

C O N S T R U C T I O N D R A W I N G S

**PROJECT SCOPE: MAJOR INTERIOR REMODEL PROJECT OF EXISTING 1ST & 2ND FLOORS.
ADD 704.0 SQ. FEET OF 1-STORY ADDITION TO THE REAR**

LEX & ALISON MAYERS

1111 AUSTIN AVENUE NE ATLANTA, GA. 30307

**ARCHITECT CHIP MURRAH GA LIC # 7599 404-273-2555
7540 BRIDGEGATE COURT SANDY SPRINGS, GEORGIA 30350**

CONTRACTOR WATERS WOODWORKS INC JEFF WATERS 678-458-7062

STRUCTURAL ENGINEER KEYSTONE STRUCTURAL ENGINEERS 404-483-6921

INDEX OF DRAWINGS

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THIS JOB WILL COMPLY W/ ALL APPLICABLE CODES:

- The following will be the State of Georgia's minimum Standard Construction Codes:
- **International Building Code**
 - 2018 Edition, with Georgia Amendments (2020) - (Effective January 1, 2020)
 - **International Residential Code**
 - 2018 Edition, with Georgia Amendments (2020) - (Effective January 1, 2020)
 - **International Fire Code**
 - 2018 Edition, with Georgia Amendments (2020) - (Effective January 1, 2020)
 - **International Plumbing Code**
 - 2018 Edition, with Georgia Amendments (2020) - (Effective January 1, 2020)
 - **International Mechanical Code**
 - 2018 Edition, with Georgia Amendments (2020) - (Effective January 1, 2020)
 - **International Fuel Gas Code**
 - 2018 Edition, with Georgia Amendments (2020) - (Effective January 1, 2020)
 - **National Electrical Code**
 - 2020 Edition, with no Georgia Amendments (Effective February 1, 2021)
 - **International Energy Conservation Code**
 - 2015 Edition, with Georgia Supplements and Amendments (2020) - (Effective January 1, 2020)
 - **International Swimming Pool and Spa Code**
 - 2018 Edition, with Georgia Amendments (2020) - (Effective January 1, 2020)
 - **NFPA 101**
 - Life Safety Code 2018 Edition with State Amendments (2020) - (Effective January 1, 2020)

EXISTING SQUARE FEET

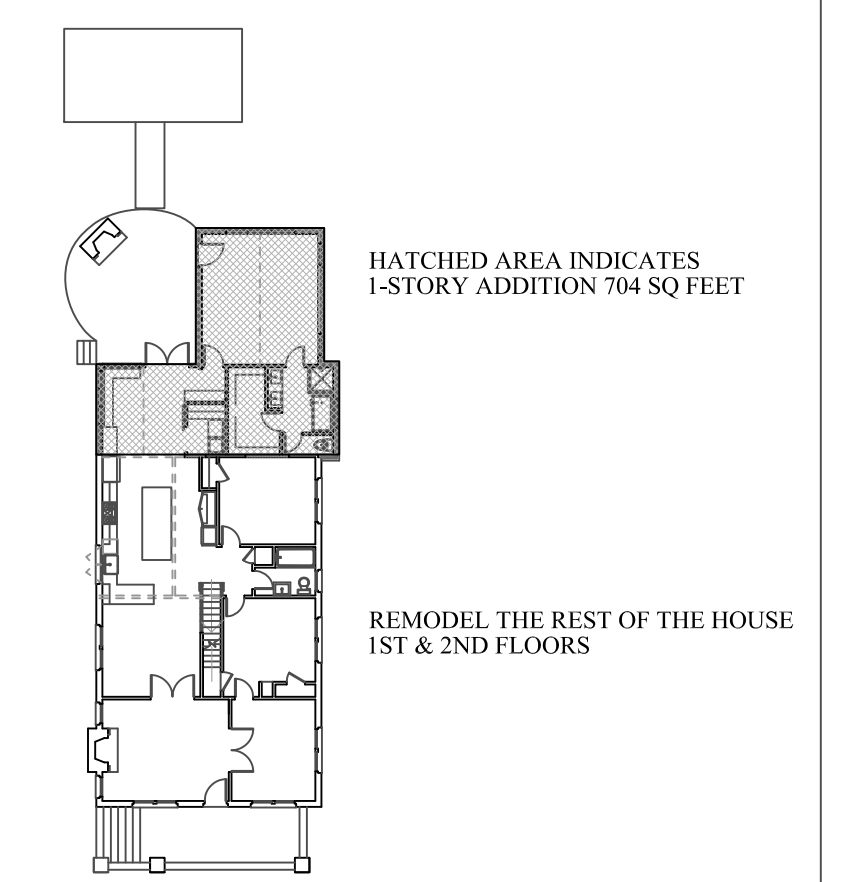
1st FLOOR PLAN SQUARE FOOTAGE: 1519.0
2nd FLOOR PLAN SQUARE FOOTAGE: 728.0
TOTAL SQUARE FOOTAGE: 2247.0

RENOVATED SQUARE FEET

1st FLOOR SQUARE FOOTAGE: 2223.0
2nd FLOOR PLAN SQUARE FOOTAGE: 1052.0
TOTAL SQUARE FOOTAGE: 4055.0



AREA MAP NOT TO SCALE



PROJECT KEY



The field data upon which this plot is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plot has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF FULTON COUNTY, GEORGIA. COMMUNITY PANEL NUMBER 13121C 0263G, DATED 09/18/13

LEGEND

IPF = 1/2" REBAR PIN SET
 L.L. = LAND LOT LINE
 P.L. = PROPERTY LINE
 L.L.L. = LAND LOT LINE
 CL = CENTERLINE
 B.L. = BUILDING LINE
 R/W = RIGHT-OF-WAY
 S.S.E. = SANITARY SEWER EASEMENT
 D.E. = DRAINAGE EASEMENT
 M.H. = MANHOLE
 C.B. = CATCH BASIN
 J.B. = JUNCTION BOX
 H.W. = HEADWALL
 D.I. = DROP INLET
 P.P. = POWER/UTILITY POLE
 F.H. = FIRE HYDRANT
 I.E. = INVERT ELEVATION
 F.F.E. = FINISHED FLOOR ELEVATION
 F.F.B. = FINISHED FLOOR BASEMENT
 F.F.G. = FINISHED FLOOR GARAGE
 1ST FLOOR CONDITIONED = 1519 sf.
 EP = EDGE OF PAVEMENT
 N/F = NOW OR FORMERLY
 P.O.B. = POINT OF BEGINNING
 S.S. = SANITARY SEWER LINE/PIPE
 -X-X-X- = FENCE LINE
 O = FLOOD HAZARD ZONE LINE
 W = WATER LINE
 CM = CONCRETE MONUMENT
 G = GAS LINE
 C.E. = CONSTRUCTION EASEMENT
 C&G = CURB AND GUTTER
 LS = LIGHT STANDARD
 O/P = OPEN TOP PIPE FOUND
 C/P = CRIMP TOP PIPE FOUND

EXISTING LOT COVERAGE:
 HOUSE = 1544 sf.
 DRIVE = 802 sf.
 DECKS = 862 sf.
 FRONT PORCH = 257 sf.
 SIDEWALKS = 252 sf.
 C.B. = 218 sf.
 STONE PATIOS = 218 sf.
 WALLS/PLANTER = 106 sf.
 CRAWLSPACE WELL = 19 sf.
 TOTAL = 4060 sf.

LOT COVERAGE = 34.9%

EXISTING FLOOR AREA:

1ST FLOOR CONDITIONED = 1519 sf.

2ND FLOOR CONDITIONED = 728 sf.

TOTAL = 2247 sf.

FAR: 2247/11640 = 0.193

NO GRADED SLOPE SHALL EXCEED 2H:1V

ON ALL DISTURBED AREAS

Ds1 Ds2 Ds3

DISTURBED AREA = 2530 sf.

0.058 ACRES

DIRT/DEBRIS STATEMENT:

HOUSE = 1544 sf.
 DRIVE = 802 sf.
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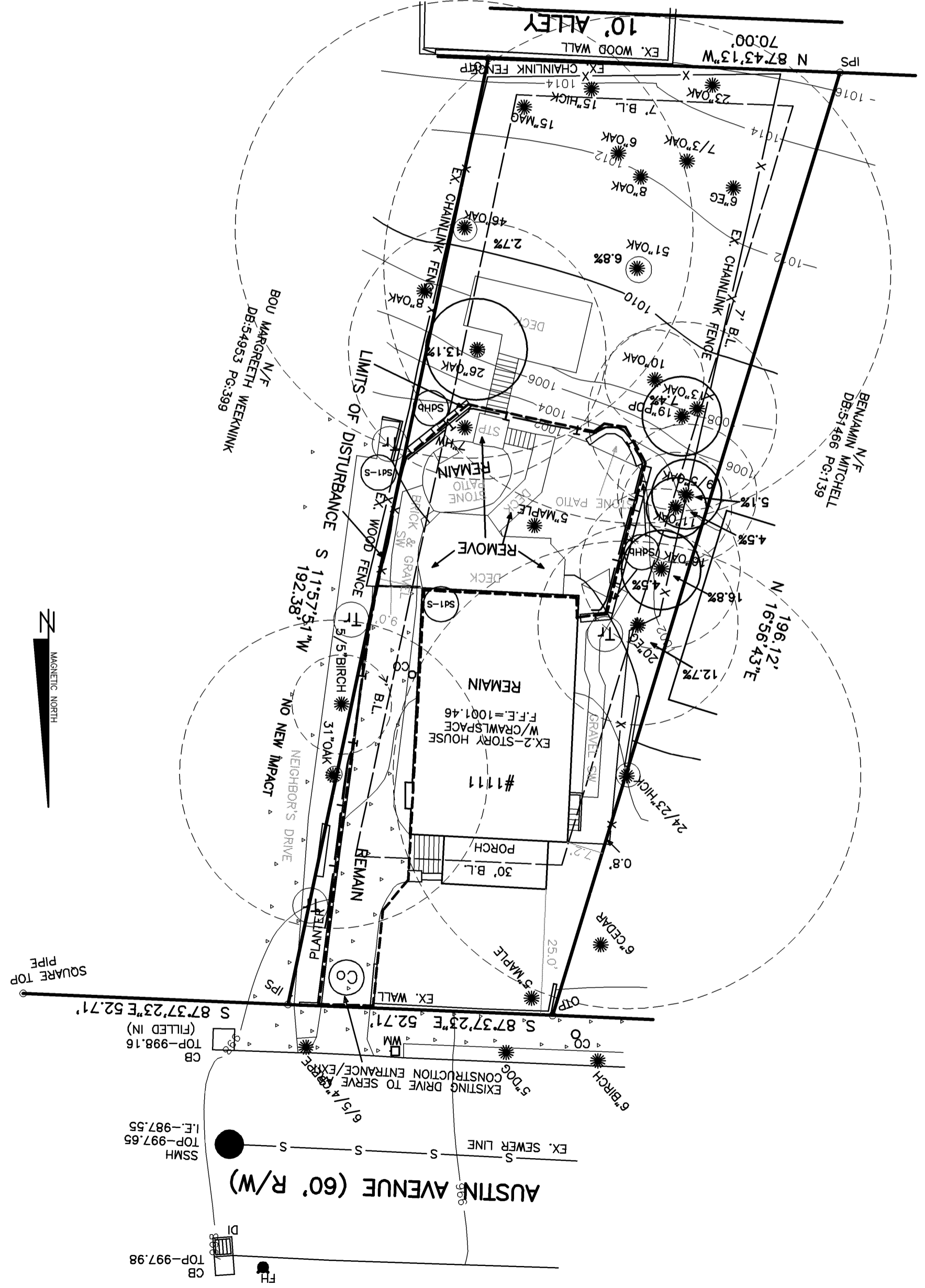
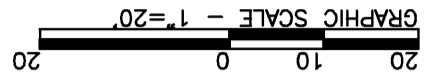
24 HR CONTACT:
JEFF WATERS
 11,640 sf.
 0.267 ACRES
 (678)458-7062
 WATERSWOODWORKS@BELLSOUTH.NET
 LOT AREA:



- EROSION CONTROL NOTES:**
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO LAND-DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - DISTURBED AREAS LEFT IDE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST DAILY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
 - SILT FENCE SHALL BE "TYPE C" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).
 - THE DESIGN PROFESSIONAL WHOSE SIGNED AND DATED SEAL APPEARS HEREON, AFFIRMS THAT THE SITE WAS VISITED PRIOR TO THE PREPARATION OF THIS SITE PLAN BY HIMSELF OR HIS AUTHORIZED AGENT UNDER HIS SUPERVISION.

