIES, LLC, DATED 9/20/2006 AND RECORDED AT DEED BOOK 43371, PAGE 306, AFORSAD RECORDS.

AFFECTS THE SUBJECT PROPERTY BUT CAN NOT BE PLOTTED.

(5) SEWER EASEMENT DESCRIBED IN THAT CONDOMINIUM SUIT STYLED CITY OF ATLANTA VS. W.D. HARPER, ET AL., BEING CIVIL CASE NO. 8-59629, DATED AND FILED 8/28/1970, AND RECORDED AT DEED BOOK 5270, PAGE 424, AFORSAD RECORDS.

APPEARS TO AFFECT THE SUBJECT PROPERTY BUT CAN NOT BE PLOTTED FROM THE INFORMATION PROVIDED.

(6) HISTORIC PRESERVATION DESIGNATION BY THE CITY OF ATLANTA, DATED 4/18/2002 AND RECORDED AT DEED BOOK 32286, PAGES 477, 478 AND 479, AFORSAD RECORDS.

AFFECTS THE SUBJECT PROPERTY, TOO VAGUE TO PLOT

(7) ALL MATTERS DESCRIBED AND DEPICTED ON THAT CERTAIN CONSOLIDATED SURVEY FOR 300 NORTH HIGHLAND AVENUE, LLC, PREPARED BY GEOSURVEY, LTD., BEARING THE CERTIFICATION OF TRENTON D. TURK, G.R.I.S. NO. 2411, DATED FEBRUARY 8, 2005, AND RECORDED AT PLAT BOOK 206, PAGE 12, FULTON COUNTY, GEORGIA RECORDS.

AFFECTS THE SUBJECT PROPERTY, CURRENT IMPROVEMENTS EXIST AS SHOWN ON CURRENT SURVEY.

**V-21-180**



**RECEIVED**

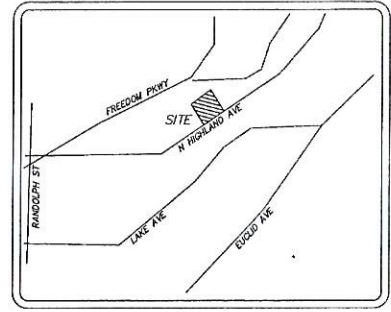
DATE: July 27, 2021

**LEGAL DESCRIPTION**

ALL THAT TRACT OR PARCEL OF LAND LYING IN AND BEING IN LAND LOTS 14 AND 15, DISTRICT 14, CITY OF ATLANTA, FULTON COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON SET FOUND AT THE NORTH RIGHT OF WAY OF NORTH HIGHLAND AVENUE (50' RIGHT OF WAY) AND THE WEST RIGHT OF WAY OF ELIZABETH STREET (40' RIGHT OF WAY), WHICH IS THE POINT OF BEGINNING; THENCE ALONG THE SAID RIGHT OF WAY OF NORTH HIGHLAND AVENUE SOUTH 58 DEGREES 15 MINUTES 18 SECONDS WEST A DISTANCE OF 176.80 FEET TO AN IRON PIN SET; THENCE LEAVING THE SAID RIGHT OF WAY AND CONTINUING NORTH 58 DEGREES 02 MINUTES 13 SECONDS WEST A DISTANCE OF 130.92 FEET TO AN IRON PIN SET; THENCE NORTH 59 DEGREES 12 MINUTES 20 SECONDS EAST A DISTANCE OF 48.10 FEET TO AN IRON PIN SET; THENCE NORTH 59 DEGREES 35 MINUTES 36 SECONDS EAST A DISTANCE OF 129.88 FEET TO THE SAID RIGHT OF WAY OF ELIZABETH STREET; THENCE ALONG THE SAID RIGHT OF WAY SOUTH 58 DEGREES 15 MINUTES 18 SECONDS EAST A DISTANCE OF 176.80 FEET TO AN IRON PIN SET, WHICH IS THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 0.478 ACRES AND IS DEPICTED ON THAT ALTA/ACSM PLAT OF SURVEY, BY LANDPRO SURVEYING AND MAPPING, INC., SCALED AND CERTIFIED BY JAMES H. RADER, O.E.S. NO. 30334, DATED MAY 30, 2012.



**VICINITY MAP**

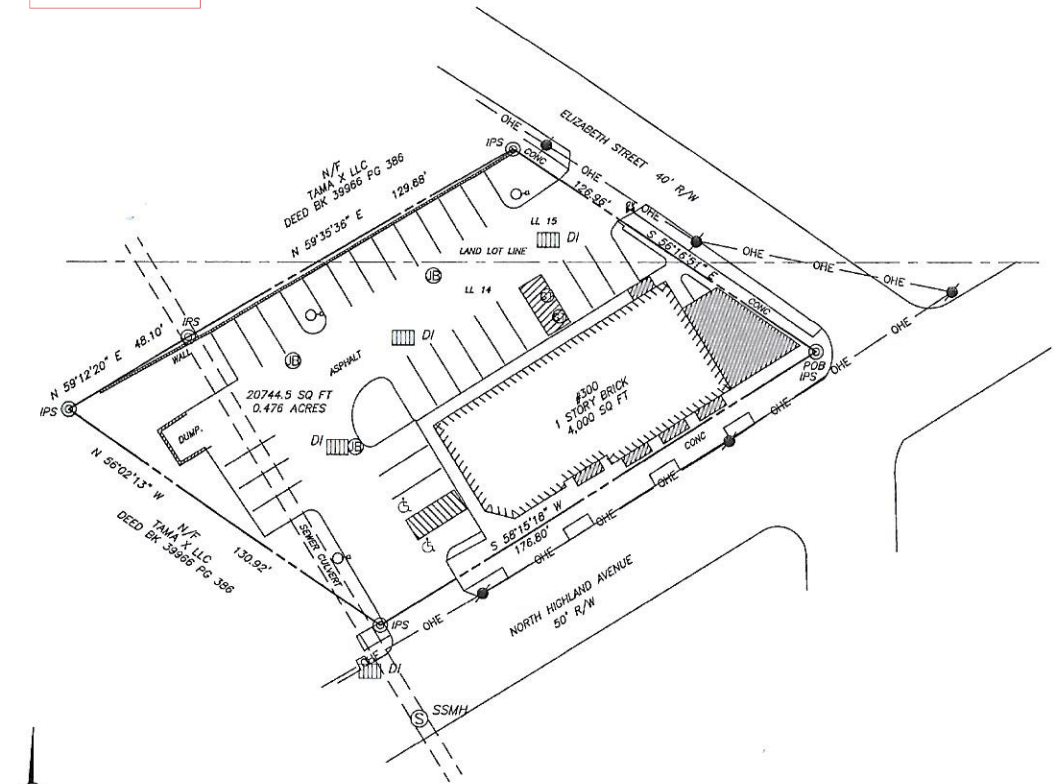
**SURVEY NOTES**

1. THIS SURVEY IS BASED ON A TITLE REPORT PREPARED BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NO. 12-0149, DATED APRIL 15, 2012.
2. THIS PLAT WAS PREPARED FROM A FIELD SURVEY USING A THREE SECOND THEODOLITE AND ELECTRONIC DISTANCE METER.
3. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000 FEET + AND AN ANGULAR ERROR OF 3" PER ANGLE POINT. IT HAS BEEN ADJUSTED USING LEAST SQUARES.
4. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE WITHIN ONE FOOT IN 50,000+ FEET.
5. ALL IPP & IPS ARE 1/2" REBAR UNLESS NOTED OTHERWISE.
6. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAYS, PUBLIC OR PRIVATE.
7. NO PORTION OF THIS PROPERTY APPEARS TO LIE WITHIN THE 100 YEAR FLOOD PLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 13121C0285 F, EFFECTIVE DATE OF MAY 7, 2001.
8. INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION IS BASED ON THE LOCATION OF VISIBLE APPURTENANCES. LANDPRO SURVEYING AND MAPPING, INC. MAKES NO CERTIFICATION AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION SHOWN HEREON.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELD WORK WAS COMPLETED ON 05/25/2012. DATE OF PLAT 05/30/2012.



JAMES H. RADER GEORGIA RLS# 3033



**LEGEND**

	PROPERTY OWNER		POLYETHYLENE CHLORIDE PIPE
	PROPERTY LINE		FIRE HYDRANT
	1/2" REBAR		WATER VALVE
	1/2" REBAR FOUND		MANHOLE
	CURVED TOP PIPE		TELEPHONE PEDESTAL
	CONDUIT		UNDERGROUND TELEPHONE CABLE
	CONDUIT MONUMENT FOUND		CABLE TELEVISION
	POWER POLE		STORM SEWER MANHOLE
	POWER POLE		SEWER MANHOLE
	COLOR-CODED MANHOLE		CAST IRON PIPE
	OVERHEAD POWER		STEEL REINFORCED CONCRETE PIPE
	GAS METER		CORRUGATED PLASTIC PIPE
	SANITARY SEWER MANHOLE		NON-FERROUS WELL
	GAS/SEPTIC SEWER LINE		FIRE HYDRANT
	DOUBLE IRON PIPE		FIRE HYDRANT
			LAND LOT LINE
			GRAND WALL



MAGNETIC

**ALTA/ACSM SURVEY FOR:**

**LANDPRO**  
 SURVEYING AND MAPPING  
 303 CREEKSTONE RIDGE  
 WOODSTOCK, GA 30188  
 TELE 404-386-2170  
 FAX 678-213-1519  
 WWW.LANDPROSURVEYING.COM  
 COPYRIGHT 2012

THOMAS N. WINELAND  
 NELLIE M. WINELAND  
 CHEROKEE BANK  
 STEWART TITLE  
 GUARANTY COMPANY

LAND LOT 14 & 15 CITY OF ATLANTA  
 DISTRICT 14 FULTON COUNTY, GA

SCALE	DATE	PROJECT NO.	SHEET
1" = 20'	05/30/12	20120330	1 OF 1



# TKO INSTALLATIONS, INC. CHASE BANK

OLD FOURTH WARD ATM  
300 NORTH HIGHLAND AVE. NORTHEAST  
ATLANTA, GA 30307

BHDP ARCHITECTURE  
302 W. 3rd STREET, SUITE 500, CINCINNATI, OHIO 45202  
PHONE: 513.271.1634 FAX:513.271.7017



## SITE PLAN

## BUILDING CODE

PROJECT DESCRIPTION: NEW WALK-UP A.T.M.

