



## 390 Sinclair Avenue NE - Project Description

This Type III COA application is submitted for renovations and additions to the existing house at 390 Sinclair Avenue NE. The house is older than the 1928 date listed in Fulton County records; although not appearing on 1911 Sanborn Map Company panel 196, permit records show construction commenced on the house in 1911.

Proposed renovations to the existing house:

1. Remove non-historic additions from rear of house, including a deck, screen porch, and shed-roof addition containing an office, closet, and powder room.
2. Finish portion of existing basement with stair hall, bedroom, bathroom, closets, and laundry room.
3. Replace non-historic aluminum windows on the basement level with new windows meeting bedroom egress requirements (left side) and bathroom safety glazing requirements (right side.)
4. Install parge coat stucco over existing CMU foundation walls

Proposed additions to the house:

1. Construct new rear addition containing stair hall, pantry, expanded kitchen, and porch; basement level contains stair hall, closet, and office.

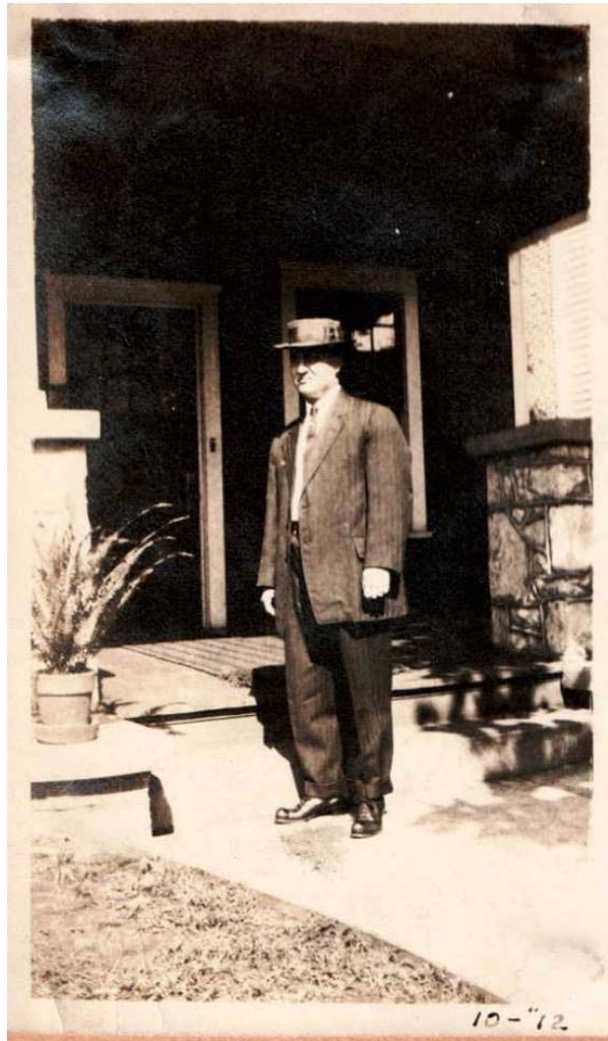


Photo of original owner Joseph Clarence Mathews in front of house, October 1912





Front of house



Rear of house



Left side from front



Right side from front





Left side from rear



Right side from rear



Non-historic screen porch and office addition to be removed



Non-historic deck to be removed

390 Sinclair Avenue NE

Atlanta, Georgia

PROPERTY ZONED R-5 / HC-20L/SA-1  
 LOT SIZE = 6582 sf (0.151 acre)  
 MAX. FLOOR AREA RATIO = 0.50  
 ACTUAL FLOOR AREA RATIO = 0.45  
 MAX. LOT COVERAGE = 55.0%  
 ACTUAL LOT COVERAGE = 34.2%  
 PROPOSED HOUSE REAR SETBACK: 70.9'  
 MINIMUM REAR SETBACK: 13.2' @ 378 Sinclair  
 MAXIMUM REAR SETBACK: 74.3' @ 382 Sinclair