ZONING INFORMATION:

CLASSIFICATION: R-5
 SETBACKS: FRONT - 30 FEET
 SIDE - 7 FEET
 REAR - 7 FEET
 MINIMUM LOT AREA - 7500 sf.
 MINIMUM STREET FRONTAGE - 50 FEET
 MAXIMUM LOT COVERAGE - 55%



GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
 ROBERT W. RICHARDSON
 LEVEL II CERTIFIED DESIGN PROFESSIONAL
 CERTIFICATION NUMBER 0000089322
 EXPIRES 10/11/2019
 DATE 09/22/21

ALPHA LAND SERVICES
 P.O. BOX 1651
 LOGANVILLE, GA. 30052
 ENGINEERING & LAND SURVEYING
 REF. PLAT: PB. 4 P. 54

EXISTING CONDITIONS/DEMOLITION PLAN FOR:
1111 AUSTIN AVENUE
 TAX PARCEL: 14-0014-0003-011-9
 LOT: 14
 BLOCK: 19
 SUB: AF MORELAND
 DISTRICT: 14TH
 COUNTY: GEORGIA
 FIELD DATE: 09/22/21
 AREA = 0.267 ACRES
 JOB No. 21349D1

RELEASED FOR CONSTRUCTION

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 0.5 seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.
 Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF FULTON COUNTY, GEORGIA. COMMUNITY PANEL NUMBER 1312C 02636, DATED 09/18/13

LEGEND

1PF = 1/2" REBAR PIN SET
 LL = LAND LOT
 LLL = LAND LOT LINE
 P.L. = PROPERTY LINE
 CL = CENTERLINE
 B.L. = BUILDING LINE
 R/W = RIGHT-OF-WAY
 S.S.E. = SANITARY SEWER EASEMENT
 D.E. = DRAINAGE EASEMENT
 M.H. = MANHOLE
 C.B. = CATCH BASIN
 J.B. = JUNCTION BOX
 H.W. = HEADWALL
 D.I. = DROP INLET
 P.P. = POWER/UTILITY POLE
 F.H. = FIRE HYDRANT
 I.E. = INVERT ELEVATION
 1ST FLOOR CONDITIONED = 2223 sf.
 2ND FLOOR CONDITIONED = 1052 sf.
 F.F.E. = FINISHED FLOOR ELEVATION
 F.F.B. = FINISHED FLOOR BASEMENT
 F.F.G. = FINISHED FLOOR GARAGE
 B.O.C. = BACK OF CURB
 N/F = NOW OR FORMERLY
 EP = EDGE OF PAVEMENT
 P.O.B. = POINT OF BEGINNING
 S.S. = SANITARY SEWER LINE/PIPE
 -X-X-X- = FENCE LINE
 0- = FLOOD HAZARD ZONE LINE
 - - - = STORM SEWER LINE/PIPE
 W- = WATER LINE
 G- = GAS LINE
 EX. HOUSE = 1544 sf.
 DRIVE = 802 sf.
 DECKS = 862 sf.
 FRONT PORCH = 257 sf.
 REAR DECK/STAIRS = 364 sf.
 SIDEWALKS = 252 sf.
 STONE PATIOS = 218 sf.
 WALLS/PLANTER = 106 sf.
 CRAWLSPACE WELL = 19 sf.
 TOTAL = 4060 sf.
 LOT COVERAGE = 34.9%

EXISTING FLOOR AREA:

1ST FLOOR CONDITIONED = 1519 sf.
 2ND FLOOR CONDITIONED = 728 sf.
 TOTAL = 2247 sf.
 FAR: 2247/11640 = 0.193

PROPOSED FLOOR AREA:

1ST FLOOR CONDITIONED = 2223 sf.
 2ND FLOOR CONDITIONED = 1052 sf.
 TOTAL = 3275 sf.
 FAR: 3275/11640 = 0.281

EXISTING LOT COVERAGE:

EX. HOUSE = 1544 sf.
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 TOTAL = 4060 sf.
 LOT COVERAGE = 30.60%

GREEN INFRASTRUCTURE:

AREA TO BE TREATED = 714 sf.
 RAIN GARDEN TO BE UTILIZED
 DEPTH OF SOIL MEDIA = 36"
 AREA OF GARDEN REQUIRED = 33 sf.
 AREA OF GARDEN PROPOSED = 35 sf.

TREE REMOVAL:

5" MAPLE
 7" HARDWOOD

TREE PLANTING:

AS - 2.5" SUGAR MAPLE (1)
 QN - 2.5" NUTTAL OAK (1)

TREE RECOMPENSE:

2 TREES REMOVED - 2 PLANTED x \$100
 12" REMOVED - 5" PLANTED x \$30 = \$210
 TOTAL RECOMPENSE OWED = \$210

EROSION CONTROL NOTES:

- A) THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO LAND-DISTURBING ACTIVITIES.
- B) EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- C) DISTURBED AREAS LEFT IDE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH. DISTURBED AREAS REMAINING IDE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST DAILY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- E) ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
- F) SILT FENCE SHALL BE "TYPE C" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).
- G) THE DESIGN PROFESSIONAL WHOSE SIGNED AND DATED SEAL APPEARS HEREON, AFFIRMS THAT THE SITE WAS VISITED PRIOR TO THE PREPARATION OF THIS SITE PLAN BY HIMSELF OR HIS AUTHORIZED AGENT UNDER HIS SUPERVISION.

24 HR CONTACT:
 JEFF WATERS
 11,640 sf.
 0.267 ACRES

NO GRADED SLOPE SHALL EXCEED 2H:1V
 ON ALL DISTURBED AREAS

Ds1 Ds2 Ds3

DISTURBED AREA = 2530 sf.
 0.058 ACRES

DIRT/DEBRIS STATEMENT:

FILL QUANTITIES = LESS THAN 5 CU YARDS
 CUT QUANTITIES = LESS THAN 5 CU YARDS
 MINIMAL LEVELING TO BE PERFORMED
 QUANTITIES ARE APPROXIMATE
 DEBRIS QUANTITIES = 20 CU YARDS
 DEBRIS TO BE REMOVED IN TRUCKS
 QUANTITIES ARE APPROXIMATE

PROPOSED FLOOR AREA:

1ST FLOOR CONDITIONED = 2223 sf.
 2ND FLOOR CONDITIONED = 1052 sf.
 TOTAL = 3275 sf.
 FAR: 3275/11640 = 0.281

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 AREA OF GARDEN REQUIRED = 33 sf.
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5" MAPLE
 7" HARDWOOD

TREE PLANTING:

AS - 2.5" SUGAR MAPLE (1)
 QN - 2.5" NUTTAL OAK (1)

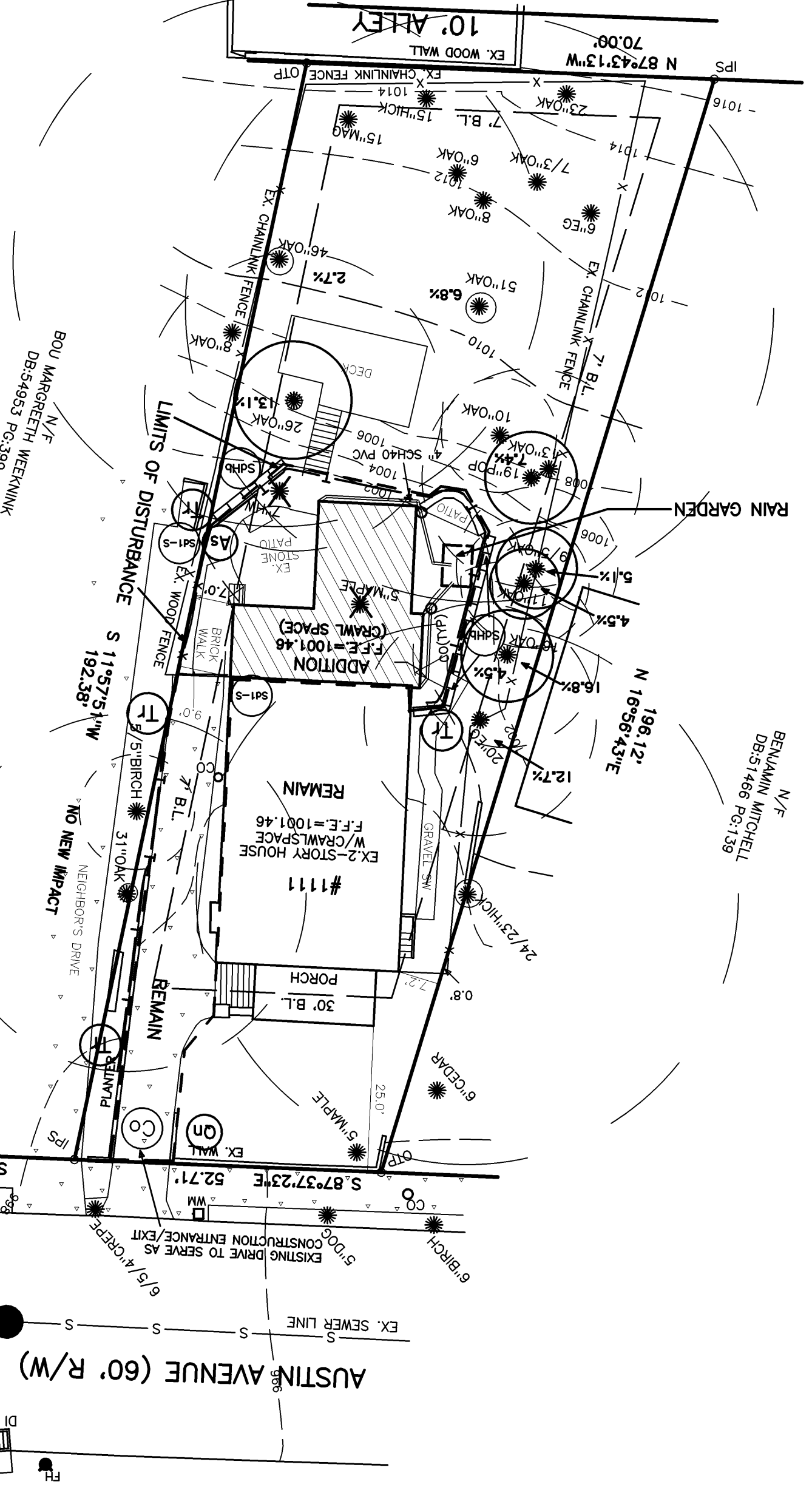
TREE RECOMPENSE:

