



Your Home. You're Home. adam@adamstillman.net (770) 330-3389

1031 Austin Avenue NE

Atlanta, Georgia

OWNER/CONTRACTOR/24 HR CONTACT Shayna Gross 360 SINCLAIR AVE. NE ATLANTA, GA 30307 609-350-3884	ARCHITECT ADAM STILLMAN 270 08 Lond Lane Lakemont GA 30952 770-330-3389
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STANDARD CONSTRUCTION CODES:
 International Building Code, 2018 Edition, with Georgia Amendments (2020)
 International Residential Code, 2018 Edition, with Georgia Amendments (2020)
 International Fire Code, 2018 Edition (no Georgia Amendments)
 International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
 International Mechanical Code, 2018 Edition, with Georgia Amendment (2020)
 International Fuel Gas Code, 2018 Edition, with Georgia Amendment (2020)
 National Electrical Code, 2017 Edition (no Georgia Amendments)
 International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
 International Swimming Pool and Spa Code, 2018 Edition, with GA Amendments (2020)
 2018 NFPA 101 - Life Safety Code 2018 Edition with State Amendments (2020)

FLOOD HAZARD: NO
TYP. DEAD LOADS: 10 psf
TYP. LIVE LOADS: 40 psf
TYP. ROOF LOADS: 20 psf LIVE/15 psf DEAD
WIND SPEED/CATEGORY: 115 mph/B
TERMITE: SEVERE
WEATHER: MODERATE
FROST LINE DEPTH: 12"
MEAN ANNUAL TEMP: 66.2°
WINTER DESIGN TEMP: 22°
GROUND SNOW LOAD: 5 psf
SEISMIC DESIGN CATEGORY: B

PROJECT NAME: Austin Avenue Triplex
SCOPE OF WORK: Restore original upper level to front porch; replace non-historic front doors and porch railings; NO SITE WORK.
TYPE OF CONSTRUCTION: V-B
NUMBER OF STORIES: 2+basement
BUILDING HEIGHT: 28.5'

DRAWING INDEX:
 A-0 COVER SHEET
 S-1 SITE PLAN
 A-1 FLOOR PLANS
 A-2 FRONT & LEFT ELEVATIONS
 A-3 RIGHT ELEVATIONS

FLOOR AREAS:

MAIN (EXISTING):	1026 sf
UPPER (EXISTING):	993 sf
BASEMENT (EXISTING):	489 sf
TOTAL:	2508 sf

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ISSUED FOR CONSTRUCTION

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title	COVER SHEET
scale	-
drawn	checked
date	sheet no.
01-03-2022	A-0
project no.	
1031Austin	

OWNER/CONTRACTOR/24 HR CONTACT

ARCHITECT

Shayna Gross
360 SINCLAIR AVE NE
ATLANTA, GA 30307
609-350-3864

ADAM STILLMAN
270 08 Land Lane
Lokermont GA 30552
770-330-3389

Before starting land-disturbance activities, the Contractor is required to schedule a pre-construction meeting with Erosion & Sediment Control. Call (404) 546-1300.

- NOTES: 1. DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED. 2. SEPARATE PERMIT IS REQUIRED FOR SIDEWALK AND/OR DRIVEWAY CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY CONTACT TECHNICAL SERVICES AT (404) 330-6039. 3. SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181- TEMPORARY SILT FENCE, OF THE GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION. 4. MAINTENANCE STATEMENT- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR. 5. STATEMENT- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEMONSTRATED NECESSARY BY ON-SITE INSPECTION. 6. NO GRADED SLOPE SHALL EXCEED 2H:1V. 7. PROPERTY ADDRESS = 1031 Austin Ave NE ATLANTA, GEORGIA. 8. TOTAL LOT AREA = 0.083 acre. 9. TOTAL AREA DISTURBED: 0.00 acre. 10. CUT ± 0 C.Y. FILL ± 0 C.Y. BALANCE DIRT ON SITE. DEMOLITION DEBRIS ± 6 C.Y. 11. THE BENCHMARK FOR THIS SITE Topo survey by Surveyland Express. 12. PROPERTY IS NOT IN 100 YEAR FLOOD PLAIN. FEMA MAP 13121C0263C 09/18/13. 13. OWNER: Shayna Gross

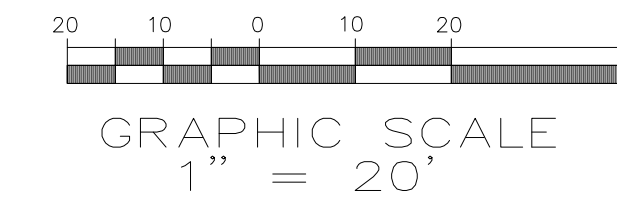
TREE REPLACEMENT CALCULATION CHART. TREES RECOMPENSE: \$ AMOUNT = \$100.00[(# OF TREES DESTROYED + # OF TREES LOST) - # OF TREES REPLACED] + \$30.00 [(# DBH INCHES DESTROYED + # DBH INCHES LOST) - # CALIPER INCHES REPLACED].