ADDRESS: 300 NORTH HIGHLAND AVE. NORTHEAST  
ATLANTA, GA 30307

APPLICABLE CODES: 2018 INTERNATIONAL BUILDING CODE WITH 2020 GEORGIA AMENDMENTS  
2018 INTERNATIONAL FIRE CODE  
2018 INTERNATIONAL PLUMBING CODE WITH 2020 GEORGIA AMENDMENTS  
2018 INTERNATIONAL MECHANICAL CODE WITH 2020 GEORGIA AMENDMENTS  
2020 NATIONAL ELECTRIC CODE  
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2020 GEORGIA AMENDMENTS

OCCUPANCY GROUP: M-MERCANTILE

CONSTRUCTION TYPE: TYPE IIB

OCCUPANCY/EGRESS: N/A (NO INTERIOR BUILDING AREA)

PARKING LOADS: EXISTING PROVIDED SPACES  
30 TOTAL INCLUDES 2 HC  
REVISED PROVIDED SPACES  
29 TOTAL INCLUDES 2 HC

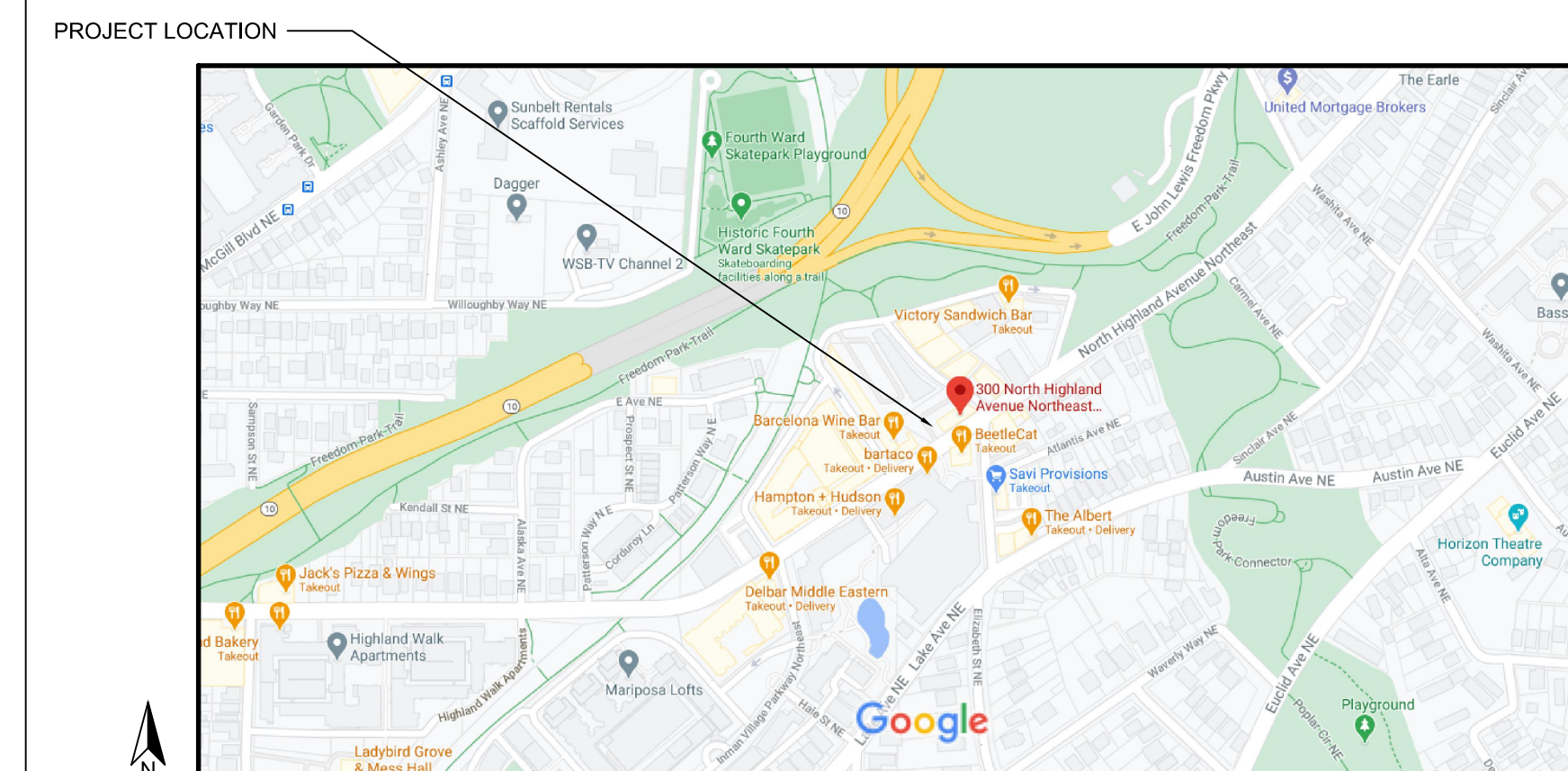
## SCOPE OF WORK

NEW WALK-UP ATM LOCATION WITH RAISED CONCRETE PAD, SIGNATURE ATM KIOSK, BOLLARDS, AND METER PEDESTAL. LANE STRIPING AND PAVEMENT MARKINGS TO BE PAINTED.

## PROJECT LOCATION



## VICINITY MAP



## DRAWING INDEX

0	ISSUED FOR PERMIT		
0	OWNER ISSUE 02/01/21		
<b>ARCHITECTURAL</b>			
G001	COVER PAGE & GENERAL NOTES	X	X
A101	EXISTING CONDITIONS & SITE PLAN	X	X
A102	ELEVATIONS & DETAILS	X	X
A103	ELECTRICAL SECTIONS & DETAILS	X	X
1 OF 25	ENGINEERING DRAWINGS	X	X
2 OF 25	ENGINEERING DRAWINGS	X	X
3 OF 25	ENGINEERING DRAWINGS	X	X
4 OF 25	ENGINEERING DRAWINGS	X	X
5 OF 25	ENGINEERING DRAWINGS	X	X
6 OF 25	ENGINEERING DRAWINGS	X	X
7 OF 25	ENGINEERING DRAWINGS	X	X
8 OF 25	ENGINEERING DRAWINGS	X	X
9 OF 25	ENGINEERING DRAWINGS	X	X
10 OF 25	ENGINEERING DRAWINGS	X	X
11 OF 25	ENGINEERING DRAWINGS	X	X
12 OF 25	ENGINEERING DRAWINGS	X	X
13 OF 25	ENGINEERING DRAWINGS	X	X
14 OF 25	ENGINEERING DRAWINGS	X	X
15 OF 25	ENGINEERING DRAWINGS	X	X
16 OF 25	ENGINEERING DRAWINGS	X	X
17 OF 25	ENGINEERING DRAWINGS	X	X
18 OF 25	ENGINEERING DRAWINGS	X	X
19 OF 25	ENGINEERING DRAWINGS	X	X
20 OF 25	ENGINEERING DRAWINGS	X	X
21 OF 25	ENGINEERING DRAWINGS	X	X
22 OF 25	ENGINEERING DRAWINGS	X	X
23 OF 25	ENGINEERING DRAWINGS	X	X
24 OF 25	ENGINEERING DRAWINGS	X	X
25 OF 25	ENGINEERING DRAWINGS	X	X

## GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES, AND STANDARDS.
- GENERAL CONTRACTOR SHALL SCHEDULE AND ARRANGE FOR ALL REQUIRED LEGAL INSPECTIONS.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULE AND SEQUENCING OF THE WORK.
- THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN INTENT AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
- THE DRAWINGS ARE NOT TO BE SCALED.
- FOR INFORMATION CONCERNING EXISTING CONDITIONS VERIFICATION MUST BE DONE IN THE FIELD. CONTRACTOR TO ENSURE EXISTING SITE LIGHTING IS NOT DISTURBED.
- LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS WITHIN THE AREA OF WORK PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.
- EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, DEMOLISHED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE IMMEDIATELY REMOVED FROM THE PROJECT SITE AND PROPERLY DISPOSED OF.
- ALL MATERIALS, FIXTURES, AND EQUIPMENT INDICATED IN THE CONSTRUCTION DOCUMENTS SHALL BE NEW AND AS SPECIFIED, UNLESS OTHERWISE INDICATED. FIELD WELDING SHALL ONLY BE DONE BY QUALIFIED WELDERS WHO HAVE BEEN OWNER CERTIFIED.
- DIMENSIONS INDICATED ON PLANS ARE TO THE FACE OR TO THE CENTERLINE OF OBJECTS UNLESS OTHERWISE INDICATED.
- ALL NEW AND EXISTING FINISHES AND PATCHED SURFACES SHALL BE SMOOTH, CONTINUOUSLY FREE OF IMPERFECTIONS, AND IN PROPER CONDITION TO RECEIVE THE SPECIFIED FINISH. PATCHED AREAS SHALL MATCH THE ADJACENT MATERIALS CONSTRUCTION AND FINISH.
- NEW CONSTRUCTION ADJUTING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH UNLESS OTHERWISE INDICATED.
- PATCH AND REPAIR AREAS WITHIN THE SCOPE OF THE PROJECT AND ADJACENT TO THE PROJECT LIMITS WHICH HAVE BEEN AFFECTED BY THE WORK. CONTRACTOR TO ENSURE SUBBASE MATERIAL IS COMPACTED PROPERLY AT ALL PAVEMENT PATCH AREAS.
- PROVIDE BACKER ROD AND SEALANT JOINT AT ALL DISSIMILAR MATERIALS.
- ALL WOOD BLOCKING, NAILED, GROUNDS, PLYWOOD, OR ANY OTHER WOOD TO BE NON-COMBUSTIBLE.
- TENANT TO VERIFY ELECTRIC SOURCE WITH UTILITY PROVIDER.
- TENANT TO ENSURE STORM SURFACE DRAINAGE FUNCTIONS PROPERLY.
- ALL WORK INCLUDING BUILDING PERMIT, CONSTRUCTION, TESTING, ETC. BY TENANT.
- ALL WORK TO BE COMPLETED BY TENANT.