2 TREES REMOVED - 2 PLANTED x \$100
 12" REMOVED - 5" PLANTED x \$30 = \$210
 TOTAL RECOMPENSE OWED = \$210

ZONING INFORMATION:

CLASSIFICATION: R-5
 SETBACKS: FRONT - 30 FEET
 SIDE - 7 FEET
 REAR - 7 FEET
 MINIMUM LOT AREA - 7500 sf.
 MINIMUM STREET FRONTAGE - 50 FEET
 MAXIMUM LOT COVERAGE - 55%

GRAPHIC SCALE - 1" = 20'



ALPHA LAND SERVICES
 P.O. BOX 1651
 LOGANVILLE, GA. 30052
 ENGINEERING * LAND SURVEYING
 REF. PLAT: PB. 4 P. 54
 PLAT DATE: 09/22/21
 FIELD DATE: 06/21/21
 AREA = 0.267 ACRES
 JOB No. 21349S1

ROBERT W. RICHARDSON
 PROFESSIONAL SURVEYOR
 STATE OF GEORGIA
 CERTIFICATION NUMBER 0000089322
 EXPIRES 10/11/2022
 DATE 09/22/21

TAX PARCEL: 14-0014-0003-011-9
 1111 AUSTIN AVENUE
 SITE PLAN FOR:
 PAGE 2 OF 4

RELEASED FOR CONSTRUCTION

DEPARTMENT OF WATERSHED MANAGEMENT
CITY OF ATLANTA

NAME/ADDRESS: _____

RAIN GARDEN SPECIFICATIONS
PAGE 1 OF 2

CONSTRUCTION STEPS:

1. Locate rain garden(s) where downspouts or driveway runoff can enter garden flowing away from the home. Locate at least 10 feet from foundations, not within the public right of way, away from utility lines, not over septic fields, and not near a steep bluff edge.
2. Measure the area draining to the planned garden and determine required rain garden surface area from the table on the next page and your planned excavation depth.
3. Optionally, perform infiltration test according to Appendix A. If the rate is less than 0.25 in/hr an underdrain will be necessary. If the rate is more than 0.50 in/hr the size of the garden may be decreased 10% for every 0.50 in/hr infiltration rate increase above 0.50 in/hr.
4. Measure elevations and stake out the garden to the required dimensions insuring positive flow into garden, the overflow elevation allows for six inches of ponding, and the perimeter of the garden is higher than the overflow point. If the garden is on a gentle slope a berm at least two feet wide can be constructed on the downhill side and/or the garden can be dug into the hillside taking greater care for erosion control at the garden inlet(s).
5. Remove turf or other vegetation in the area of the rain garden. Excavate garden being careful not to compact soils in the bottom of the garden. Level bottom of garden as much as possible to maximize infiltration area.
6. Mix compost, topsoil, and some of the excavated subsoil together to make the "amended soil". The soil mix should be 1/3 compost, 2/3 native soil (topsoil and subsoil combined).
7. Fill rain garden with the amended soil, leaving the surface eight inches below your highest surrounding surface. Eight inches allows for 6 inches ponding and 2" of mulch. The surface of the rain garden should be as close to level as possible.
8. Build a berm at the downhill edge and sides of the rain garden with the remaining subsoil. The top of the berm needs to be level, and set at the maximum ponding elevation.
9. Plant the rain garden using a selection of plants from elsewhere in this manual.
10. Mulch the surface of the rain garden with two to three inches of non-floating organic mulch. The best choice is finely shredded hardwood mulch. Pine straw is also an option.
11. Water all plants thoroughly. As in any new garden or flower bed, regular watering will likely be needed to establish plants during the first growing season.
12. During construction build the inlet feature as a pipe directly connected to a downspout or use a rock lined swale with a gentle slope. Use of an impermeable liner under the rocks at the end of the swale near the house is recommended to keep water from soaking in at that point. Test the drainage of water from the source to the garden prior to finishing.
13. Create an overflow at least 10 feet from your property edge and insure it is protected from erosion.

November 20

CITY OF ATLANTA
DEPARTMENT OF WATERSHED MANAGEMENT

ATTACH THIS TWO-PAGE SPECIFICATION TO HOUSE PLAN SUBMITTAL

RAIN GARDEN SPECIFICATIONS
PAGE 2 OF 2

SKETCH LAYOUT
PROVIDE PLAN VIEWS OF RAIN GARDEN AND HOUSE SHOWING DRAINAGE AREA DIRECTED TO RAIN GARDEN AND KEY DIMENSIONS AND OVERFLOW AREA RELATIVE TO PROPERTY LINE.

SIZING CALCULATION:

MEASURE CONTRIBUTING DRAINAGE AREA AND READ AREA FOR GIVEN MEDIA DEPTH.

Contributing Drainage Area (square feet)	18	24	30	36
100	6.6	5.1	5.1	4.5
500	35	30	35	33
1000	65	60	50	45
2000	135	115	100	90
3000	230	170	150	140
4000	250	230	200	180
5000	330	290	255	230

CONTRIBUTING DRAINAGE AREA = 74 SQ FT
DEPTH OF SOIL MEDIA = 30 INCHES
AREA OF RAIN GARDEN = 33 SQ FT

MAINTENANCE:

1. IRRIGATE VEGETATION AS NEEDED IN FIRST SEASON
2. REMOVE WEEDS
3. REPLACE UNSUCCESSFUL PLANTINGS
4. REPLENISH MULCH
5. REPAIR ERODED AREAS
6. RAKE CLOGGED SURFACE TO RESTORE INFILTRATION
7. MONITOR RAIN GARDEN FOR APPROPRIATE DRAINAGE TIMES IF GARDEN DOES NOT DRAIN AN UNDERDRAIN MAY BE NECESSARY

GSWCC
GEORGIA SOIL AND WATER CONSERVATION COMMISSION

ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 0000089322
ISSUED 10/11/2019 EXPIRES 10/11/2028

DATE 09/22/21
SIGNATURE



ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA 30052

ENGINEERING * LAND SURVEYING
TAX PARCEL: 14-0014-0003-011-9

REV: _____
REF. PLAT: PB. 4 P. 54

NOTES & DETAILS FOR:
PAGE 4 OF 4

LAND LOT: 14
LOT: 19 BLOCK: _____

DISTRICT: 14TH COUNTY: _____

FIELD DATE: 09/22/21
JOB No. 2134953

RELEASED FOR CONSTRUCTION



EXISTING 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"
1519.0 SQ. FEET

RELEASED FOR CONSTRUCTION

JULY 9, 2021



REVISIONS	

CHIP MURRAH
ARCHITECT
 404.273.2555
 chip@chipmurrayarchitect.com

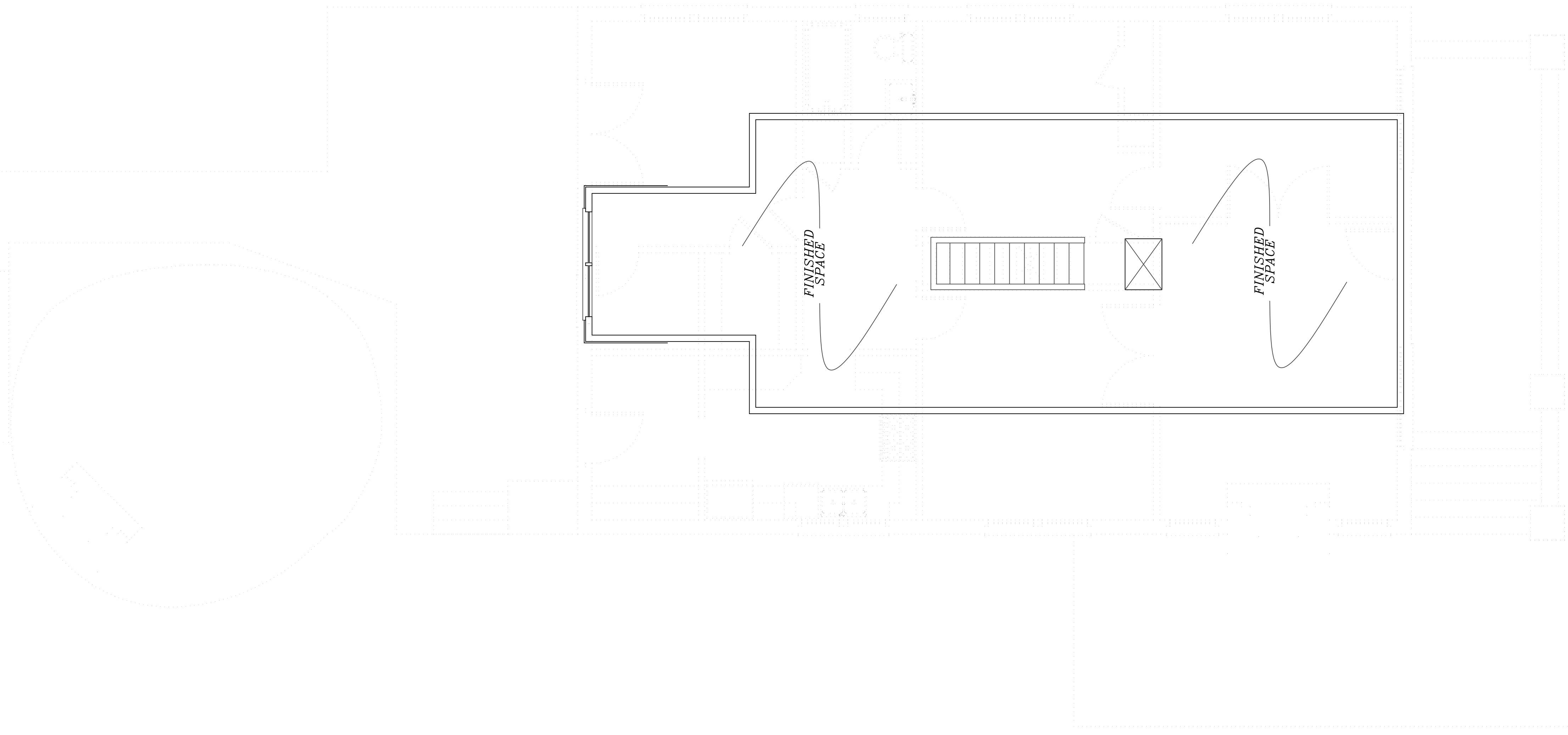
A RENOVATION & ADDITION FOR
LEX & ALISON MAYERS
 1111 AUSTIN AVENUE NE ATLANTA, GA. 30307

This plan is the property of Chip Murrah and may not be used or reproduced without his permission. Chip Murrah assumes no liability for any home constructed from this plan. It is the responsibility of the purchaser of this plan to conduct the following before commencing construction.

1. Builder or contractor must verify all dimensions, structural requirements, and specifications before commencing actual construction.
2. Builder or contractor must verify compliance with all local, state and federal building codes and regulations where the home is to be constructed.
3. Plans indicate locations only. Builder or contractor will hire a structural engineer & will identify & incorporate any structural engineering aspects necessary prior to commencing any construction.