CONTOUR TYPE: -- EXISTING TO REMAIN, - - EXISTING TO BE REMOVED, — NEW CONTOUR

NOTE: NO SITE WORK REQUIRED

NO GRADED SLOPES SHALL EXCEED 2H:1V

NO WATERS OF THE STATE EXIST WITHIN 200' OF THE PROJECT SITE



SURVEY/SITE PLAN (UNCHANGED)

1" = 20'-0"

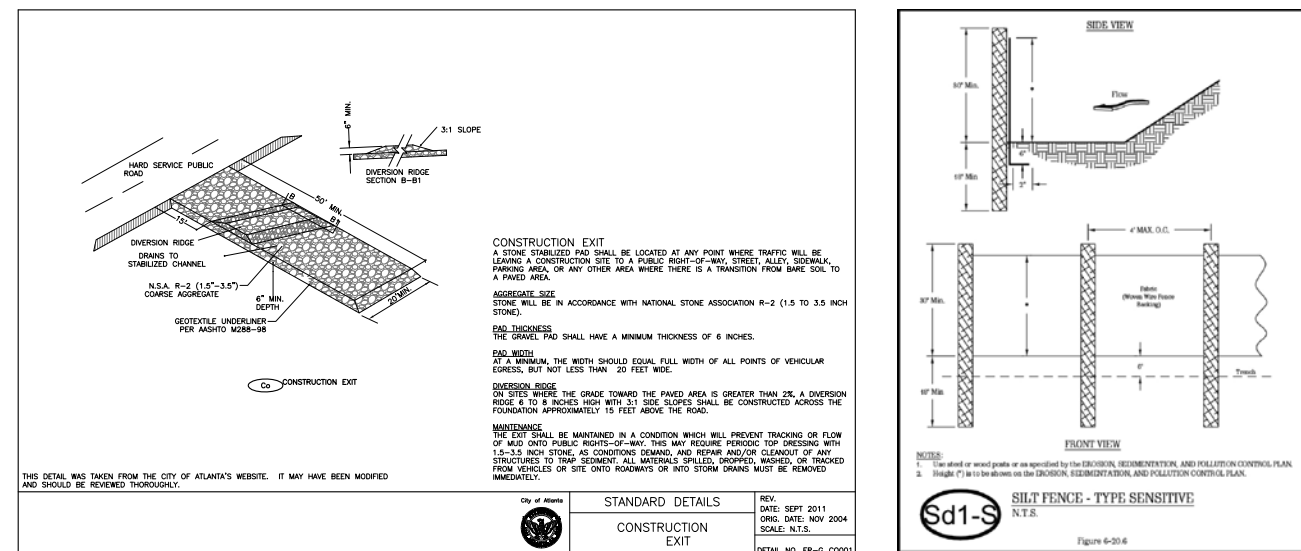
- Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY). Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION). Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING). Ds4 DISTURBED AREA STABILIZATION (WITH SODDING).

EROSION AND SEDIMENT CONTROL PRACTICES

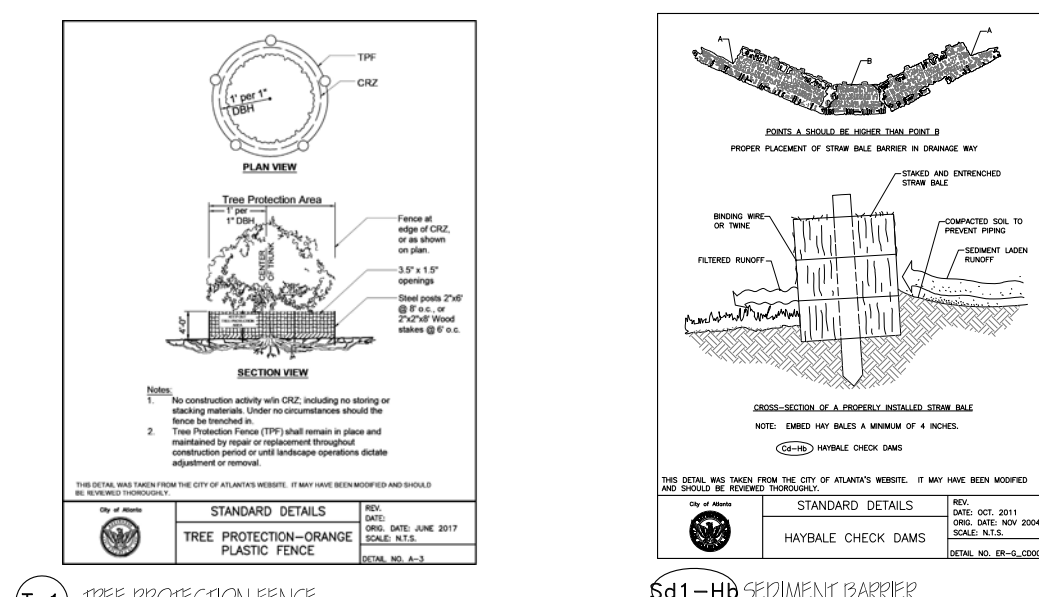
- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures prior to or concurrent with land-disturbance activities. Erosion and sediment control measures shall be maintained at all times. Disturbed areas idle 14 days shall be stabilized with temporary vegetation; disturbed areas idle 30 days shall be stabilized with permanent vegetation. Erosion and sediment control measures shall be inspected at least twice weekly, after each rain, and repaired as necessary.