## SYMBOLS

- ELEVATION REFERENCE
  - Elevation number
  - Indicates drawing sheet on which Elevation is shown
- Indicates drawing sheet on which Elevation is shown
- Elevation number
- SECTION OR DETAIL REFERENCE
  - Section letter or detail number
  - Indicates drawing sheet on which Section or Detail is shown
- DRAWING NOTE
- REVISION AND NUMBER
- CONTROL JOINT
- EXPANSION JOINT
- BACKER ROD AND SEALANT, TYPICAL
- NEW SPOT ELEVATION
- REFERENCE ELEVATION
- ELEVATION DESIGNATION
- NEW CONSTRUCTION
- PROPERTY LINE
- CENTER LINE, ELEVATION LINE

## MATERIAL SYMBOLS

- EARTH
- GRANULAR FILL
- CAST-IN-PLACE CONCRETE
- ASPHALT PAVEMENT
- LANDSCAPE/GRASS

## ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	MIN.	MINIMUM
A.H.J.	AUTHORITIES HAVING JURISDICTION	MISC.	MISCELLANEOUS
A.T.M.	AUTOMATED TELLER MACHINE	M.P.O.E.	MAIN POINT OF ENTRY
BRG.	BEARING	MTL	METAL
BLDG.	BUILDING	N/A, N.A.	NOT APPLICABLE
B.M.	BENJAMIN MOORE	N.I.C.	NOT IN CONTRACT
B.O.	BOTTOM OF	N.T.S.	NOT TO SCALE
CLS.	CEILING	O.C.	ON CENTER
¢, C.L.	CENTER LINE	OPP.	OPPOSITE
CONST.	CONSTRUCTION	PM, P.M.	PROJECT MANAGER
DIA.	DIAMETER	PTD.	PAINTED
DIM.	DIMENSION	R, RAD.	RADIUS
DWG.	DRAWING	RCP, R.C.P.	REFLECTED CEILING PLAN
ETR, E.T.R.	EXISTING TO REMAIN	REF. RE	REFERENCE
EX., EXIST.	EXISTING	REQ., REQ'D.	REQUIRED
EQ.	EQUAL	REV.	REVISION
FT.	FEET / FOOT	RM.	ROOM
FLUOR.	FLUORESCENT	RO, R.O.	ROUGH OPENING
FRP, F.R.P.	FIBER REINFORCED PLASTIC	S.F., SF.	SQUARE FOOT
FRF, F.R.F.	FIRE RETARDANT TREATED	SIM.	SIMILAR
GA.	GAUGE	SPEC.	SPECIFICATIONS
G.C.	GENERAL CONTRACTOR	SQ.	SQUARE
G.W.B	GYPSON WALL BOARD	STD.	STANDARD
GYP. BD.	GYPSON BOARD	T.A.	TOP OF
H, HT.	HEIGHT	TYP.	TYPICAL
HÖRZ.	HORIZONTAL	U.N.O., U.O.N.	UNLESS OTHERWISE INDICATED
LAV.	LAVATORY	US	UNDERSIDE
LGFMF	LIGHT GAUGE METAL FRAMING	VERT.	VERTICAL
LL	LANDLORD	VIF, V.I.F.	VERIFY IN FIELD
MFR, MFRG	MANUFACTURER	WO	WITHOUT
MAX.	MAXIMUM	WD.	WOOD

09/31/21  
02/01/21

ISSUED FOR PERMIT  
ISSUE TO OWNER

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COVER PAGE AND GENERAL NOTES