Caution must be exercised in making any changes to this plan. Only a qualified designer, architect, contractor or structural engineer should make changes to this plan. Minor changes could lead to major problems.

DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	EX-1



EXISTING 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"
728.0 SQ. FEET



RELEASED FOR CONSTRUCTION

JULY 9, 2021

CHIP MURRAH
ARCHITECT
 404.273.2555
 chip@chipmurrayarchitect.com

A RENOVATION & ADDITION FOR
LEX & ALISON MAYERS
 1111 AUSTIN AVENUE NE ATLANTA, GA. 30307

REVISIONS	

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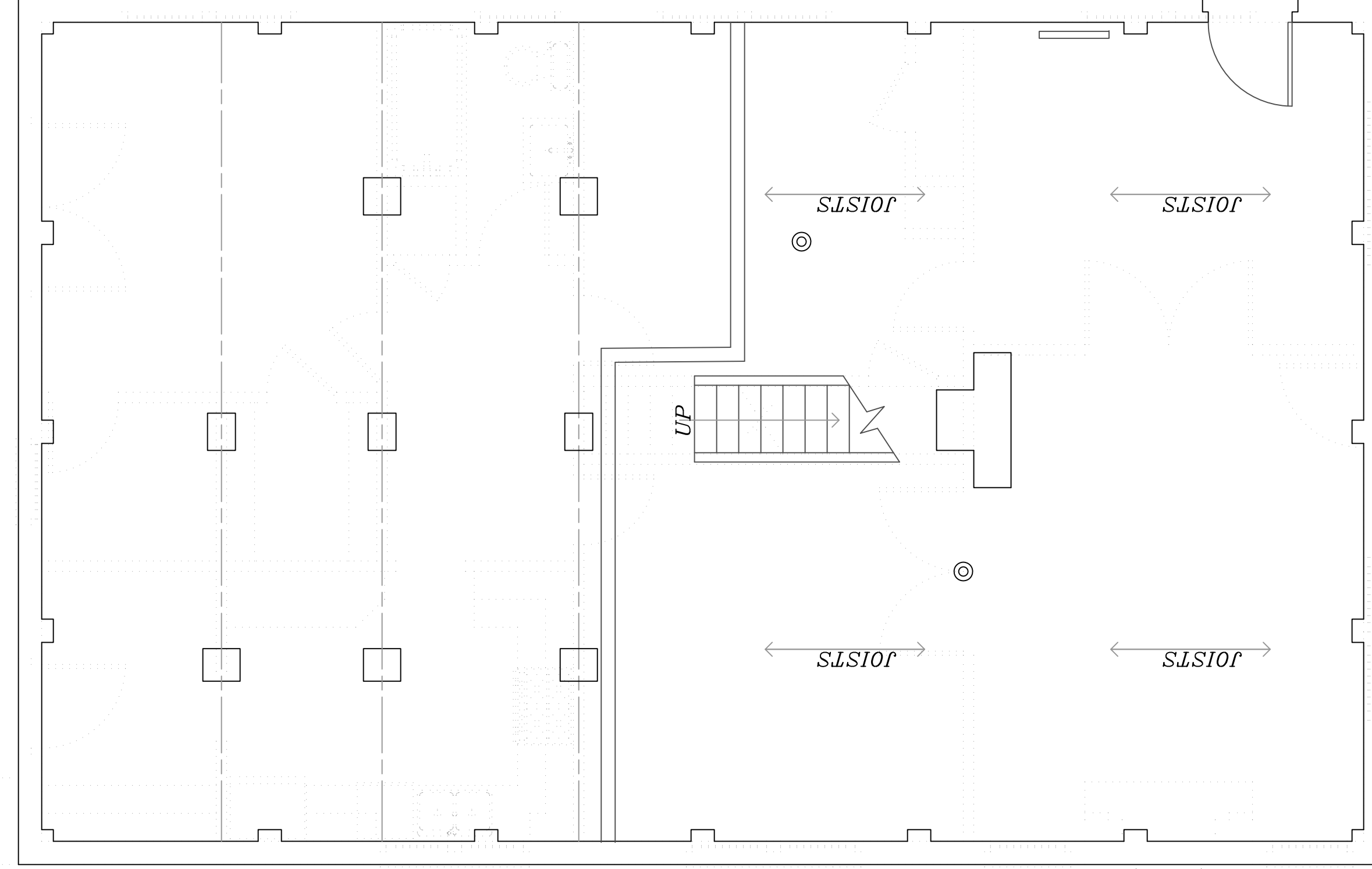
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DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	EX-2

EXISTING BASEMENT PLAN

SCALE: 1/4" = 1'-0"



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JULY 9, 2021

DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	EX-3

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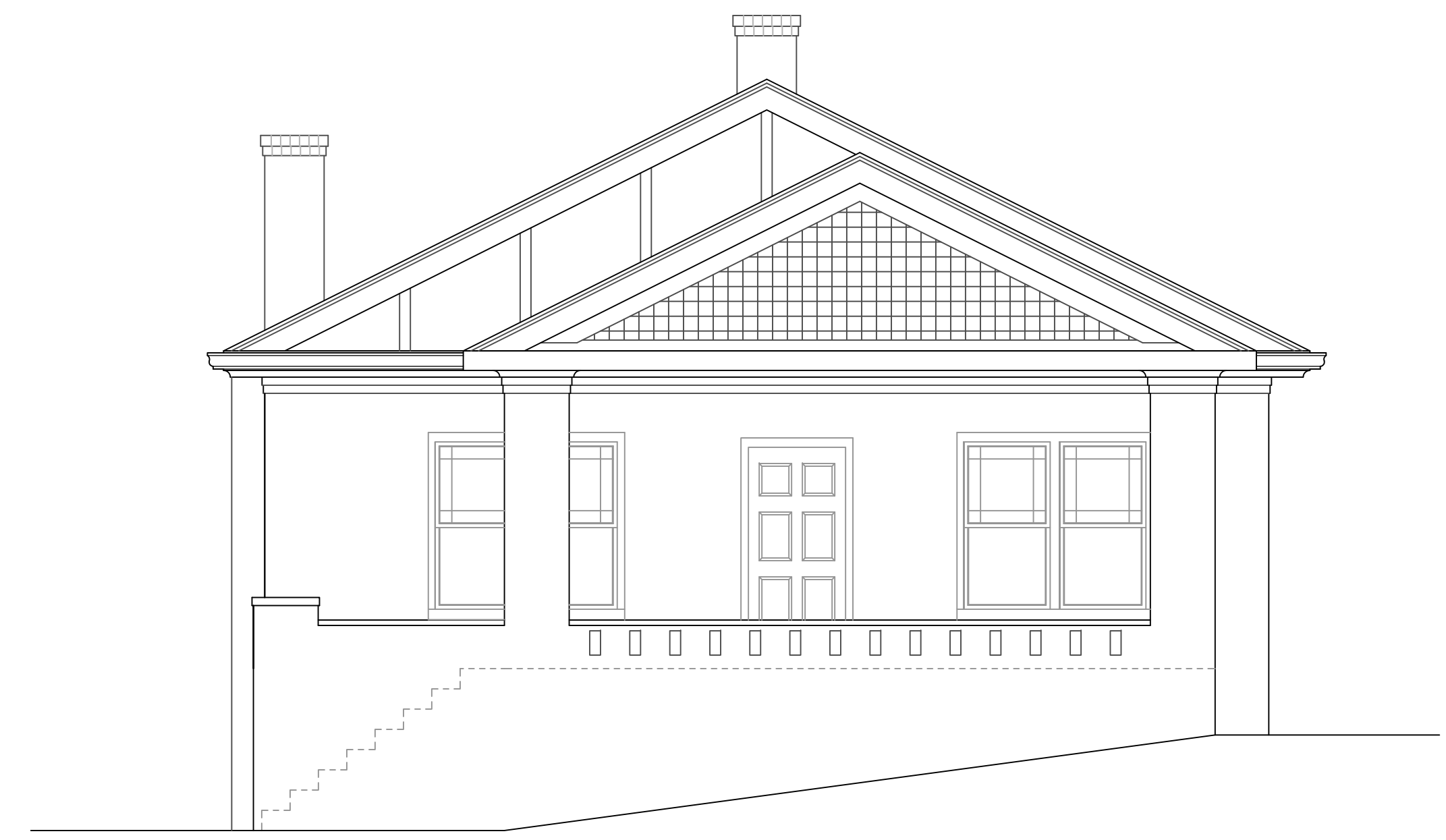
**A RENOVATION & ADDITION FOR
LEX & ALISON MAYERS**
1111 AUSTIN AVENUE NE ATLANTA, GA. 30307

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REVISIONS	

REVISIONS	

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EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



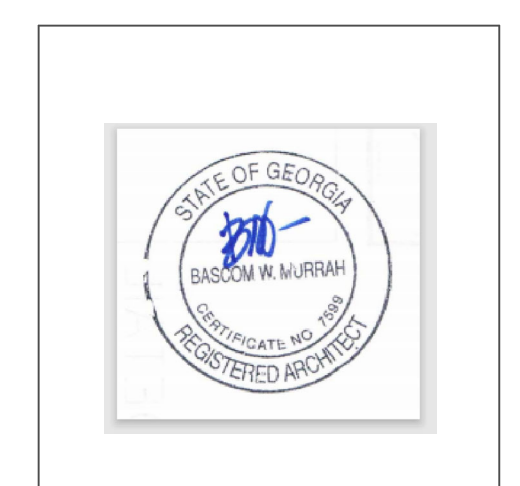
EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"

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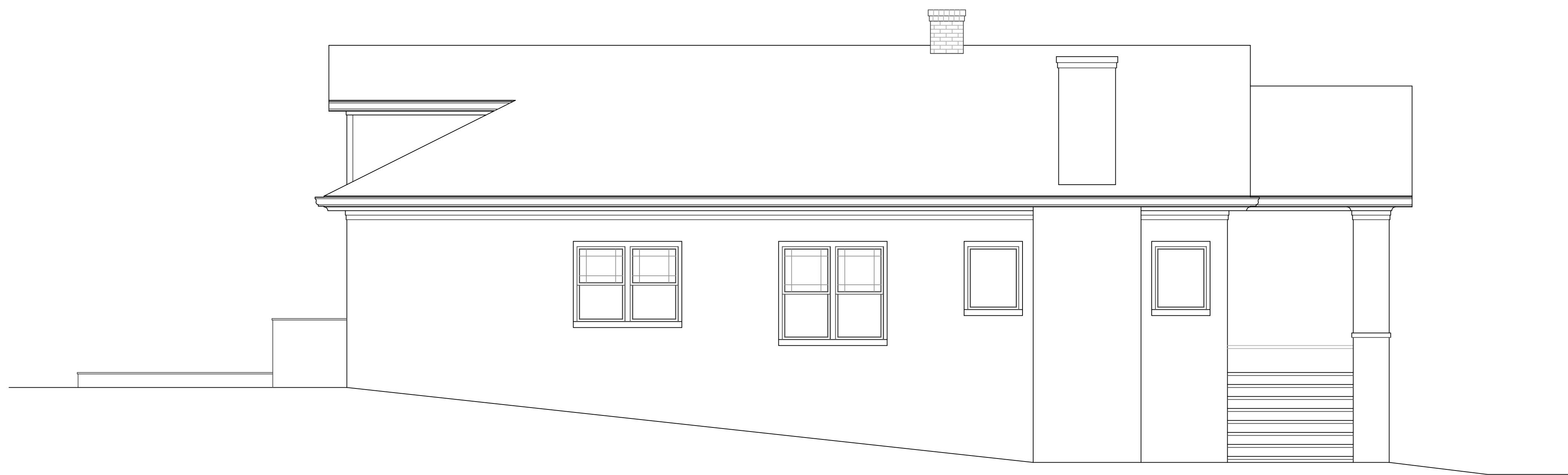
JULY 9, 2021

DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	EX-4



EXISTING SIDE ELEVATION - (R)

SCALE: 1/4" = 1'-0"



EXISTING SIDE ELEVATION - (L)

SCALE: 1/4" = 1'-0"

REVISIONS	

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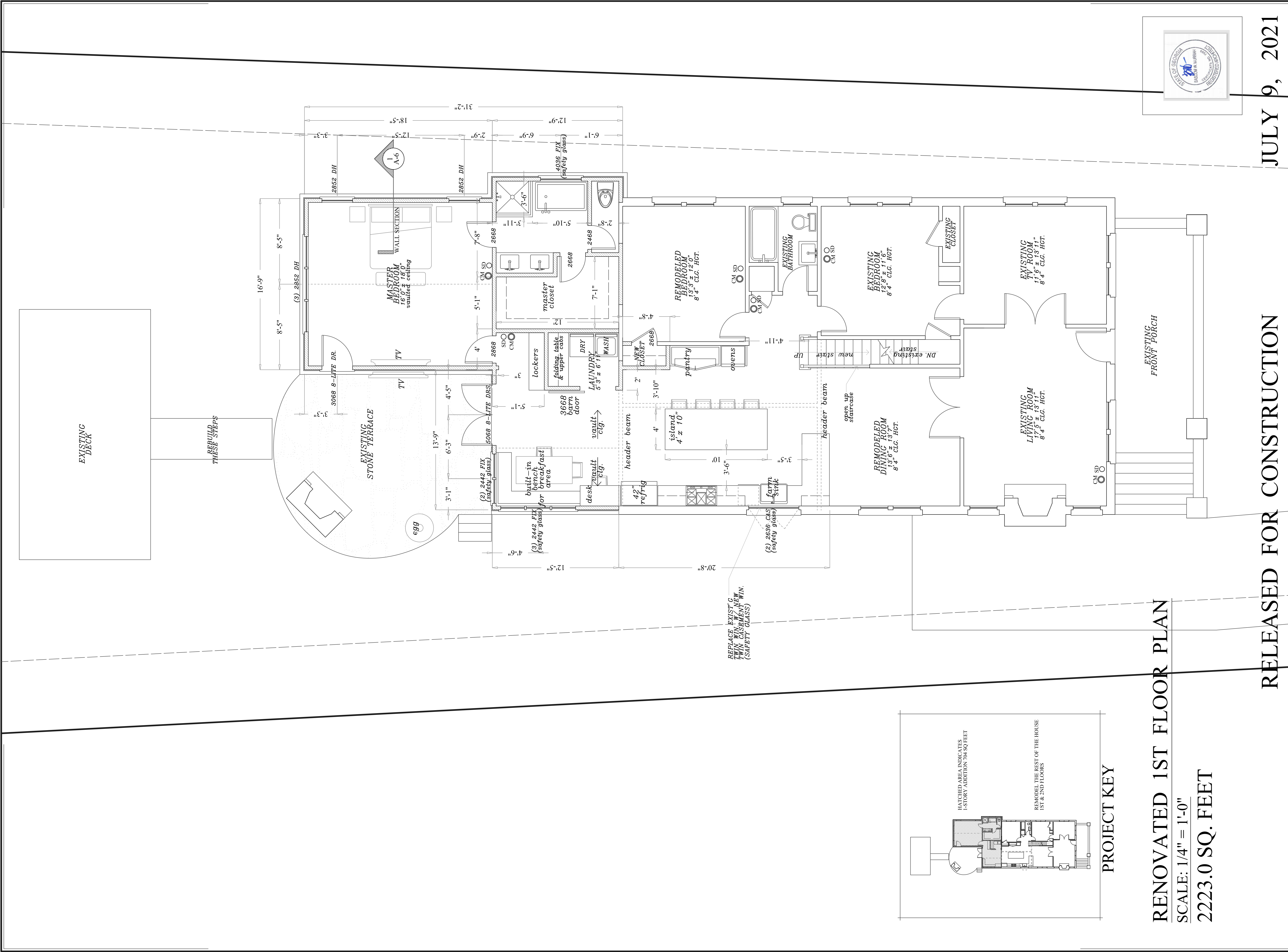
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JULY 9, 2021

DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	EX-5



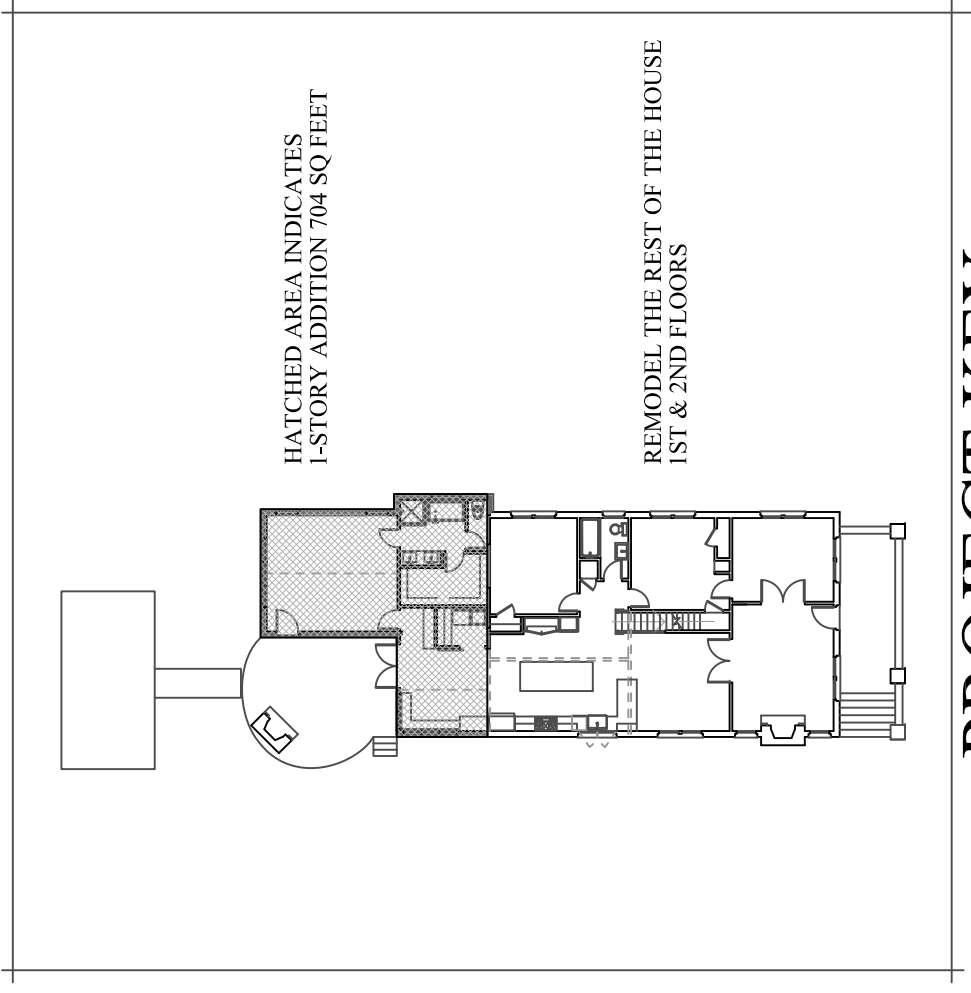
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REVISIONS	

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A RENOVATION & ADDITION FOR
LEX & ALISON MAYERS
1111 AUSTIN AVENUE NE ATLANTA, GA. 30307



PROJECT KEY

RENOVATED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

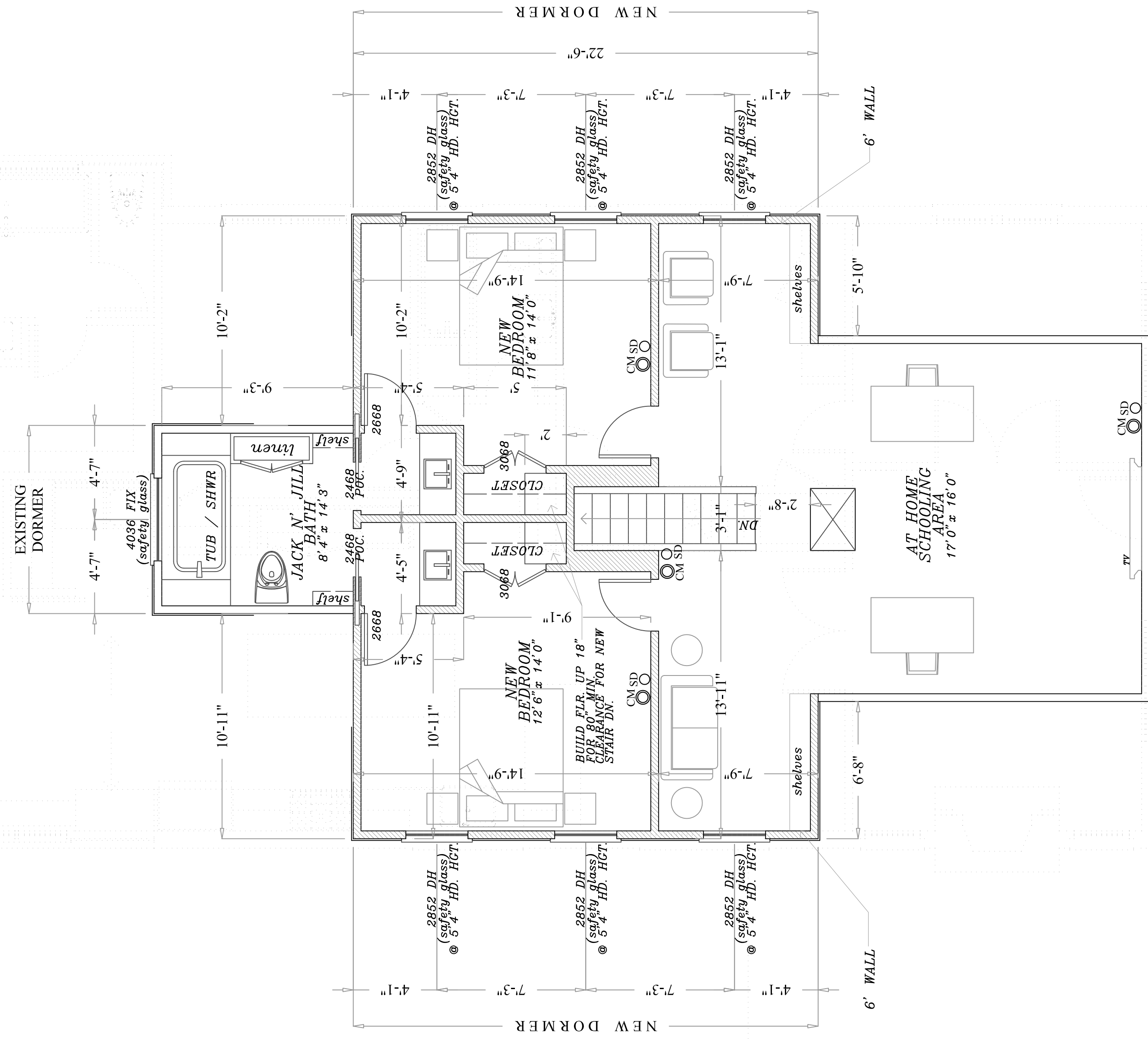
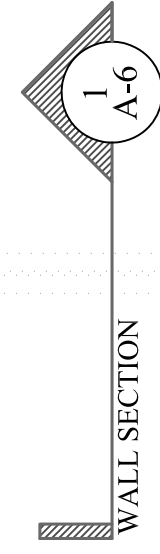
2223.0 SQ. FEET