VEGETATIVE PLAN

- FALL SEEDING: Treat soil with 40lbs/1000sf lime, till soil, and water thoroughly. Seed with 6-lbs./1000sf Bermuda (Cynodon dactylon) and Centipede (Eremochloa ophiuroides) with 4lbs/1000sf starter fertilizer (20-27-5) and mulch with straw at a rate of 1 bale/800sf. SPRING SEEDING: Treat soil with 40lbs/1000sf lime, till soil, and water thoroughly. Seed with 6-lbs./1000sf Ryegrass (Lolium multiflorum) and Red Fescue (Festuca rubra) with 4lbs/1000sf starter fertilizer (20-27-5) and mulch with straw at a rate of 1 bale/800sf.



CONSTRUCTION EXIT



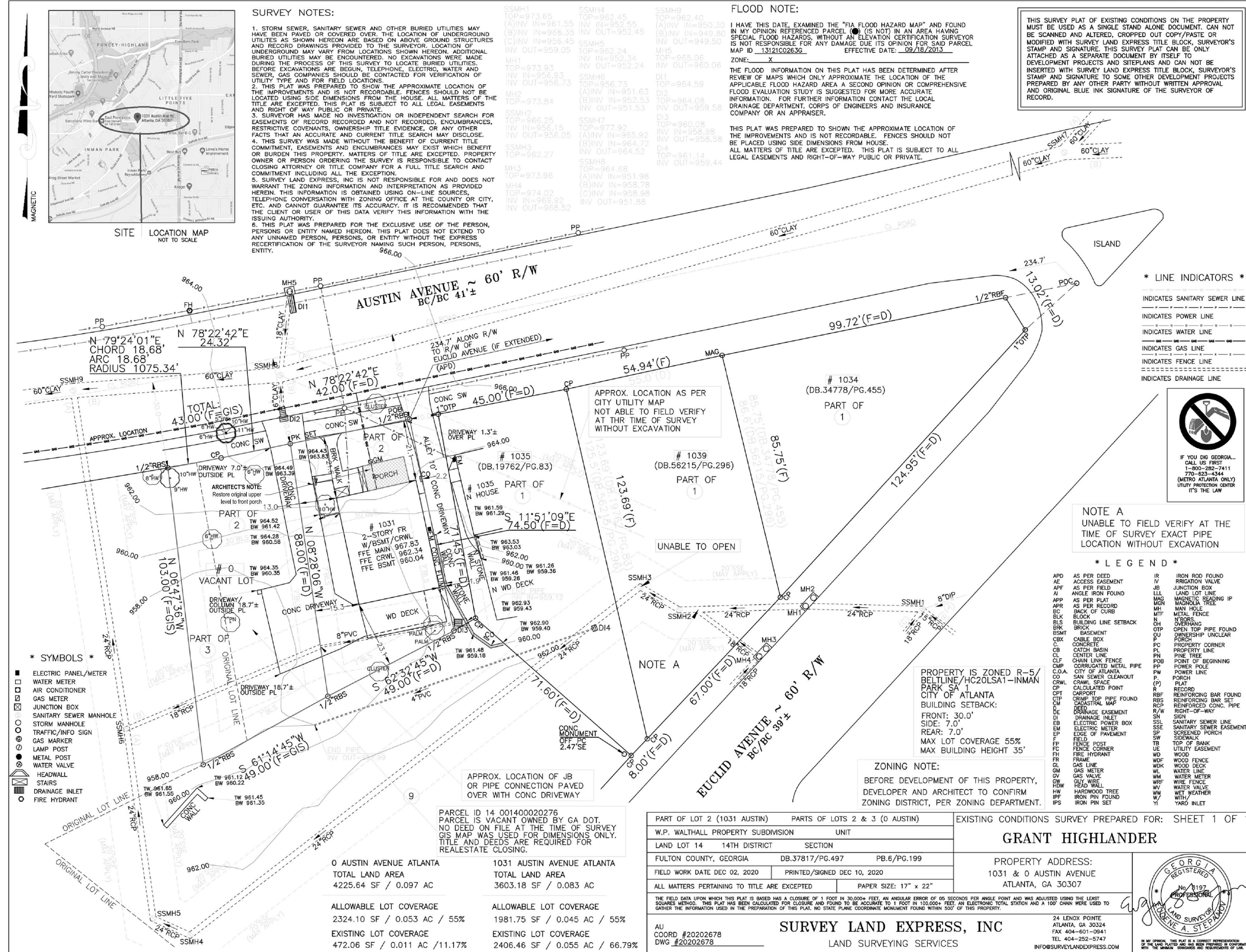
TREE PROTECTION FENCE

SEDIMENT BARRIER

PROPERTY ZONED R-5/HC-20/USA-1. LOT SIZE = 3603 sf (0.083 acre). MAX. FLOOR AREA RATIO = 0.50. ACTUAL FLOOR AREA RATIO = 0.70 (EXISTING).

LOT COVERAGE CALCULATIONS (UNCHANGED). HOUSE/PORCH: 1192 sf. DECK: 336 sf. DRIVEWAY: 618 sf. WALK/STEPS: 164 sf. CONC. PATIO/FLOODE: 92 sf. WALLS: 4 sf. TOTAL: 2406 sf.

FLOOR AREAS: MAIN (EXISTING): 1026 sf. UPPER (EXISTING): 993 sf. BASEMENT (EXISTING): 489 sf. TOTAL: 2508 sf.



SURVEY NOTES: 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES.

FLOOD NOTE: I HAVE, THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL (S NOT) IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL.