STATE OF GEORGIA  
PAUL D. ORBAN  
REGISTRATION NO. 10000  
04/09/2021

Project Manager  
**A. PONTING**

Drawn  
**AJP**

Checked  
**MJP**

Contract Drawing Date  
02/01/21

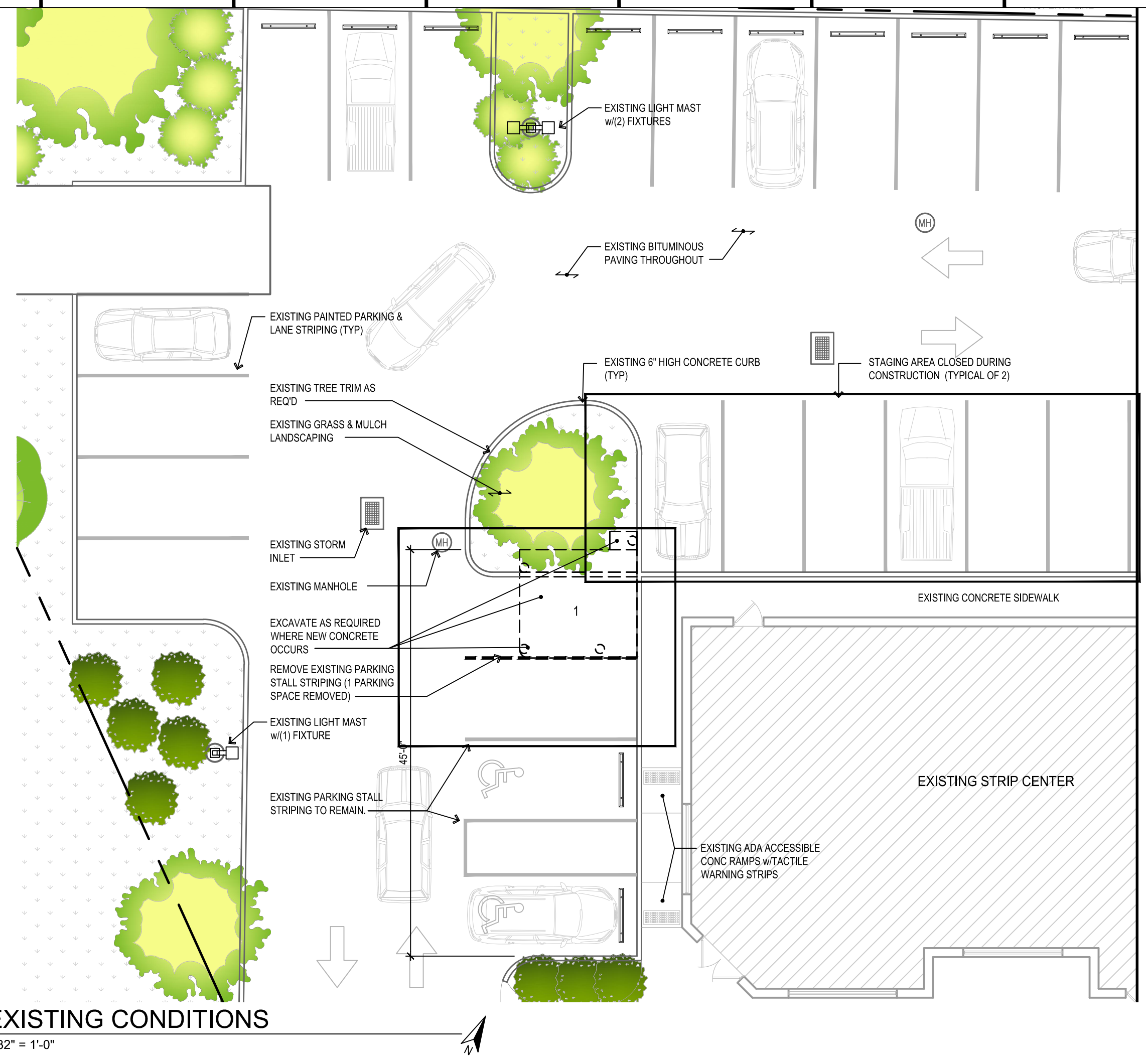
Proj. No.  
TK004.15

**G001**

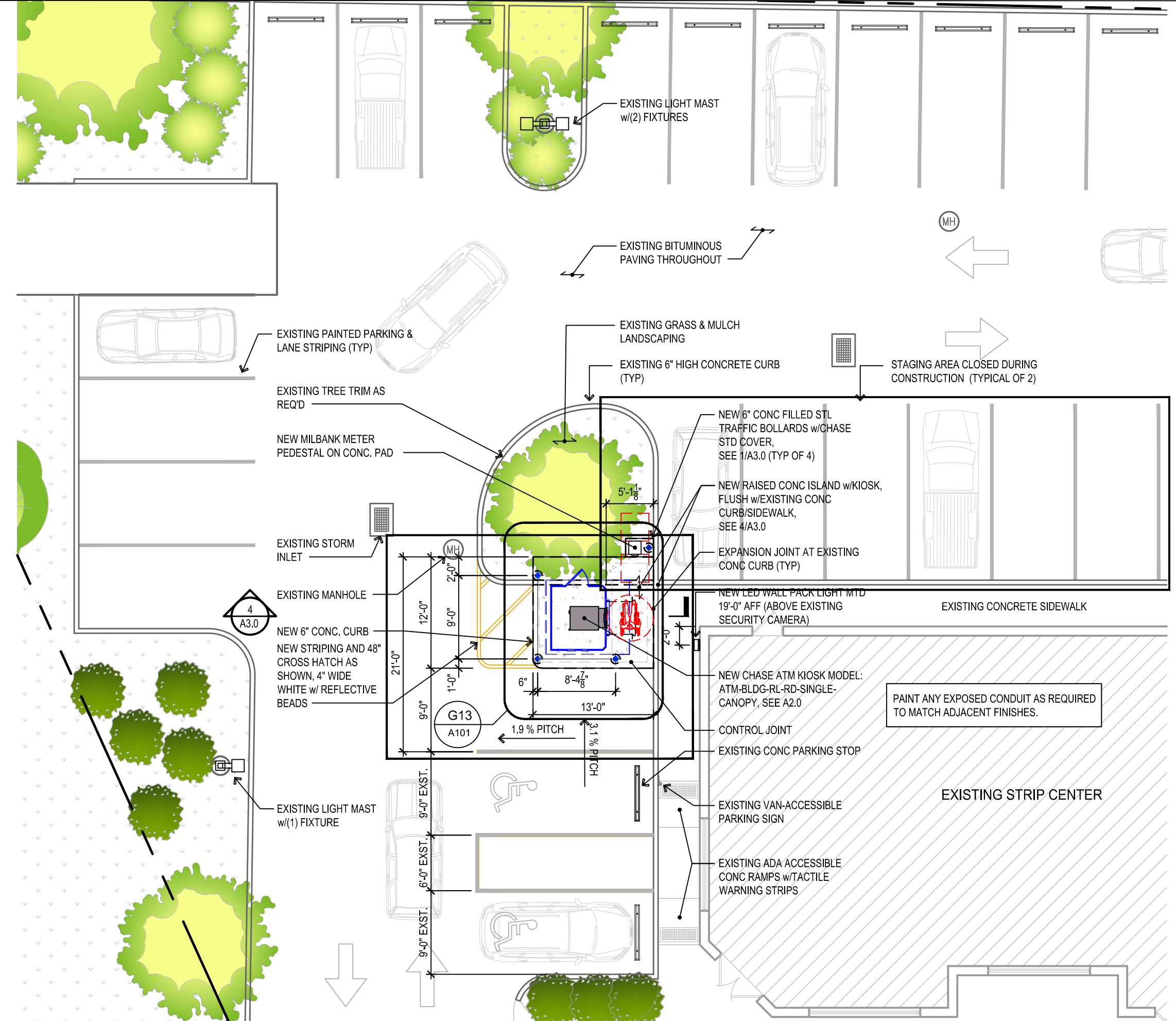
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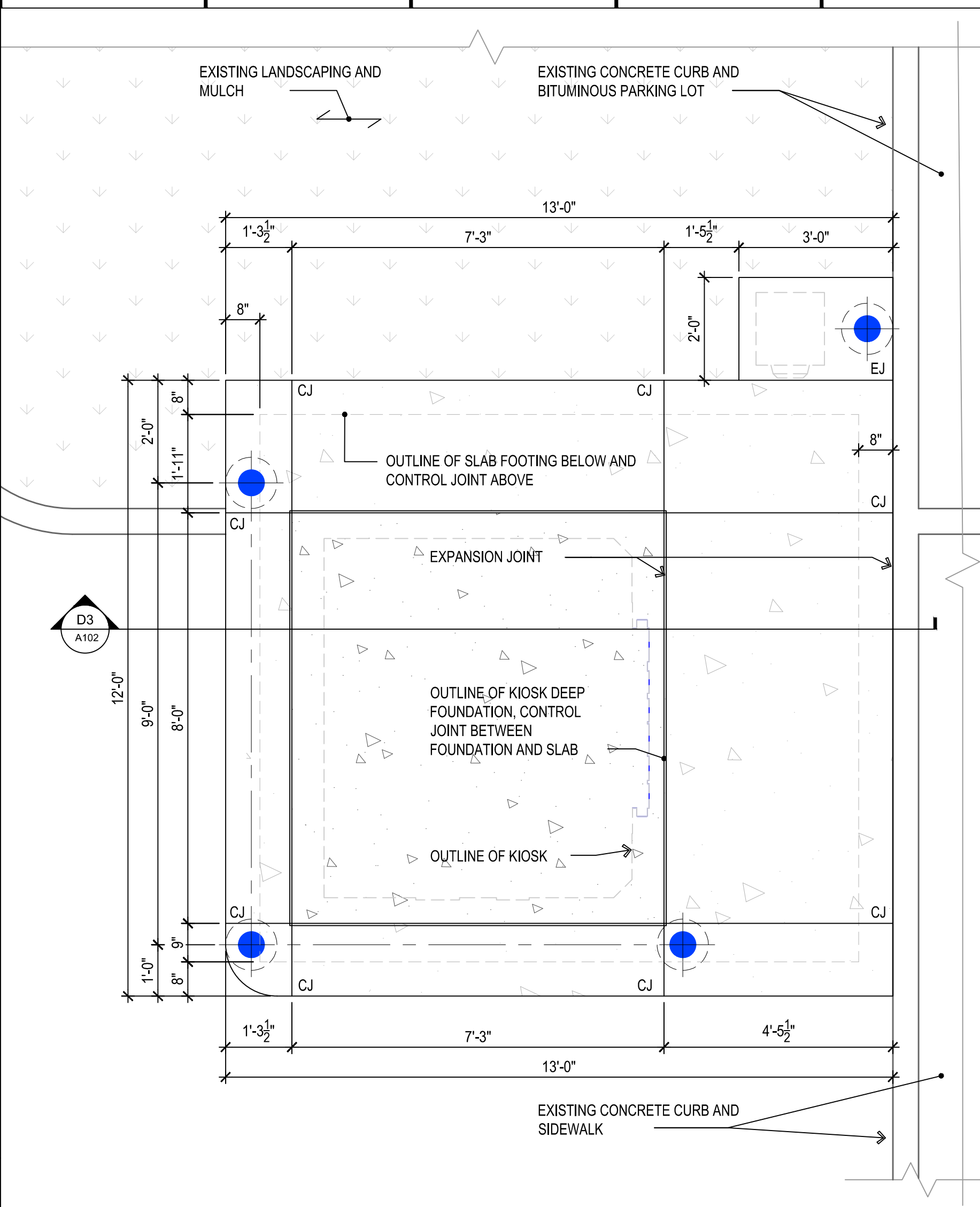
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OFFICE OF ZONING & DEVELOPMENT  
**RECEIVED**  
DATE: July 27, 2021



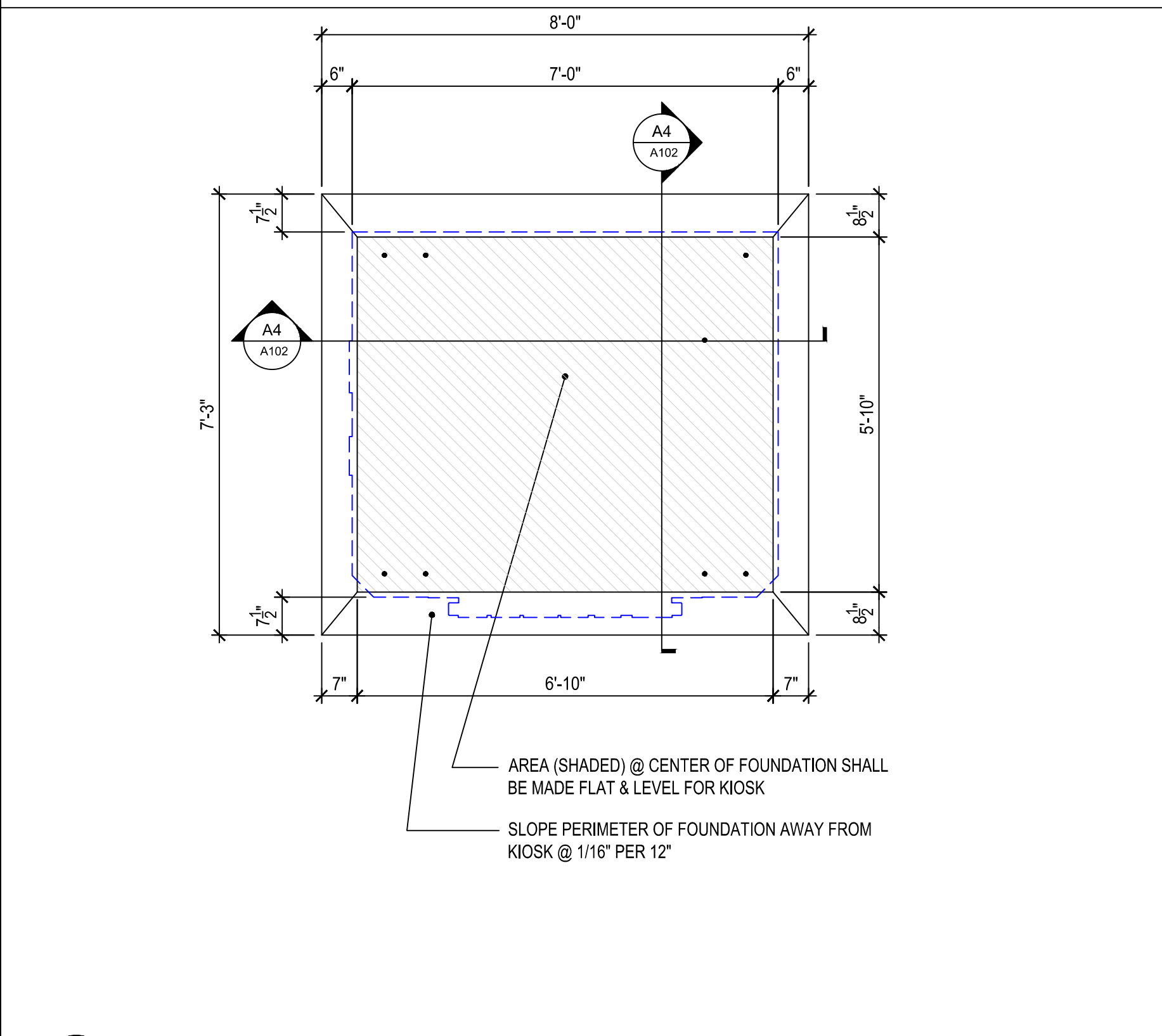
G1 EXISTING CONDITIONS  
A101 3/32" = 1'-0"