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DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	A-1



RENOVATED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1052.0 SQ. FEET



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JULY 9, 2021

DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	A-2

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REVISIONS	

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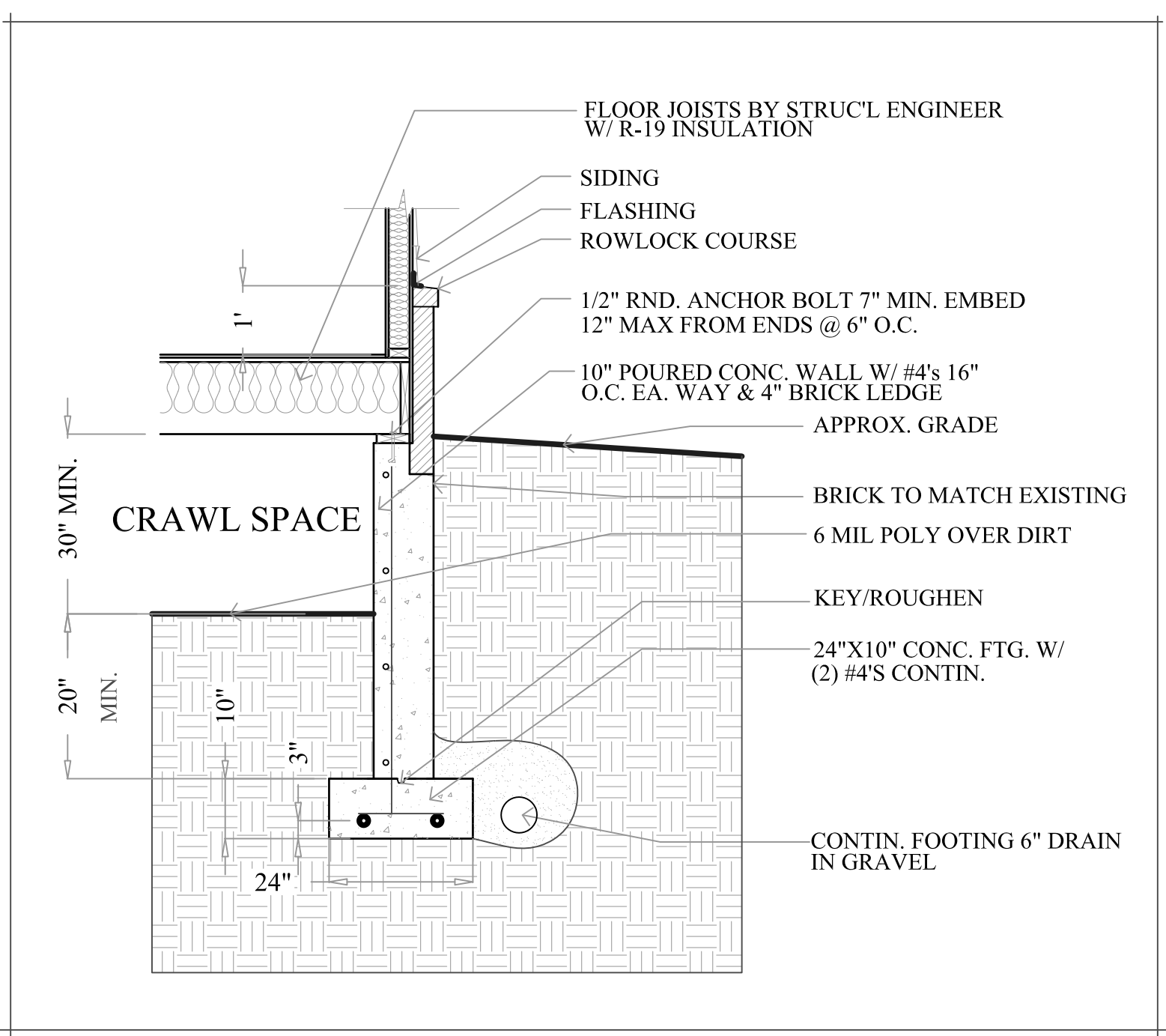
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DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	A-3



RENOVATED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

AVERAGE HEIGHT CALCULATIONS OF ADDITIONS	
FRONT ELEVATION	20' - 6"
REAR ELEVATION	17' - 9"
SIDE ELEVATION	18' - 1"
SIDE ELEVATION	20' - 8"
AVERAGE HEIGHT	19' - 3"

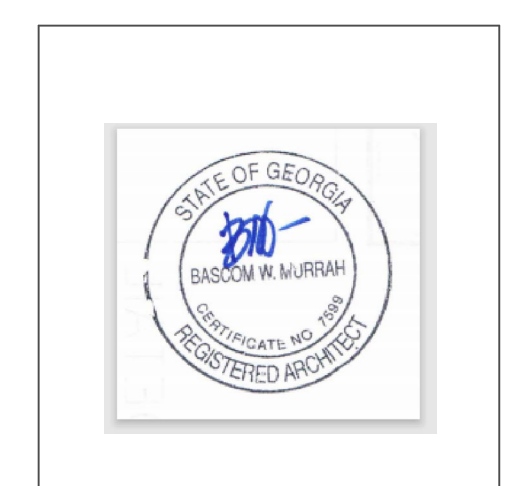


FOOTING DETAIL @ MASTER ADDITION
SCALE: 1/2" = 1'-0"

ALL CONC. MIN 3000 P.S.I.



RENOVATED REAR ELEVATION
SCALE: 1/4" = 1'-0"



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JULY 9, 2021

REVISIONS	

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DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	A-4



RENOVATED SIDE ELEVATION - (R)
SCALE: 1/4" = 1'-0"

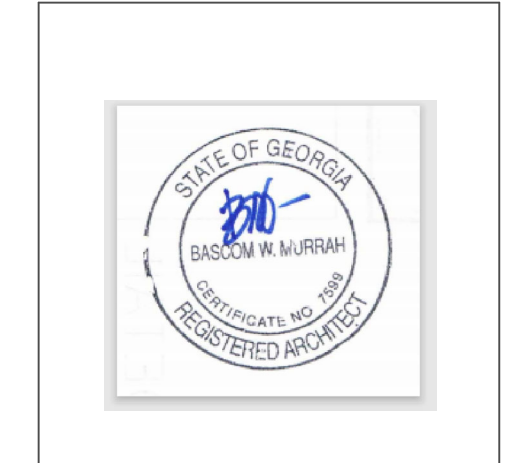
AVERAGE HEIGHT CALCULATIONS OF ADDITIONS	
FRONT ELEVATION	20' - 6"
REAR ELEVATION	17' - 9"
SIDE ELEVATION	18' - 1"
SIDE ELEVATION	20' - 8"
AVERAGE HEIGHT	19' - 3"

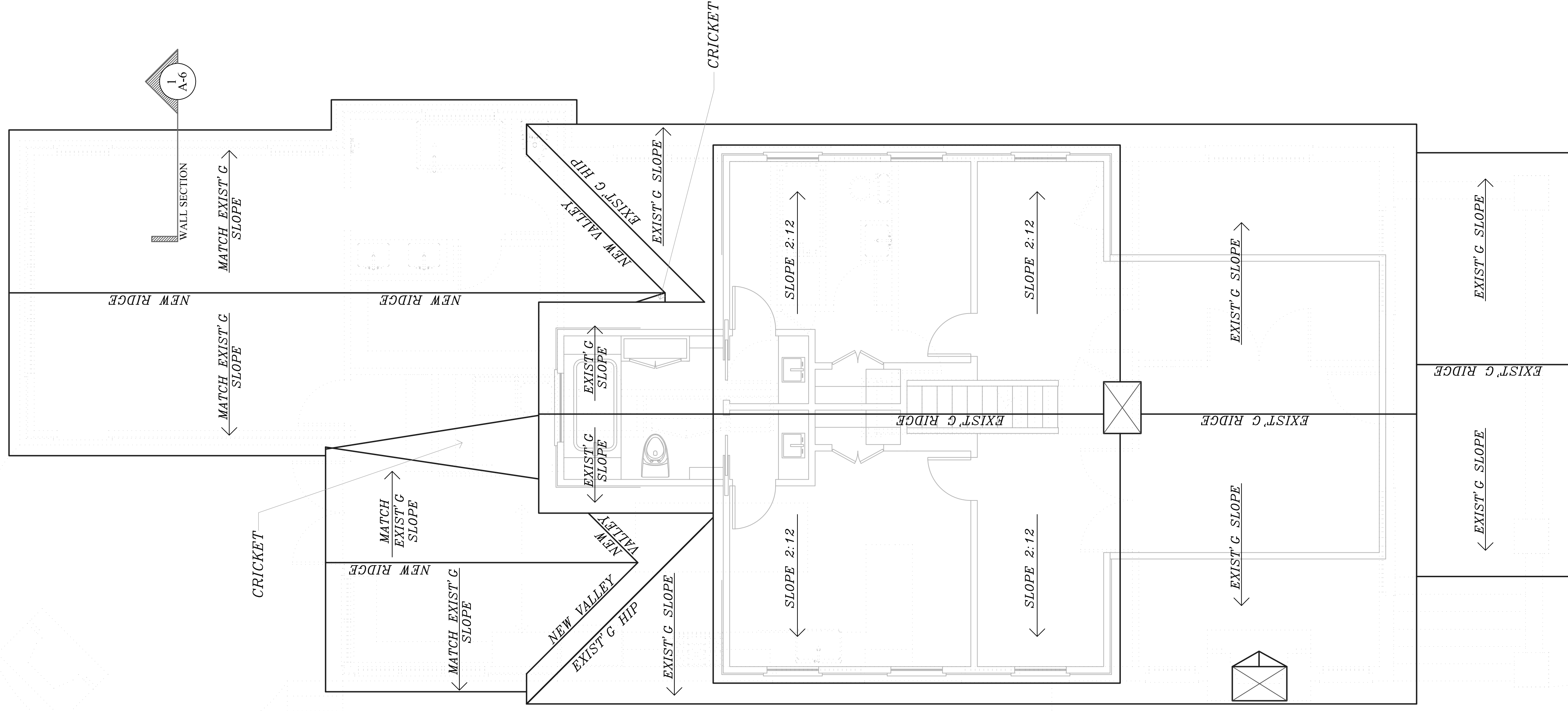


RENOVATED SIDE ELEVATION - (L)
SCALE: 1/4" = 1'-0"

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JULY 9, 2021





RENOVATED ROOF PLAN
SCALE: 1/2" = 1'-0"



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DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	A-5