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS.

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA. A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

- * LINE INDICATORS * INDICATES SANITARY SEWER LINE, INDICATES POWER LINE, INDICATES WATER LINE, INDICATES GAS LINE, INDICATES FENCE LINE, INDICATES DRAINAGE LINE.



IF YOU DIG GEORGIA CALL US FIRST 1-800-292-7411 770-883-4344 (METRO ATLANTA ONLY) OTHER PROFESSIONAL CENTER IT'S THE LAW.

NOTE A: UNABLE TO FIELD VERIFY AT THE TIME OF SURVEY EXACT PIPE LOCATION WITHOUT EXCAVATION.

LEGEND table listing symbols for various features like APD, APP, APR, etc., and their corresponding descriptions.

ZONING NOTE: BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

Table with 2 columns: 0 AUSTIN AVENUE ATLANTA (TOTAL LAND AREA 4225.64 SF / 0.097 AC) and 1031 AUSTIN AVENUE ATLANTA (TOTAL LAND AREA 3603.18 SF / 0.083 AC).

Project information including: PART OF LOT 2 (1031 AUSTIN), PARTS OF LOTS 2 & 3 (0 AUSTIN), EXISTING CONDITIONS SURVEY PREPARED FOR: SHEET 1 OF 1, GRANT HIGHLANDER, PROPERTY ADDRESS: 1031 & 0 AUSTIN AVENUE, ATLANTA, GA 30307, SURVEY LAND EXPRESS, INC. LAND SURVEYING SERVICES.