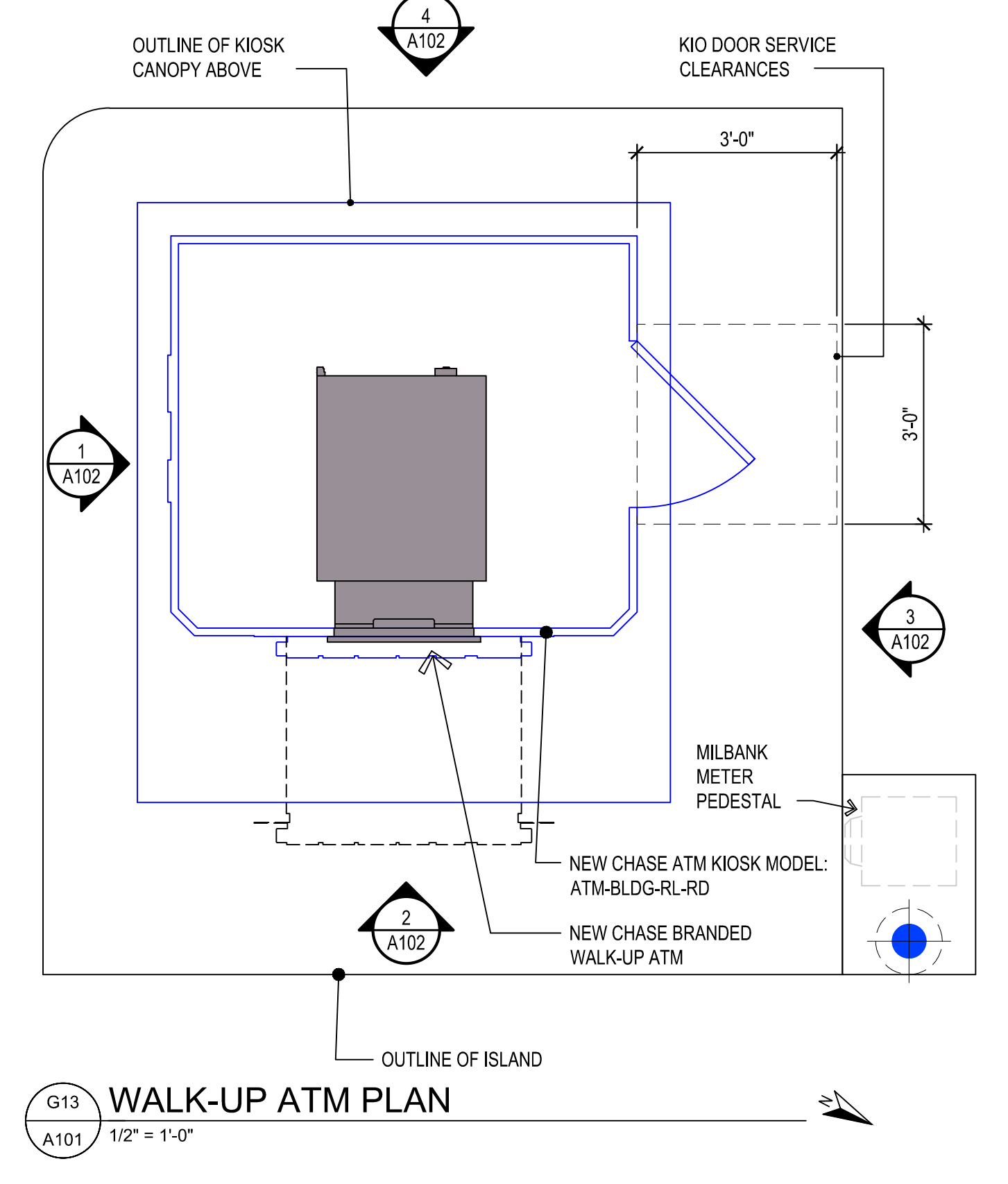
A1 SITE PLAN  
A101 3/32" = 1'-0"



F8 ATM FOUNDATION PLAN  
A101 1/2" = 1'-0"



A8 FOUNDATION DETAIL AT ATM PAD  
A101 1/2" = 1'-0"



G13 WALK-UP ATM PLAN  
A101 1/2" = 1'-0"

**GENERAL NOTES**

- A. REFER SHEET 0001 FOR GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS.
- B. DIMENSIONS GIVEN ARE TO THE FACE OF FINISHED MATERIAL UNLESS OTHERWISE INDICATED.
- C. PROVIDE EROSION AND SEDIMENT CONTROL PRACTICES IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES, AND STANDARDS.
- D. GO TO PATCH AND REPAIR ANY FINISHED MATERIAL DISTURBED DURING CONSTRUCTION TO LIKE NEW CONDITION, INCLUDING BUT NOT LIMITED TO PAVEMENT, CONCRETE, AND LANDSCAPING.
- E. GO TO FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE PROJECT AREA PRIOR TO WORK.
- F. CAST-IN-PLACE CONCRETE SPECIFICATION
  1. SUMMARY
    - 1.1. CAST-IN-PLACE CONCRETE, INCLUDING FORMWORK, REINFORCEMENT, CONCRETE MATERIALS, MIXTURE DESIGN, PLACEMENT PROCEDURES AND FINISHES FOR THE FOLLOWING:
      - 1.1.1. FOOTINGS
      - 1.1.2. SLABS ON GRADE
      - 1.1.3. SIDEWALKS AND CURBS
    2. PRODUCTS
      - 2.1. CONCRETE GENERAL: ACI 301 AND ACI 117.
      - 2.2. FORM FACING MATERIALS
      - 2.3. STEEL REINFORCEMENT
        - 2.3.1. REINFORCING BARS, DEFORMED
        - 2.3.2. WELDED-WIRE REINFORCEMENT, PLAN
      - 2.4. CONCRETE MATERIALS
        - 2.4.1. PORTLAND CEMENT: ASTM C 150, TYPE III, GRAY
        - 2.4.2. AGGREGATE: NORMAL WEIGHT
        - 2.4.3. WATER
        - 2.5. MIXING: READY MIXED
      3. CONCRETE MIXTURES
        - 3.1. COMPRESSIVE STRENGTH (28 DAYS):
          - 3.1.1. FOOTINGS: 3500 PSI
          - 3.1.2. SLABS-ON-GRADE: 3500 PSI
          - 3.1.3. SIDEWALKS: AIR-ENTRAINED CONCRETE: 3500 PSI
      4. INSTALLATION
        - 4.1. FORMED FINISHES: SMOOTH
        - 4.2. FLOOR AND SLAB FINISHES: BROOM- EXTERIOR CONCRETE
      5. FIELD QUALITY CONTROL
        - 5.1. TESTING AND SPECIAL INSPECTIONS: BY OWNER-ENGAGED SPECIAL INSPECTOR AS REQUIRED BY LOCAL JURISDICTION.

**ELECTRICAL NOTES**

- A. CONTRACTOR SHALL REFER TO BUILDING/KIOSK SHOP DRAWINGS FOR FULL SCOPE OF ELECTRICAL REQUIREMENTS.
- B. CONTRACTOR SHALL REFER TO A.T.M. MANUFACTURER SHOP DRAWINGS FOR FULL SCOPE OF ELECTRICAL REQUIREMENTS.

03/31/21  
02/01/21

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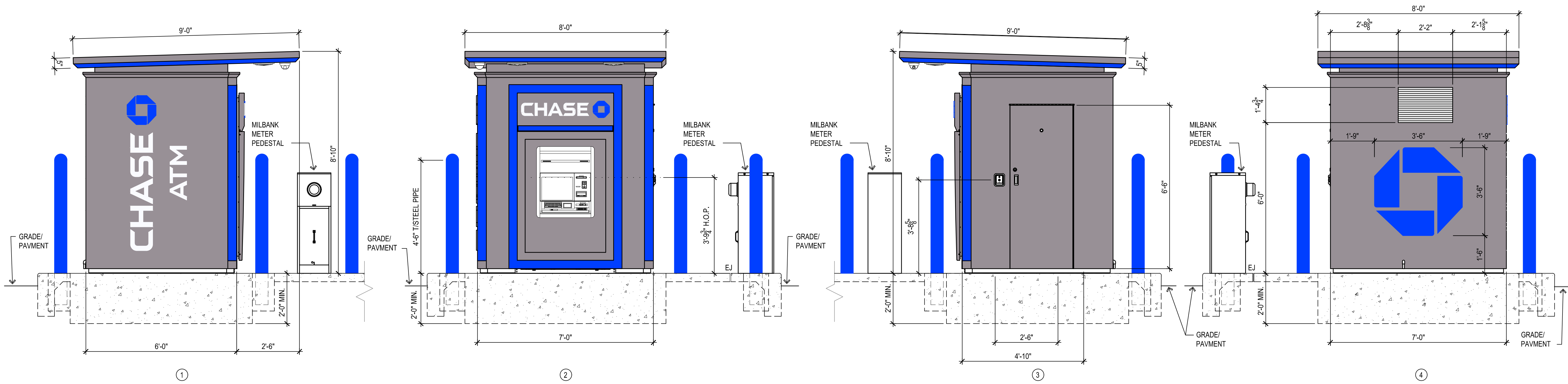
EXISTING CONDITIONS & SITE PLAN

STATE OF GEORGIA  
PAUL D. ORBAN  
REG. PROFESSIONAL ENGINEER  
NO. 10000  
04/09/2021

Project Manager  
A. PONTING  
Drawn  
AJP  
Checked  
MJP  
Contract Drawing Date  
02/01/21  
Proj. No.  
TKO04.15