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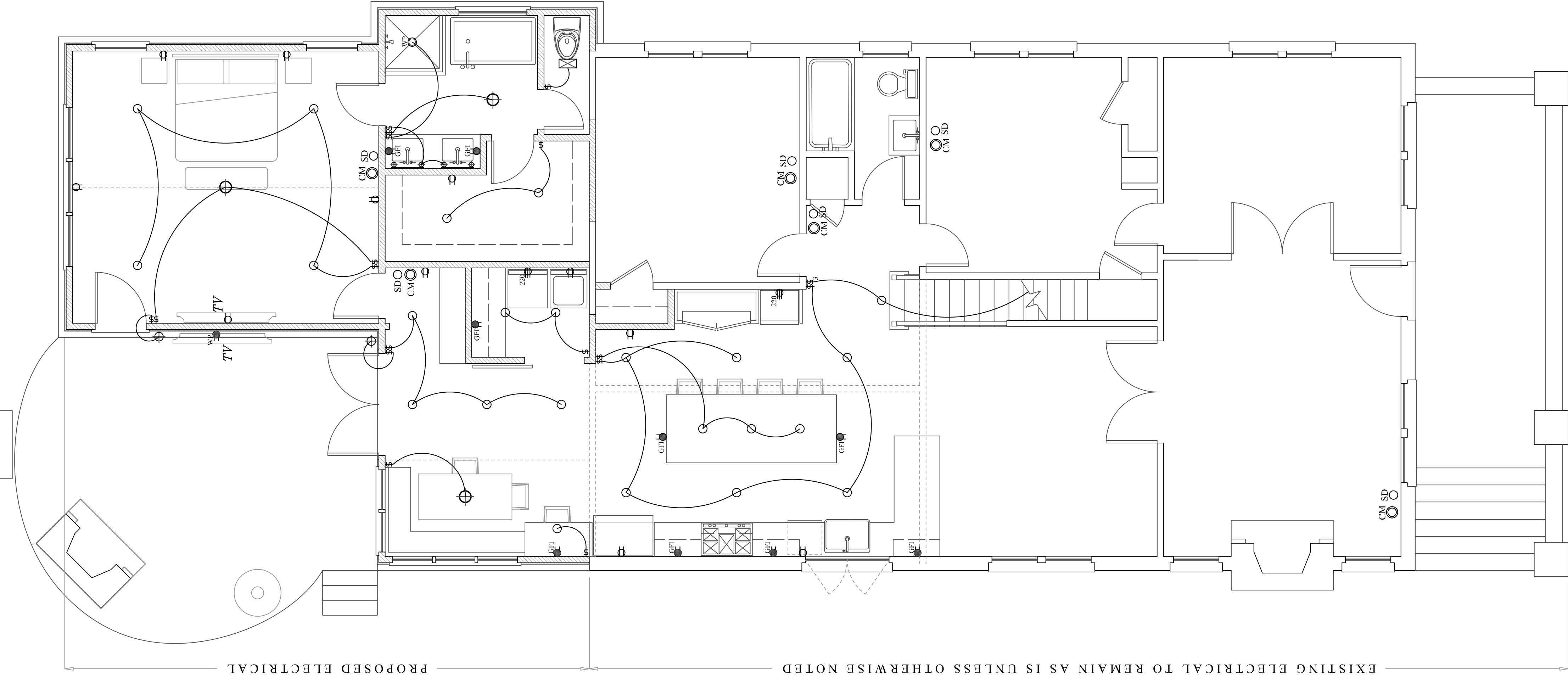
**A RENOVATION & ADDITION FOR
 LEX & ALISON MAYERS
 1111 AUSTIN AVENUE NE ATLANTA, GA. 30307**

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REVISIONS	

ELECTRICAL SYMBOLS

- INDICATES SECURITY SOFFIT LIGHTING
- INDICATES BATHROOM EXHAUST FAN
- INDICATES DECORATIVE EXTERIOR FIXTURE
- INDICATES DECORATIVE CEILING MOUNTED INTERIOR FIXTURE
- INDICATES 6" RECESSED LIGHT
- INDICATES 2X4 FLORESCENT LIGHT FIXTURE
- INDICATES SMALLER FLORESCENT LIGHT FIXTURE
- INDICATES DECORATIVE LIGHT BAR (SCONCE)
- INDICATES 110 VOLT OUTLET
- INDICATES ELECTRIC CAR OUTLET - 40 AMP / 240 VOLT
- INDICATES UNDER CABINET LIGHTING
- INDICATES ABOVE KITCHEN COUNTER GF 110 V OUTLET
- INDICATES SMOKE DETECTOR
- INDICATES CARBON MONOXIDE DETECTOR
- INDICATES DECORATIVE WALL SCONCE INTERIOR FIXTURE
- INDICATES (INDOOR/OUTDOOR) LIGHT/FAN



1ST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



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JULY 9, 2021

DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	A-7

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**A RENOVATION & ADDITION FOR
LEX & ALISON MAYERS**

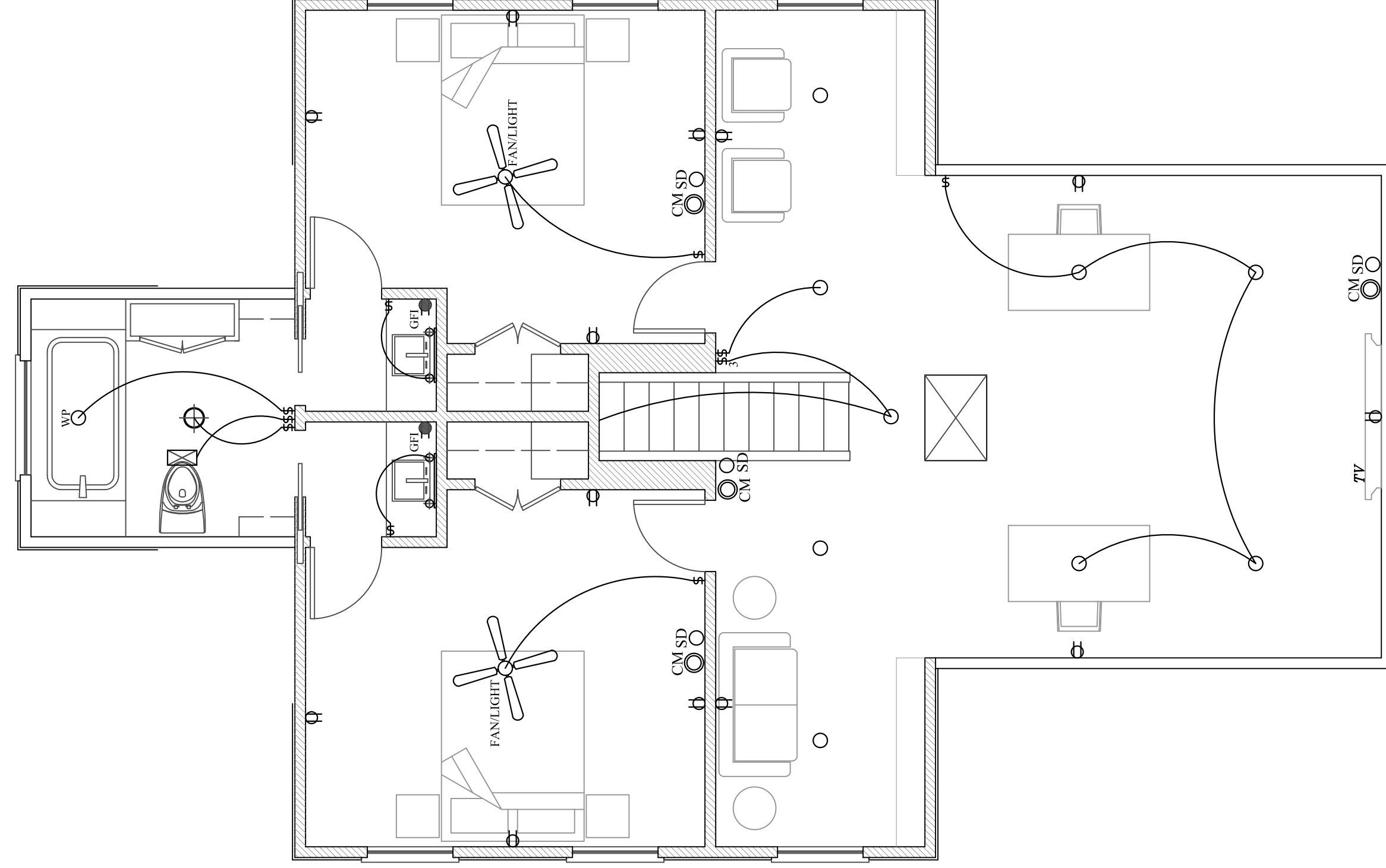
1111 AUSTIN AVENUE NE ATLANTA, GA. 30307

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REVISIONS	

ELECTRICAL SYMBOLS

- INDICATES SECURITY SOFFIT LIGHTING
- INDICATES BATHROOM EXHAUST FAN
- INDICATES DECORATIVE EXTERIOR FIXTURE
- INDICATES DECORATIVE CEILING MOUNTED INTERIOR FIXTURE
- INDICATES 6" RECESSED LIGHT
- INDICATES 2X4 FLORESCENT LIGHT FIXTURE
- INDICATES SMALLER FLORESCENT LIGHT FIXTURE
- INDICATES DECORATIVE LIGHT BAR (SCONCE)
- INDICATES 110 VOLT OUTLET
- INDICATES ELECTRIC CAR OUTLET - 40 AMP / 240 VOLT
- INDICATES UNDER CABINET LIGHTING
- INDICATES ABOVE KITCHEN COUNTER GFI 110 V OUTLET
- SPO INDICATES SMOKE DETECTOR
- CMO INDICATES CARBON MONOXIDE DETECTOR
- INDICATES DECORATIVE WALL SCONCE INTERIOR FIXTURE
- INDICATES (INDOOR/OUTDOOR) LIGHT/FAN



2ND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



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DATE	JOB #
3/9/21	
DRAWN	SHEET
C.M.	A-8