1031 Austin Avenue NE, Atlanta, Georgia

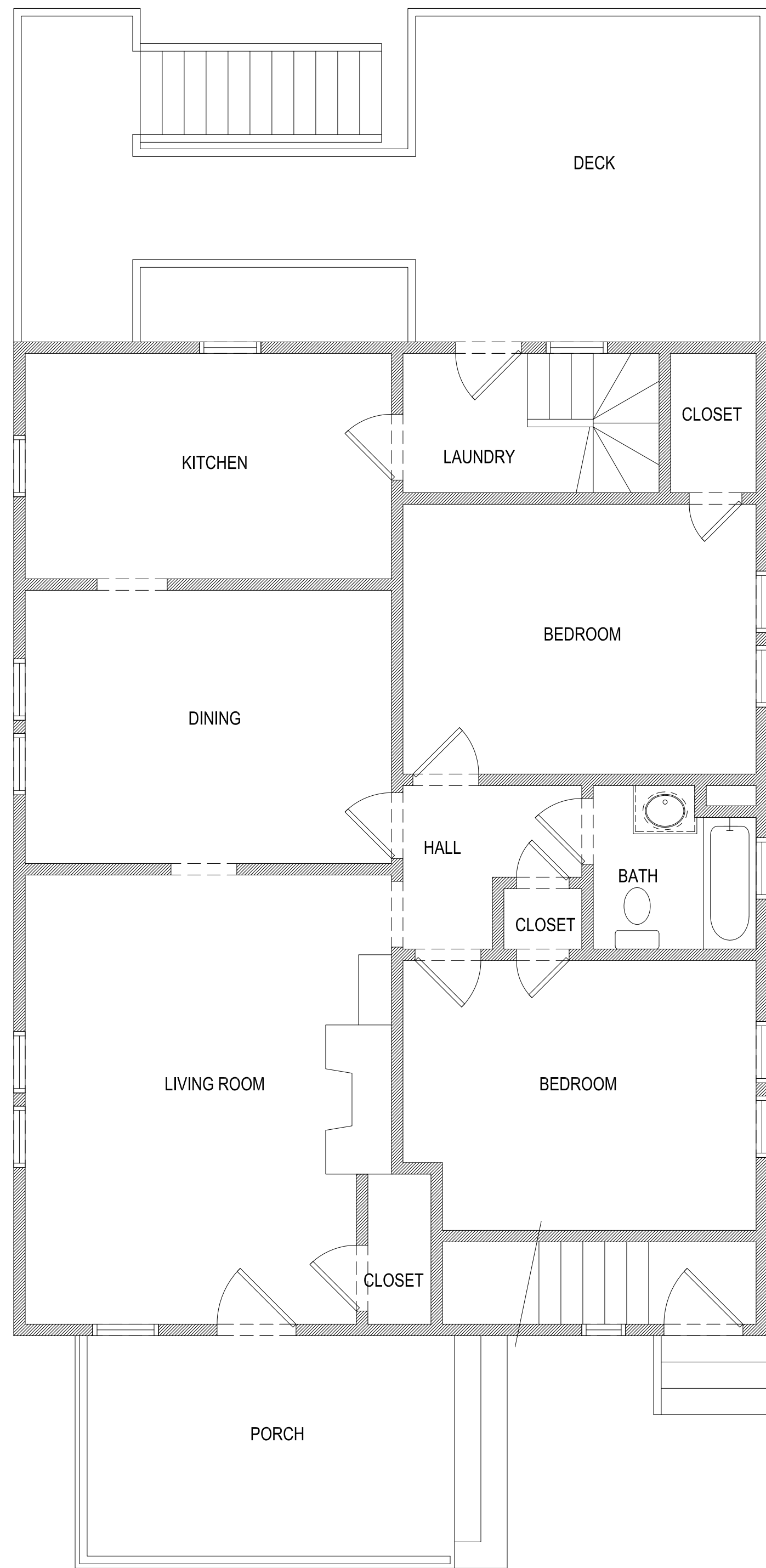
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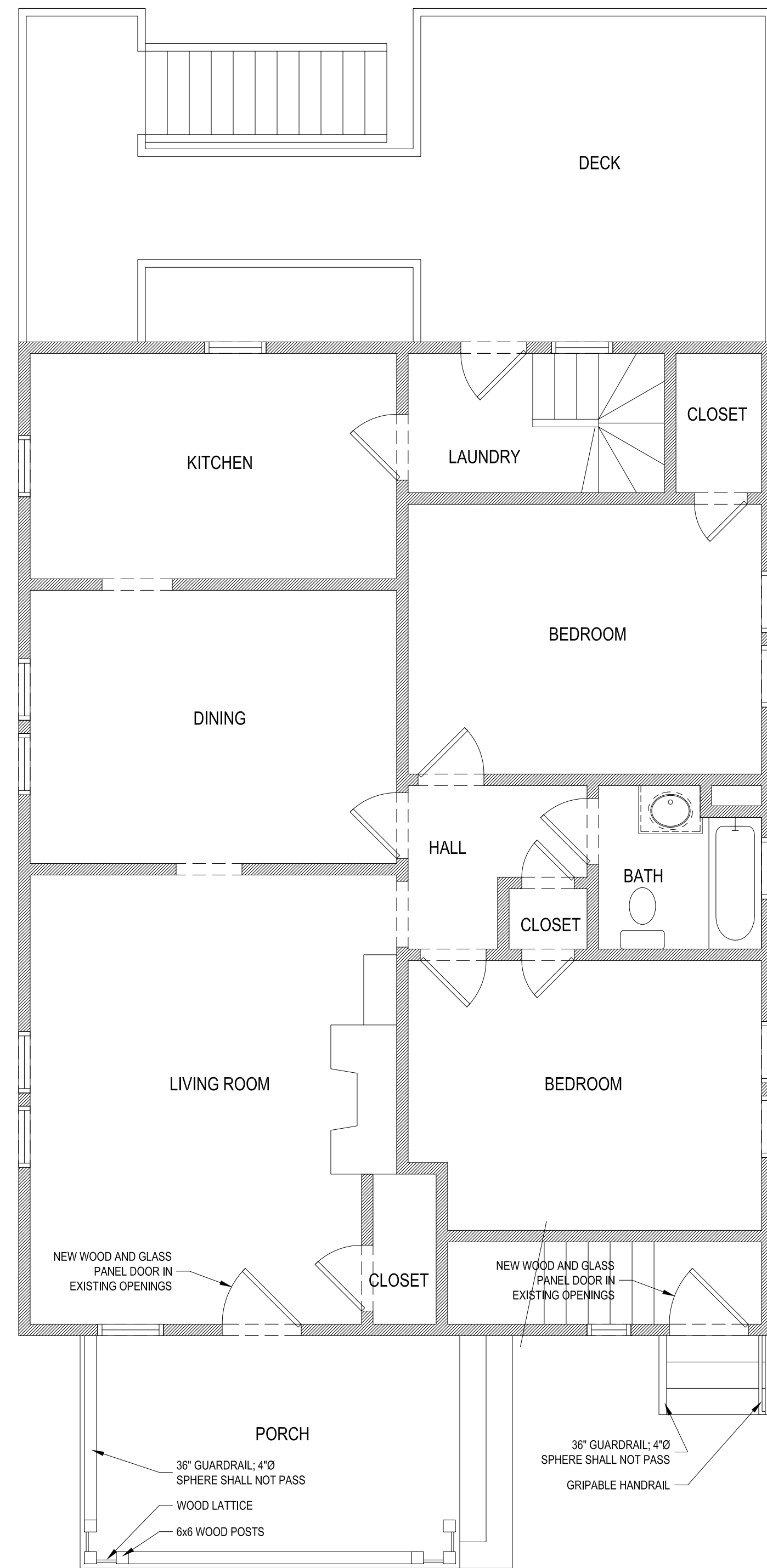
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Table with project details: title (SITE PLAN), scale (1" = 20'-0"), drawn (checked), date (01-03-2022), project no. (1031Austin), sheet no. (S-1).