A101

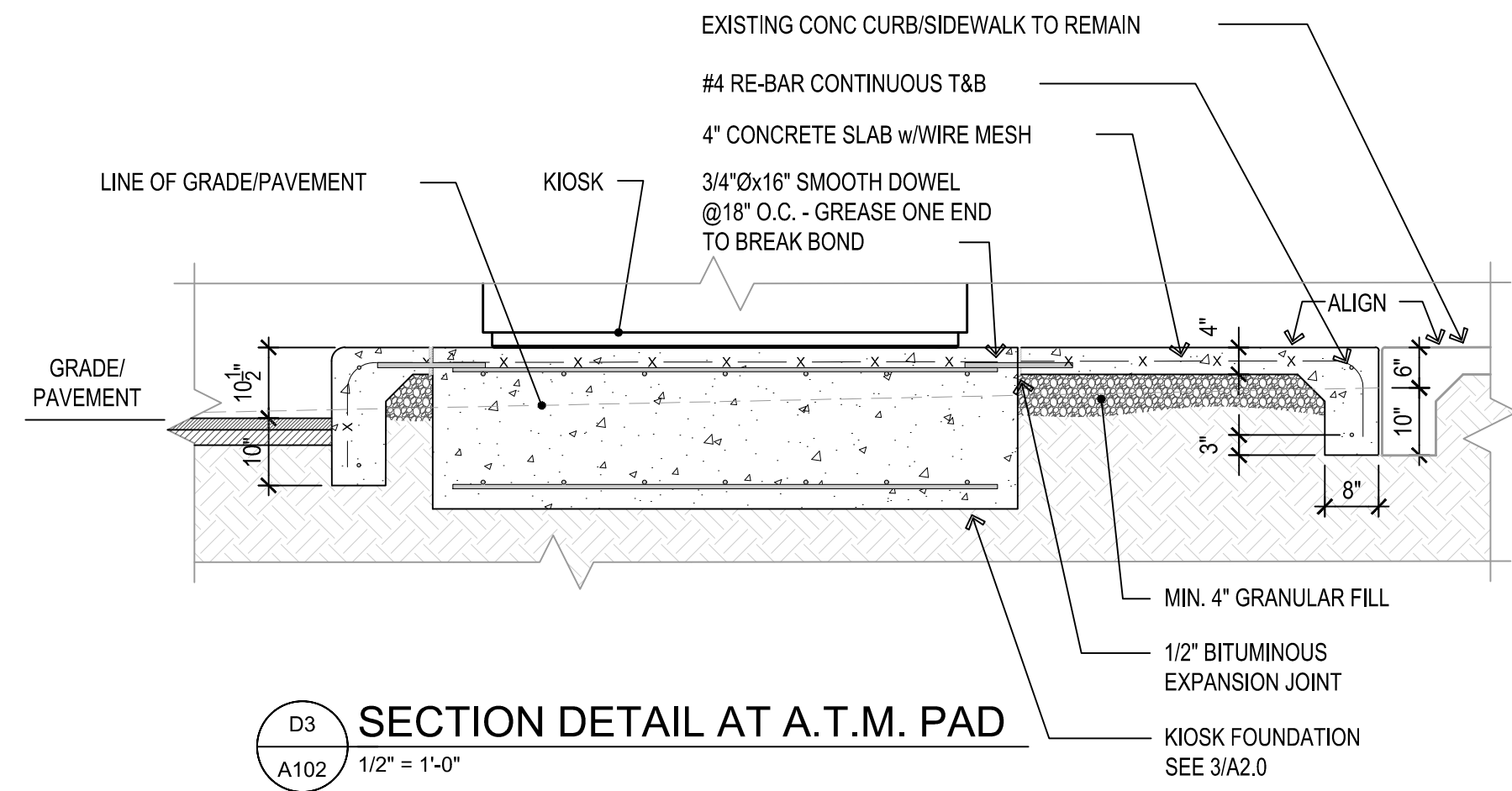




**WALK-ATM (ATM-BLDG-RL-RD-SINGLE-CANOPY) ELEVATIONS**

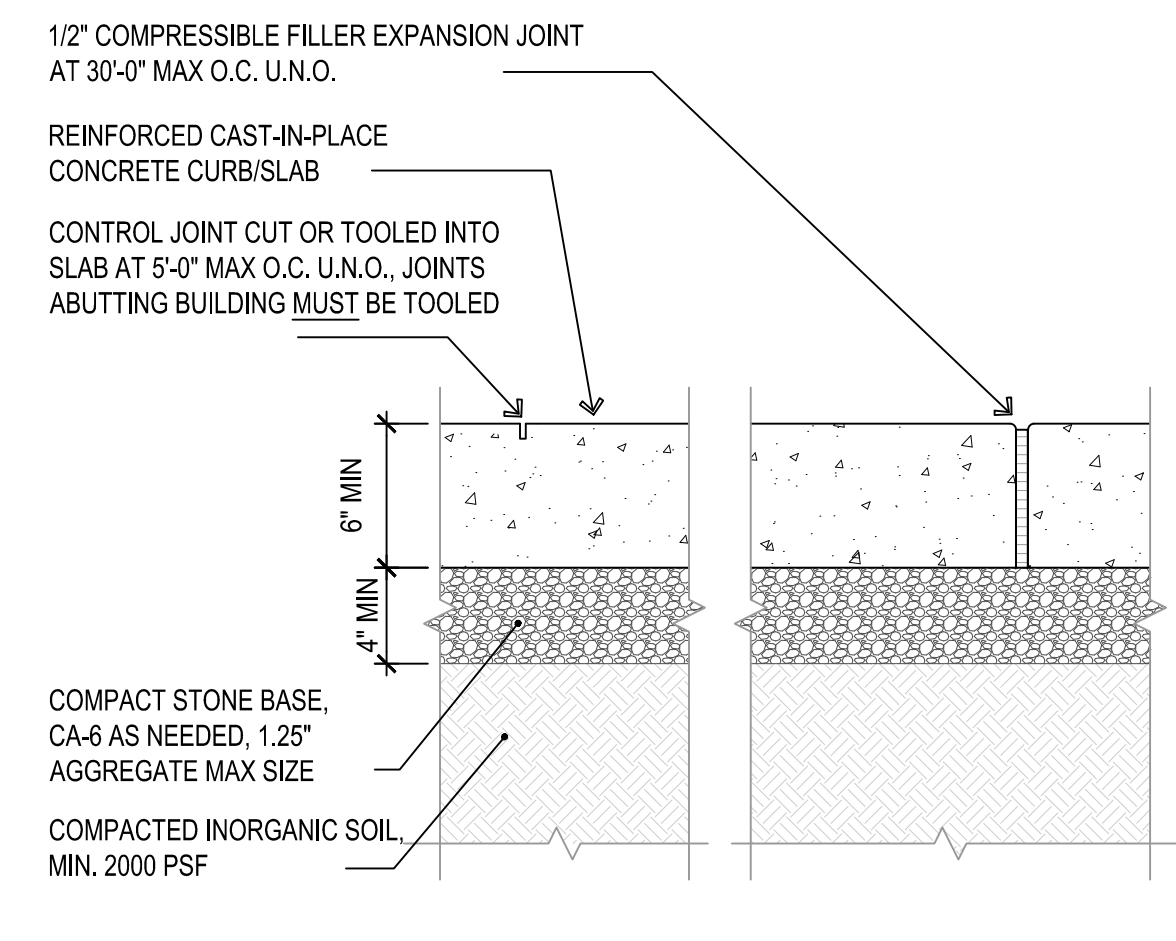
G1  
 A102 1/2" = 1'-0"

NOTE: SIGNAGE TO BE PERMITTED SEPARATELY AND NOT INCLUDED IN THIS PERMIT PACKAGE.

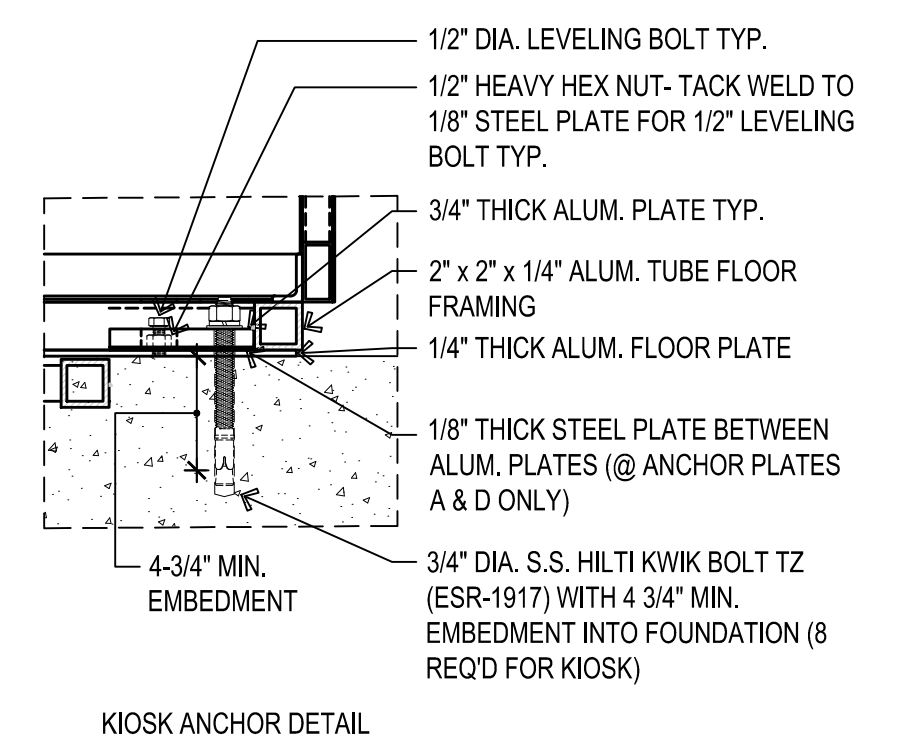


**SECTION DETAIL AT A.T.M. PAD**

D3  
 A102 1/2" = 1'-0"



**KIOSK ANCHOR DETAIL**



**KIOSK ANCHOR DETAIL**

REBAR SCHEDULE  
 SPREAD FOUNDATION

PLACEMENT	SIZE	SPACING	QUANTITY
OVERTURN BOTTOM STEEL	#5	14"	7
OVERTURN TOP STEEL	#5	14"	7
BOTTOM CROSS STEEL	#5	15"	6
TOP CROSS STEEL	#5	15"	6

DO NOT WELD REBAR  
 3" MIN. CONC. COVER

NOTE:  
 REFER TO ENGINEERING DRAWINGS FOR EXACT SPECIFICATIONS, SIZE AND SPACING

**SECTION DETAILS AT A.T.M. PAD**

A8  
 A102 1 1/2" = 1'-0"

REFER ENGINEERING DRAWINGS FOR REINFORCING

**GENERAL NOTES**

- REFER SHEET 0001 FOR GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS.
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      - FOOTINGS
      - SLABS ON GRADE
      - SIDEWALKS AND CURBS
    - PRODUCTS
      - CONCRETE GENERAL: ACI 301 AND ACI 117.
      - FORM FACING MATERIALS
      - STEEL REINFORCEMENT
        - REINFORCING BARS, DEFORMED
        - WELDED-WIRE REINFORCEMENT, PLAIN
      - CONCRETE MATERIALS
        - PORTLAND CEMENT: ASTM C 150, TYPE III, GRAY
        - AGGREGATE: NORMAL WEIGHT
        - WATER
        - MIXING: READY MIXED
      - CONCRETE MIXTURES
        - COMPRESSIVE STRENGTH (28 DAYS):
          - FOOTINGS: 3500 PSI
          - SLABS-ON-GRADE: 3500 PSI
          - SIDEWALKS: AIR-ENTRAINED CONCRETE: 3500 PSI
      - INSTALLATION
        - FORMED FINISHES: SMOOTH
        - FLOOR AND SLAB FINISHES: BROOM- EXTERIOR CONCRETE
      - FIELD QUALITY CONTROL
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- CONTRACTOR SHALL REFER TO A.T.M. MANUFACTURER SHOP DRAWINGS FOR FULL SCOPE OF ELECTRICAL REQUIREMENTS.