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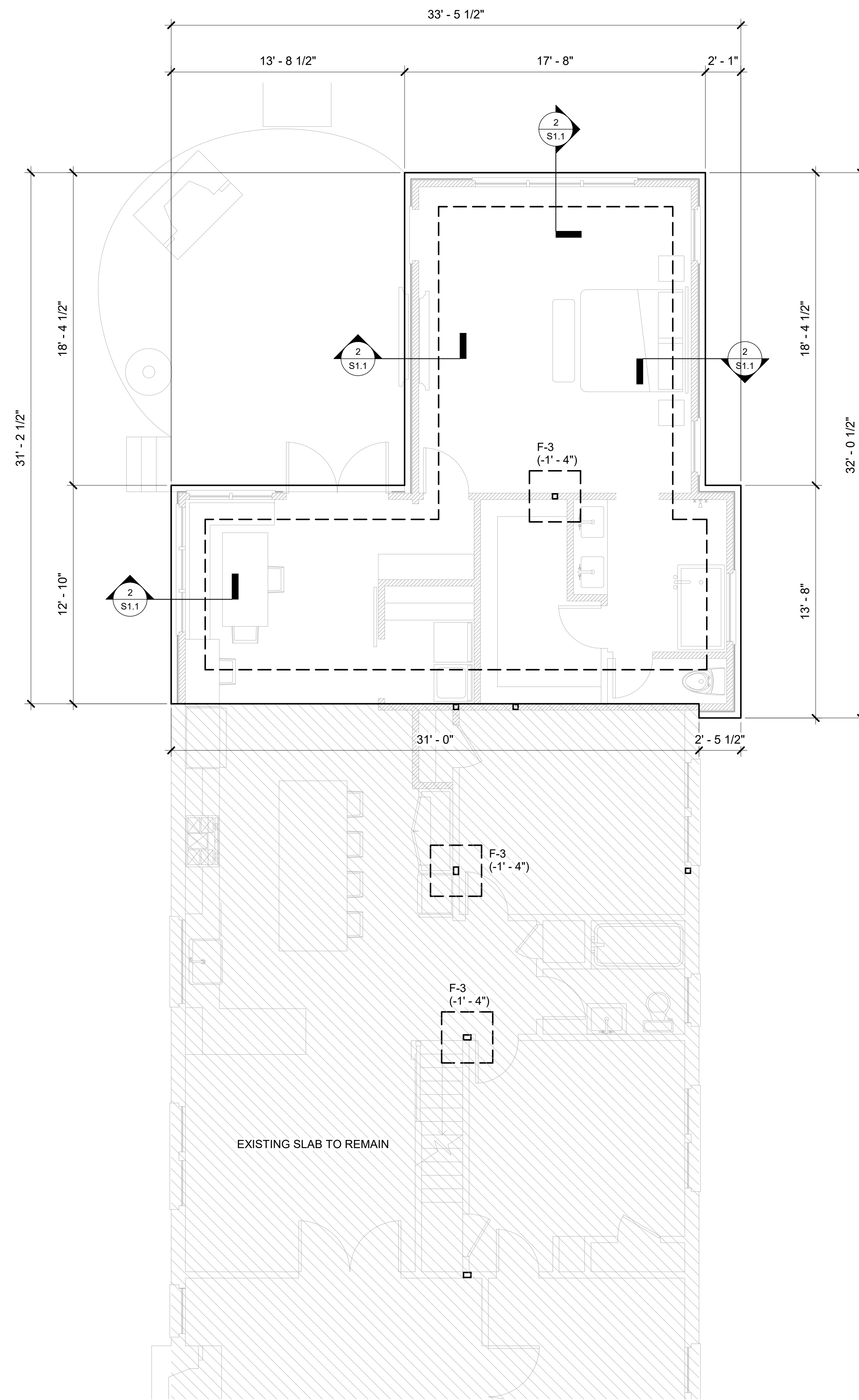
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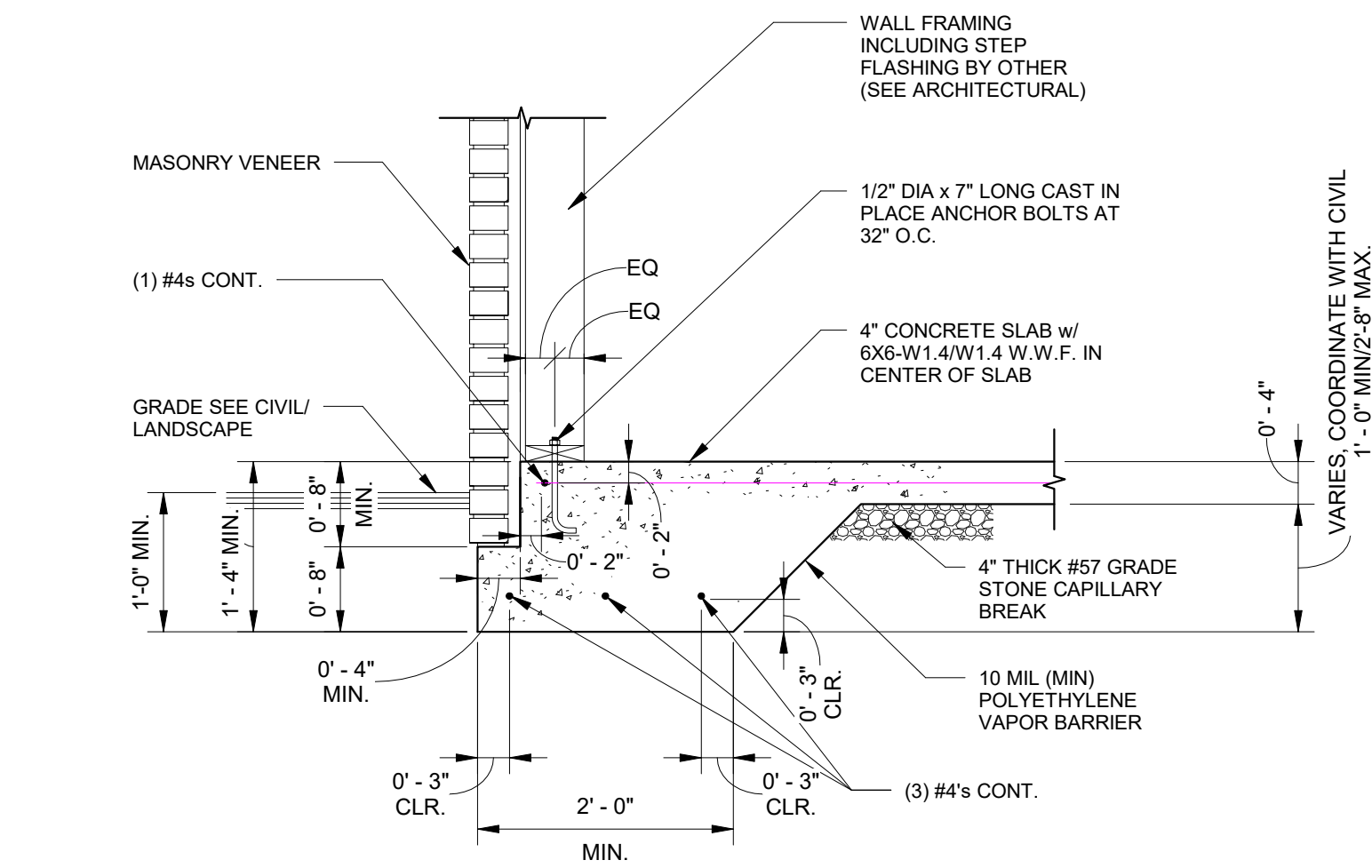
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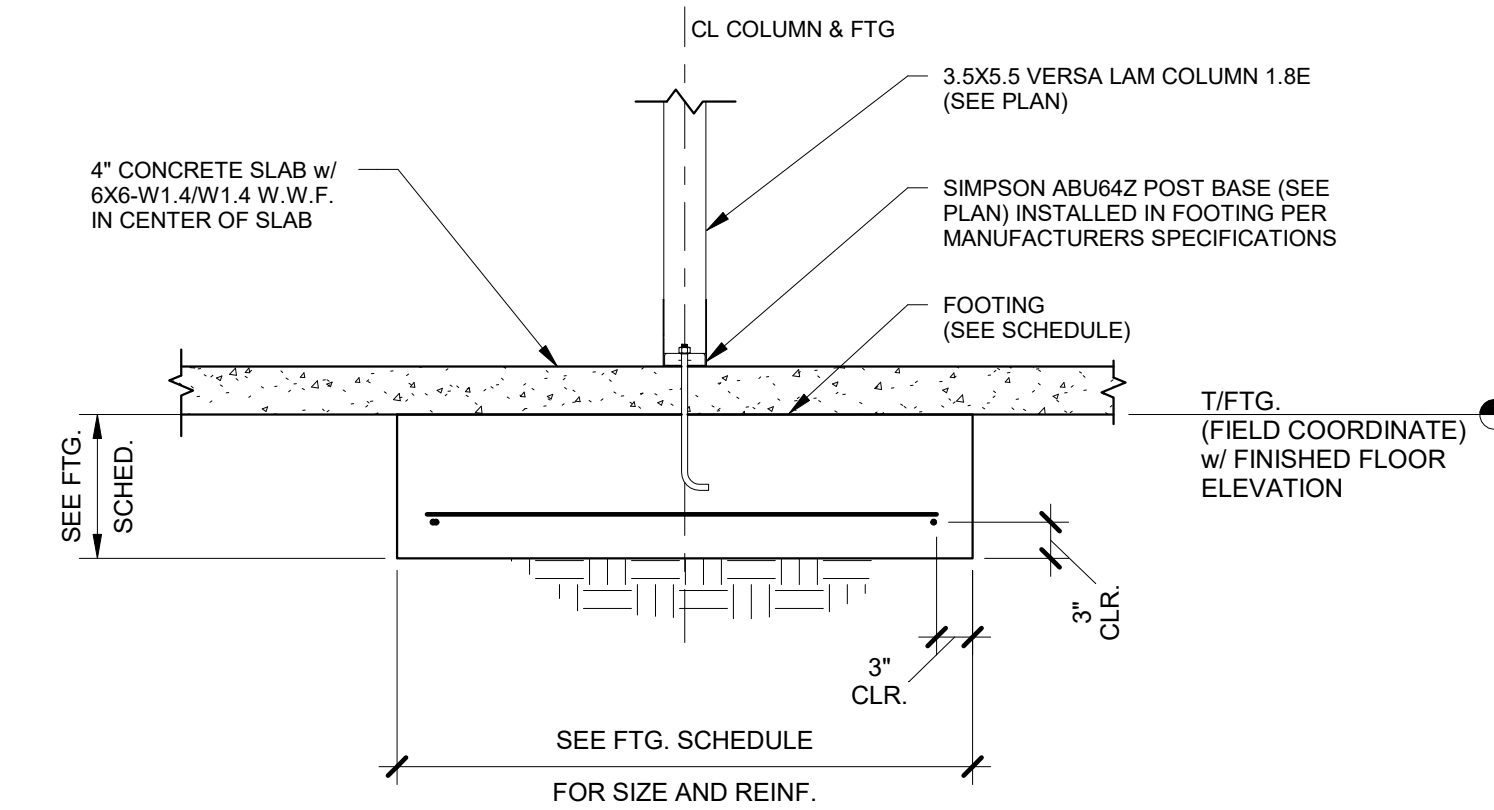
REVISIONS	



1
S1.1
Foundation Plan
1/4" = 1'-0"



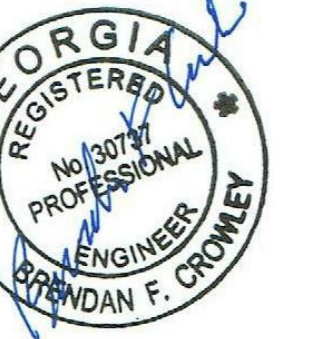
2
S1.1
TURN-DOWN w/ BRICK
3/4" = 1'-0"



3
S1.1
FOOTING SECTION
3/4" = 1'-0"

Structural Footing Schedule		
Mark	DIMENSIONS L X W X THICKNESS	Reinforcing
F-3.0	3'-0"x3'-0"x12"	

- FOUNDATION NOTES:**
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
 - MAINTAIN MINIMUM 12" OF COVER AT ALL EXTERIOR FOOTINGS



REVISIONS

PROJECT

Mayers Residence

ADDRESS
1111 Austin Avenue NE,
Atlanta, GA 30307

CLIENT

Lex & Alison Mayers

ADDRESS
1111 Austin Avenue NE,
Atlanta, GA 30307

SHEET TITLE

FOUNDATION PLAN

Date:
09-24-2021

PROJECT NUMBER
21231

SHEET NUMBER

S1.1