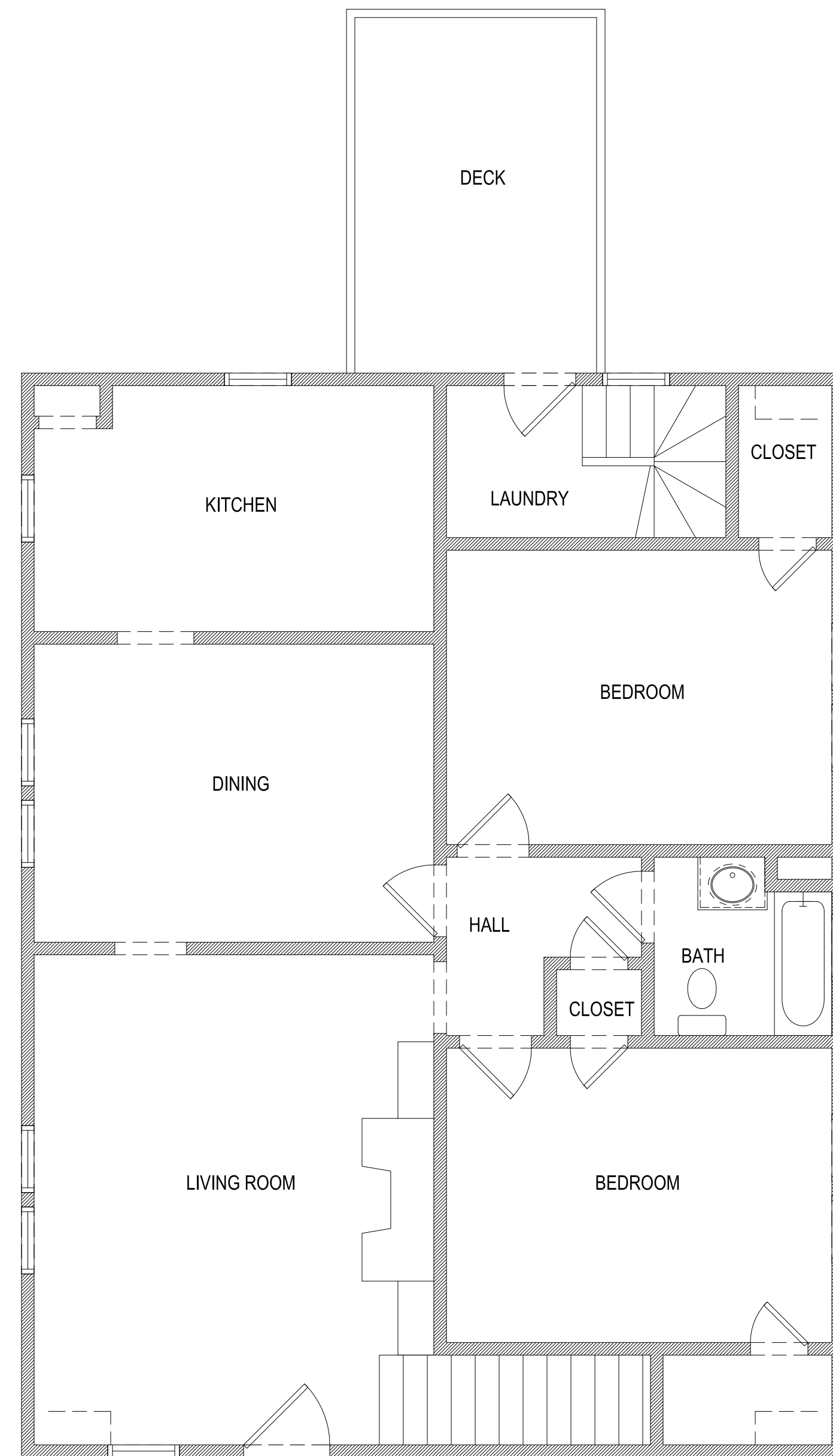
**EXISTING
MAIN LEVEL PLAN**

1/4" = 1'-0"