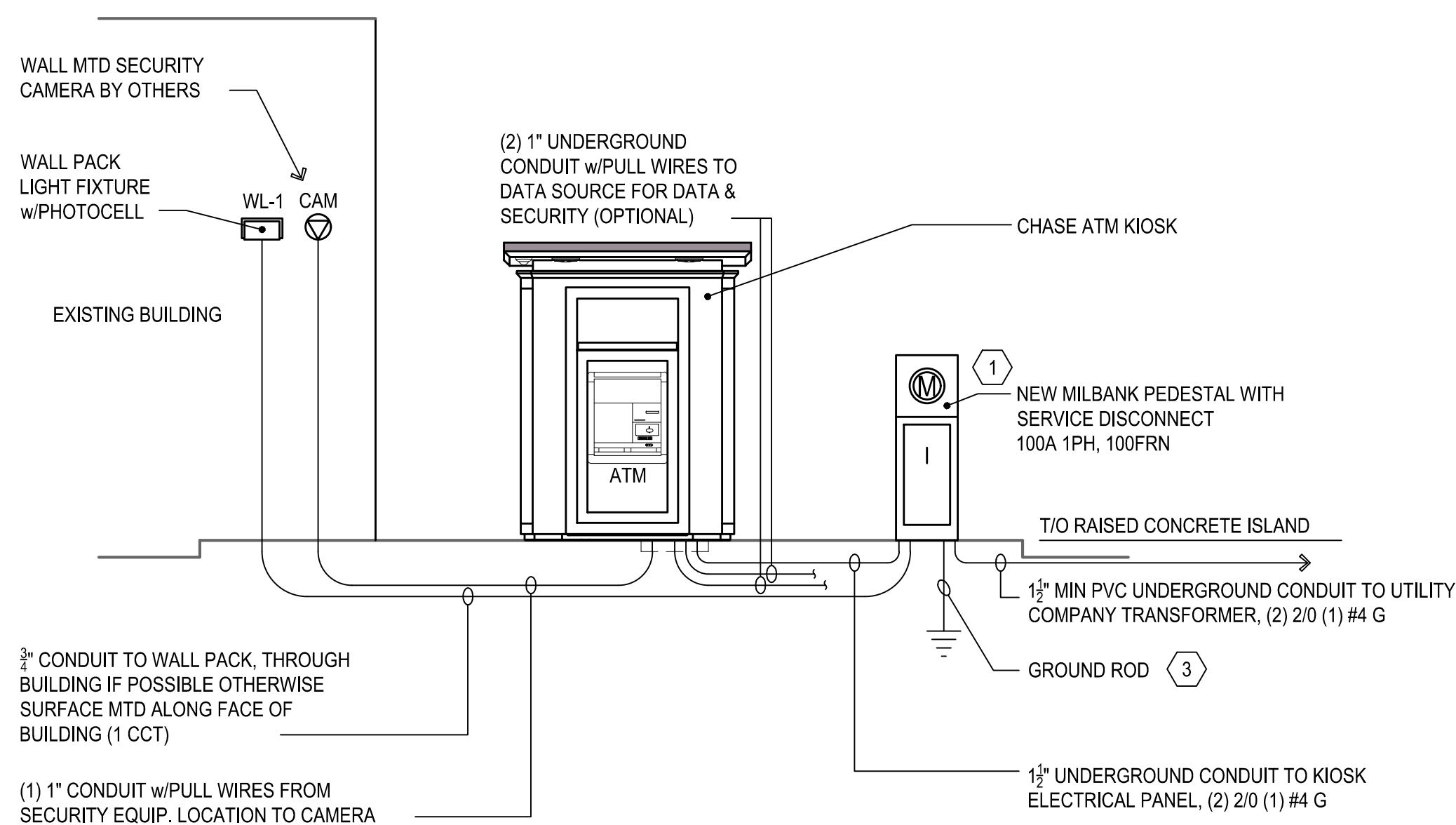
**BHDP**  
 CHASE BANK  
 300 HIGHLAND AVE. NORTHEAST  
 ATLANTA, GA 30307  
 ELEVATIONS & DETAILS



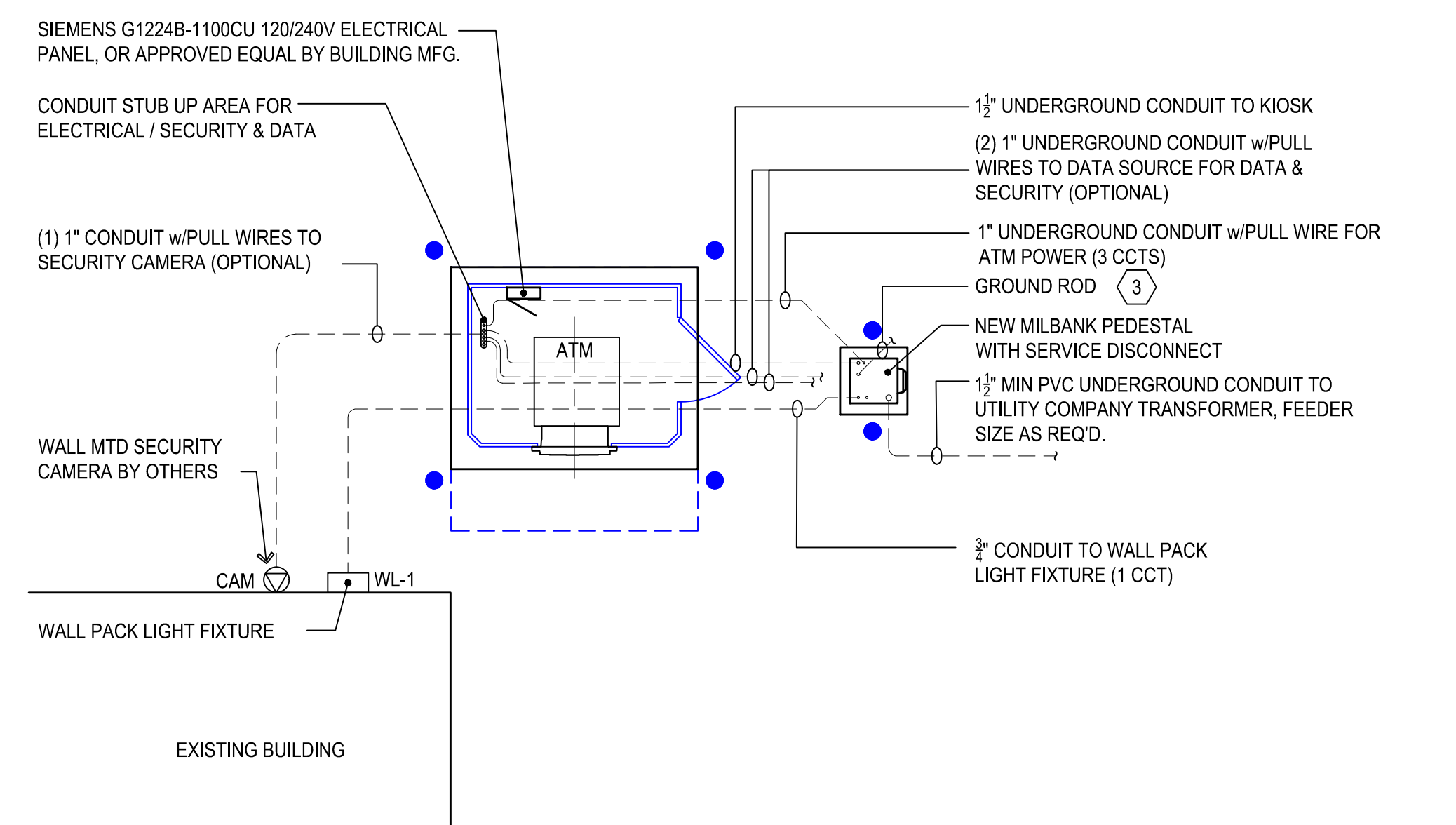
Project Manager  
 A. PONTING  
 Drawn  
 AJJP  
 Checked  
 MJJP  
 Contract Drawing Date  
 02/01/21  
 Proj. No.  
 TKO04.15

**A102**





**J1 RISER DIAGRAM**  
A103 NTS



**E1 ELECTRICAL PLAN**  
A103 NTS

CONDUIT & WIRE SCHEDULE-20A LIGHTING CIRCUITS PER NEC TABLE 310.15(B)(3)(a) ADJUSTMENT FACTORS		
NO. OF CONDUCTORS (INCLUDING NEUTRALS)	MINIMUM WIRE SIZE	CONDUIT SIZE
2 THRU 6 (80%)	#12	3/4"
7 THRU 9 (70%)	#12	3/4"
10 THRU 14 (50%)	#10	1"
15 THRU 20 (50%)	#10	1-1/4"

NOTES:  
A. WIRE AND CONDUIT SIZING ARE BASED UPON 90°C TYPE THHN/THWN WIRE AT 40% FILL OF CONDUIT.  
B. ALL CONDUITS SHALL INCLUDE ONE GROUND WIRE EQUAL TO SIZE OF LARGEST PHASE CONDUCTOR

CONDUIT & WIRE SCHEDULE-20A MULTI OUTLET RECEPTACLE CIRCUITS PER NEC TABLE 310.15(B)(3)(a) ADJUSTMENT FACTORS		
NO. OF CONDUCTORS (INCLUDING NEUTRALS)	MINIMUM WIRE SIZE	CONDUIT SIZE
2 THRU 6 (80%)	#12	3/4"
7 THRU 9 (70%)	#10	3/4"
10 THRU 15 (50%)	#8	1-1/4"
16 THRU 20 (50%)	#8	1-1/2"

NOTES:  
A. WIRE AND CONDUIT SIZING ARE BASED UPON 90°C TYPE THHN/THWN WIRE AT 40% FILL OF CONDUIT.  
B. ALL CONDUITS SHALL INCLUDE ONE GROUND WIRE EQUAL TO SIZE OF LARGEST PHASE CONDUCTOR

**ELECTRICAL NOTES**

- ALL DEVICE LOCATIONS SHOWN ARE APPROXIMATE UNLESS OTHERWISE DIMENSIONED OR NOTED.
- ALL JUNCTION AND PULL BOXES SHALL BE SIZED PER NEC ARTICLE 314.16 AND 314.28.
- ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION AND ALL APPLICABLE LOCAL CODES.
- ALL NEW WIRING TO BE RUN IN CONDUIT. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS NOTED OTHERWISE. ALL WIRE SHALL BE MINIMUM NO. 12 AWG UNLESS NOTED OTHERWISE.
- ALL LINE- AND LOW-VOLTAGE WIRING SHALL BE INSTALLED IN CONDUIT SYSTEMS. ARMORED AND METAL-SHEATHED CABLES (GENERICALLY "BX"), TYPES AC AND MC, AND NON-METALLIC SHEATHED CABLES (GENERICALLY "ROMEX"), TYPES NM, NMC, AND NMS, ARE NOT PERMITTED.
- ALL ENDS OF CONDUIT SYSTEM SHALL HAVE A BUSHING OR A COUPLING INSTALLED FOR THE PURPOSE OF PROVIDING PROTECTION OF CONDUCTORS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WIRING INCLUDING LOW-VOLTAGE TO OWNER-PROVIDED SIGNAGE. ALL JUNCTION BOXES FOR SIGNAGE SHALL BE PLACED AS REQUIRED TO INSTALL THE SIGNAGE AS INDICATED IN THE ARCHITECTURAL ELEVATIONS. COORDINATE WITH OWNER'S SIGNAGE VENDOR AND REFER TO MANUFACTURERS WIRING DIAGRAMS.
- ALL BRANCH CIRCUIT CONDUCTORS SHALL BE CONNECTED BY MEANS OF A SCREW TERMINAL.
- THE CONTINUITY OF ANY BRANCH CIRCUIT CONDUCTOR INCLUDING ANY IDENTIFIED GROUNDING CONDUCTOR SHALL NOT DEPEND UPON DEVICE CONNECTIONS, SUCH AS LAMP HOLDERS, RECEPTACLES, ETC., WHERE THE REMOVAL OF SUCH DEVICES WOULD INTERRUPT THE CONTINUITY.
- DE-RATING OF NEUTRALS IS PROHIBITED.
- THE USE OF AUXILIARY GUTTERS, WIREWAYS, RACEWAYS AS ENCLOSURES FOR SERVICE ENTRANCE OR TAPPING OF SERVICE ENTRANCE CONDUCTORS IS STRICTLY PROHIBITED.
- METAL IDENTIFICATION TAGS SHALL BE INSTALLED WHERE THE GROUNDING CONDUCTOR IS CONNECTED TO THE GROUNDING ELECTRODE.
- ALL EXTERIOR LIGHTING AND SIGNAGE SHALL BE CONTROLLED BY PHOTOCELLS.
- A MAXIMUM OF 3 HOMERUNS MAY BE GROUPED TOGETHER IN ONE CONDUIT AND SHARE A COMMON NEUTRAL PROVIDED THE HOMERUNS ARE DIFFERENT PHASES. IF BRANCH CIRCUITS ARE GROUPED THEY MUST ALL BE CONTROLLED BY THE SAME MULTI-POLE BREAKER PER NEC.210.4.
- PROVIDE (2) #10, (1) #10G, 3/4" FEEDERS FOR ALL AREA LIGHT CONDUIT RUNS.
- ISOLATED GROUND RECEPTACLES SHALL BE ORANGE.
- COMPLY WITH REQUIRED CLEARANCES FOR ALL ELECTRICAL PANELS PER THE NEC.
- ALL NEW POWER RACEWAYS TO INCLUDE 1 PULL WIRE, ALL NEW DATA RACEWAYS TO INCLUDE 3 PULL WIRES.

**NOTES THIS DRAWING:**

- PROVIDE 100A MILBANK PEDESTAL PANEL WITH SERVICE DISCONNECT. REFER TO PANEL SCHEDULE ON THIS SHEET FOR ADDITIONAL INFORMATION.
- ELECTRICAL CONTRACTOR SHALL PROVIDE SCHEDULE 40 PVC UNDERGROUND CONDUIT TO SERVICE ENTRANCE TRANSFORMER PROVIDED BY UTILITY COMPANY. SIZE CONDUCTOR AS REQUIRED FOR VOLTAGE DROP.
- GROUND ROD WITH GROUND CLAMP 3/4" x 120" PER NEC 250. COORDINATE FINAL REQUIREMENTS WITH LOCAL AUTHORITY HAVING JURISDICTION.

**ELECTRICAL LEGEND:**

- 120-VOLT, DOUBLE DUPLEX RECEPTACLE
- UNDERGROUND CONDUIT
- NOTE DESIGNATOR
- A.F.F. ABOVE FINISHED FLOOR
- EXISTING
- BOLLARD
- ELECTRICAL PANEL

**LIGHTING FIXTURE SCHEDULE**

TYPE	SYMBOL	MANUFACTURER	MODEL	LAMP		INPUT		REMARKS
				TYPE	VOLTS	WATTS		
WL-1		LIGHT POLES PLUS	NF-14-WPHC-120-50-MV-T4	5000K LED	120-277V	21/23		LED AREA LIGHT 120-277V

**NOTES:**  
NOTES 1-3 APPLY TO ALL APPLICABLE LIGHTING FIXTURES. THE REMARKS COLUMN SHALL NOTE ADDITIONAL REQUIREMENTS.

- LIGHTING FIXTURE SCHEDULE FOR REFERENCE ONLY. COORDINATE FINAL LIGHTING FIXTURE SCHEDULES FROM ARCHITECTS PLANS. IF DISCREPANCIES OCCUR BETWEEN SCHEDULES NOTIFY ARCHITECT AND ENGINEER PRIOR TO PRICING OR ORDERING.
- VERIFY EXACT MOUNTING CONDITIONS AND PROVIDE APPROPRIATE ACCESSORIES AND HARDWARE TO ACCOMMODATE REQUIREMENTS.
- FIXTURE TYPE INDICATED ONCE ON A CONTINUOUS ROW SHALL BE TYPICAL OF ALL FIXTURES IN THE ROW UNLESS NOTED OTHERWISE FIXTURES SHALL BE PROVIDED WITH ALL NECESSARY HARDWARE AND FILLERS PROVIDE THE EXACT LENGTHS AS INDICATED ON THE PLANS.
- MIN ILLUMINATION VALUES 36" ABOVE GRADE AT ATM: VERTICAL FACE-15fc, WITHIN 5'-10fc, GRADE & PARKING WITHIN 50'-2fc, PATH OF ACCESS-2fc \*ALL VALUES FROM FACE OF ATM

**PANEL: MILBANK PEDESTAL PANEL#: CP3B91C15P22PSP1**

NAME:	MILBANK PANEL #: CP3B91C15P22PSP1	MAIN:	100A MB	MOUNTING:	PEDESTAL	KAIC RATING:	22,000
VOLTAGE:	120/240 VAC	MAIN OPTIONS:	120	ENCLOSURE:	RAIN PROOF, 3R, STEEL (G90)	BUSSING:	COPPER
PHASE/WIRE:	1PH, 3W	BUS:	REFER TO ONE LINE	NEUTRAL BUS:	100%	INTEGRAL SPD:	NO
SVC ENTRANCE:	NO	GROUNDING:	YES				

CKT NO.	CIRCUIT DESCRIPTION	AMPS	POLES	DEVICE OPTIONS	VA/PHASE		VA/PHASE		DEVICE OPTIONS	POLES	AMPS	CIRCUIT DESCRIPTION	CKT NO.
					A	B	A	B					
1	MAIN	100	2		0.00		0.00				60	ATM BUILDING SUB-PANEL	2
3						0.00						SPARE	4
5	WALL PACK LIGHT	20	1		0.46		0.00				20	SPARE	6
7	SPACE					0.00						SPACE	8
9	SPACE					0.00						SPACE	10
11	SPACE					0.00		0.00				SPACE	12
13	SPACE					0.00		0.00				SPACE	14
15	SPACE					0.00		0.00				SPACE	16
SUB-TOTAL					0.46	0.00	0.00	1.90	SUB-TOTAL				
TOTAL A PHASE:					0.46 VA	TOTAL CONNECTED LOAD:		2.36 VA	TOTAL DEMAND LOAD:		2.54 KVA		
TOTAL B PHASE:					1.90 VA			9.83 AMPS			10.58 AMPS		

**ELECTRICAL NOTES**

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- CONTRACTOR SHALL REFER TO A.T.M. MANUFACTURER SHOP DRAWINGS FOR FULL SCOPE OF ELECTRICAL REQUIREMENTS.

09/31/21  
02/01/21  
Date

ISSUED FOR PERMIT  
ISSUE TO OWNER  
No. Issue/Revision/Description

**TKO**  
TKO INSTALLATIONS, INC.  
MEMBER COMPANY OF CHASE

ATLANTA  
715 PUGHMISTE ST  
ATLANTA, GA 30308  
PHONE 404.603.3704

PITTSBURGH  
6425 JAMES PK  
PITTSBURGH, PA 15106  
PHONE 412.650.0011

RALEIGH  
150 FAIRVIEW BLVD  
RALEIGH, NC 27601  
PHONE 919.483.1004

COLUMBUS  
277 MARION BLVD  
COLUMBUS, OH 43215  
PHONE 614.486.1160

CINCINNATI  
302 WEST THIRD STREET  
CINCINNATI, OH 45202  
PHONE 513.463.4344  
www.bhdp.com

BHPD

CHASE BANK  
OLD FOURTH WARD ATM  
300 HIGHLAND AVE, NORTHEAST  
ATLANTA, GA 30307

ELECTRICAL SECTIONS & DETAILS

STATE OF GEORGIA  
PAUL D. ORBAN  
REGISTRATION NO. 100000000  
04/09/2021

Project Manager  
**A. PONTING**

Drawn  
**AJP**

Checked  
**MJP**

Contract Drawing Date  
**02/01/21**

Proj. No.  
**TK004.15**

A103

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**RECEIPT**

CITY OF ATLANTA  
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT  
55 TRINITY AVE SW, ATLANTA GA 30303  
404-330-6070

**Application:** V-21-180  
**Application Type:** Planning/BZA/Special Exception/NA  
**Address:** 300 NORTH HIGHLAND AVE NE, ATLANTA, GA 30307  
**Owner Name:** AVENUE LLC  
**Owner Address:** . P O BOX 11987 ATLANTA,GA 30355  
**Application Name:**

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
766841		\$625.00	07/27/2021	PUBLICUSER790094		

**Owner Info.:** AVENUE LLC  
. P O BOX 11987  
ATLANTA, GA 30355

**Work Description:** Applicant seeks a special exception from the zoning regulation to reduce the required number of off-street parking spaces from 30 to 29 parking spaces for the construction of a new walk-up ATM.