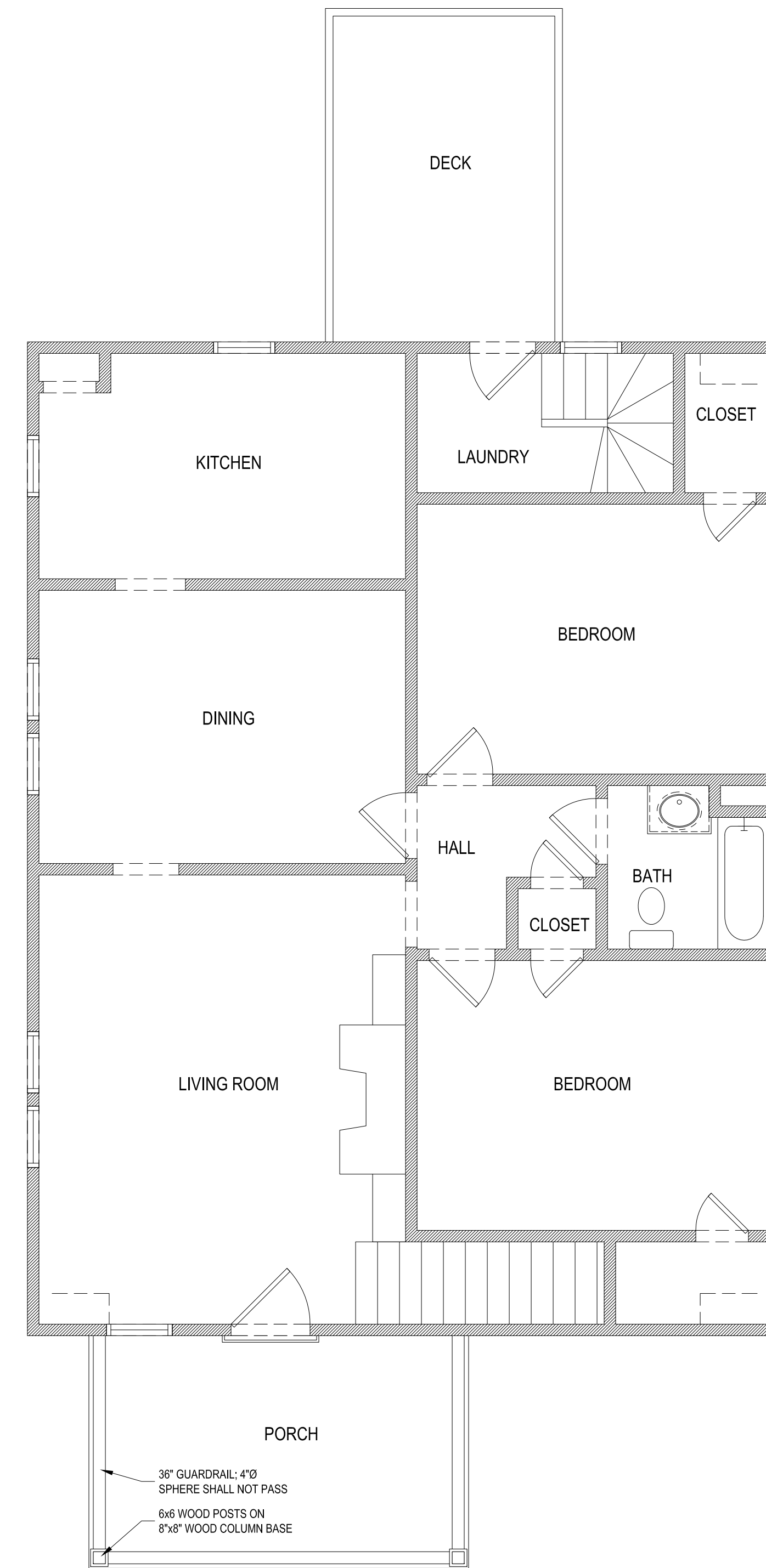
**PROPOSED
MAIN LEVEL PLAN**

1/4" = 1'-0"



**EXISTING
UPPER LEVEL PLAN**

1/4" = 1'-0"



**PROPOSED
UPPER LEVEL PLAN**

1/4" = 1'-0"

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title
FLOOR PLANS

scale
1/4" = 1'-0"

drawn checked

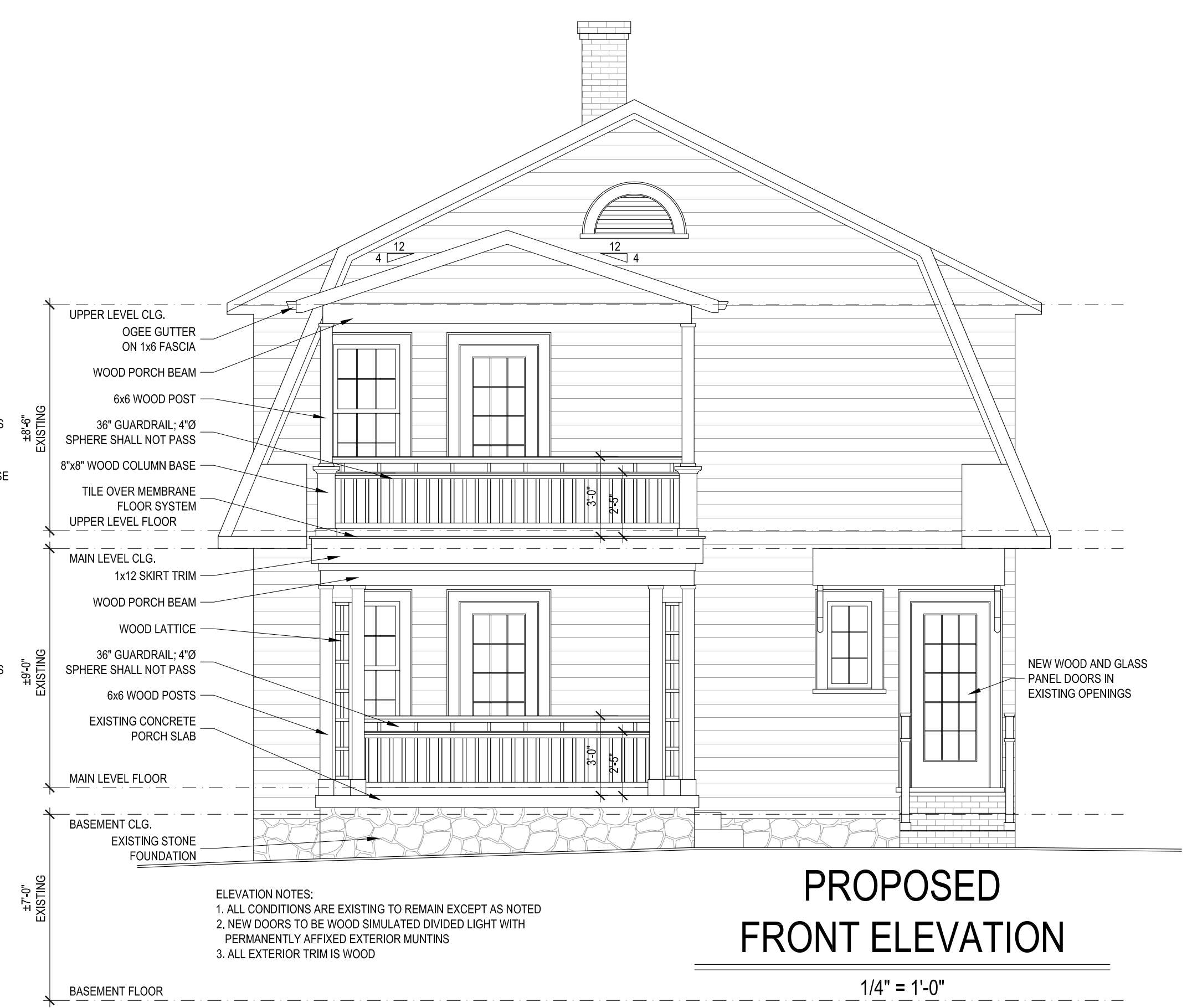
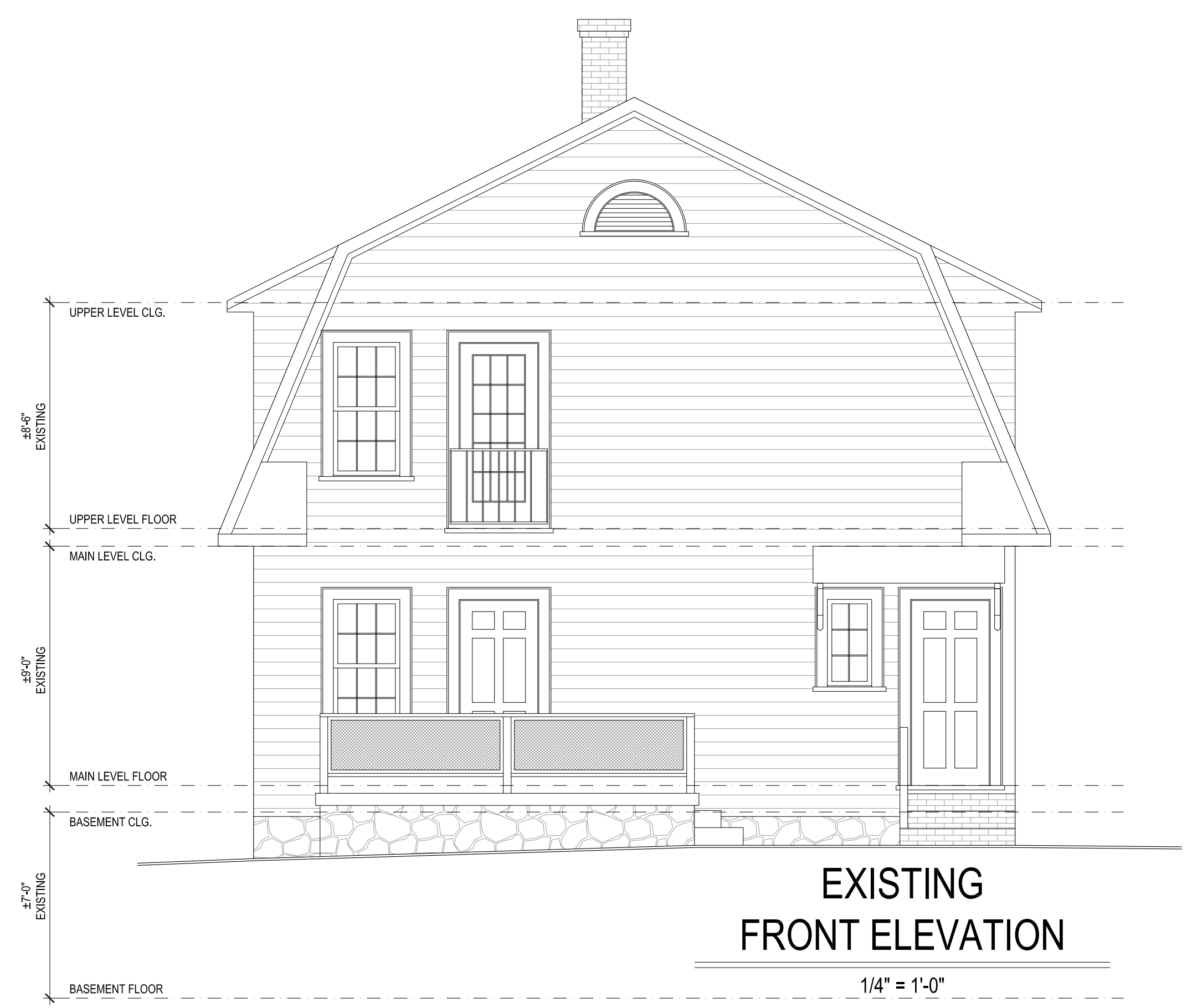
date
01-03-2022

project no.
1031Austin

sheet no.

A-1

1031 Austin Avenue NE
Atlanta, Georgia



ELEVATION NOTES:
1. ALL CONDITIONS ARE EXISTING TO REMAIN EXCEPT AS NOTED
2. NEW DOORS TO BE WOOD SIMULATED DIVIDED LIGHT WITH PERMANENTLY AFFIXED EXTERIOR MUNTINS
3. ALL EXTERIOR TRIM IS WOOD

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title
FRONT & LEFT ELEVATIONS

scale
1/4" = 1'-0"

drawn checked

date
01-03-2022

project no.
1031Austin

sheet no.
A-2

1031 Austin Avenue NE
Atlanta, Georgia



**EXISTING
RIGHT ELEVATION**

1/4" = 1'-0"



**PROPOSED
RIGHT ELEVATION**

1/4" = 1'-0"

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title
RIGHT ELEVATIONS

scale
1/4" = 1'-0"

drawn **checked**

date

01-03-2022

project no.

1031Austin

sheet no.

A-3