**PROPOSED FLOOR AREAS:**  
 MAIN: 1183 sf  
 UPPER: 852 sf  
 BASEMENT: 924 sf\*  
**LOWER: 2959 sf**

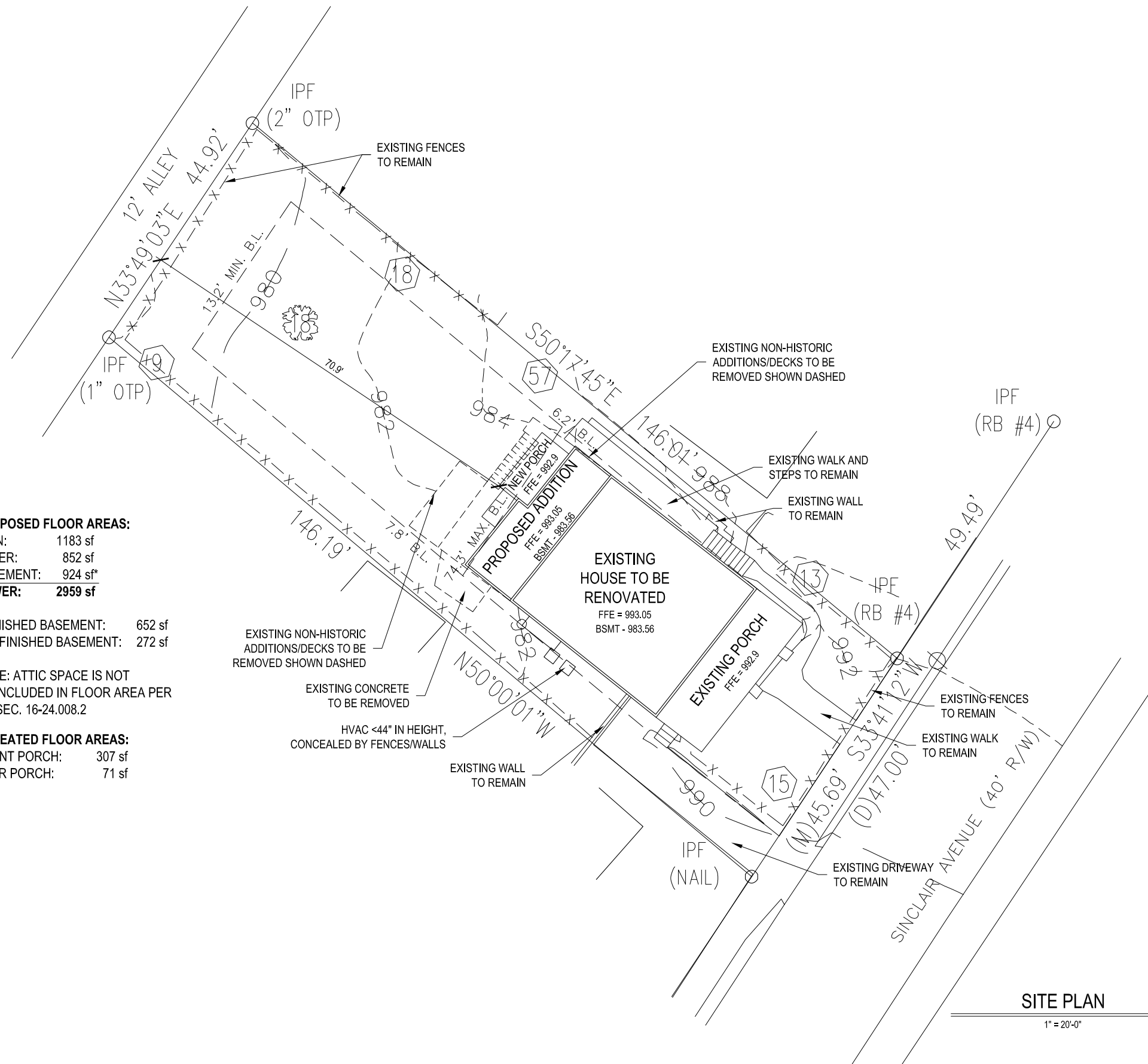
\* FINISHED BASEMENT: 652 sf  
 UNFINISHED BASEMENT: 272 sf

NOTE: ATTIC SPACE IS NOT INCLUDED IN FLOOR AREA PER SEC. 16-24.008.2

**UNHEATED FLOOR AREAS:**  
 FRONT PORCH: 307 sf  
 REAR PORCH: 71 sf

**LOT COVERAGE CALCULATIONS:**

	EXISTING	PROPOSED
HOUSE/PORCHES/DECKS:	1768 sf	1561 sf
WALKS/STEPS:	369 sf	337 sf
DRIVEWAY:	298 sf	298 sf
WALLS:	41 sf	41 sf
HVAC:	7 sf	13 sf
<b>TOTAL =</b>	<b>2483 sf</b>	<b>2250 sf</b>

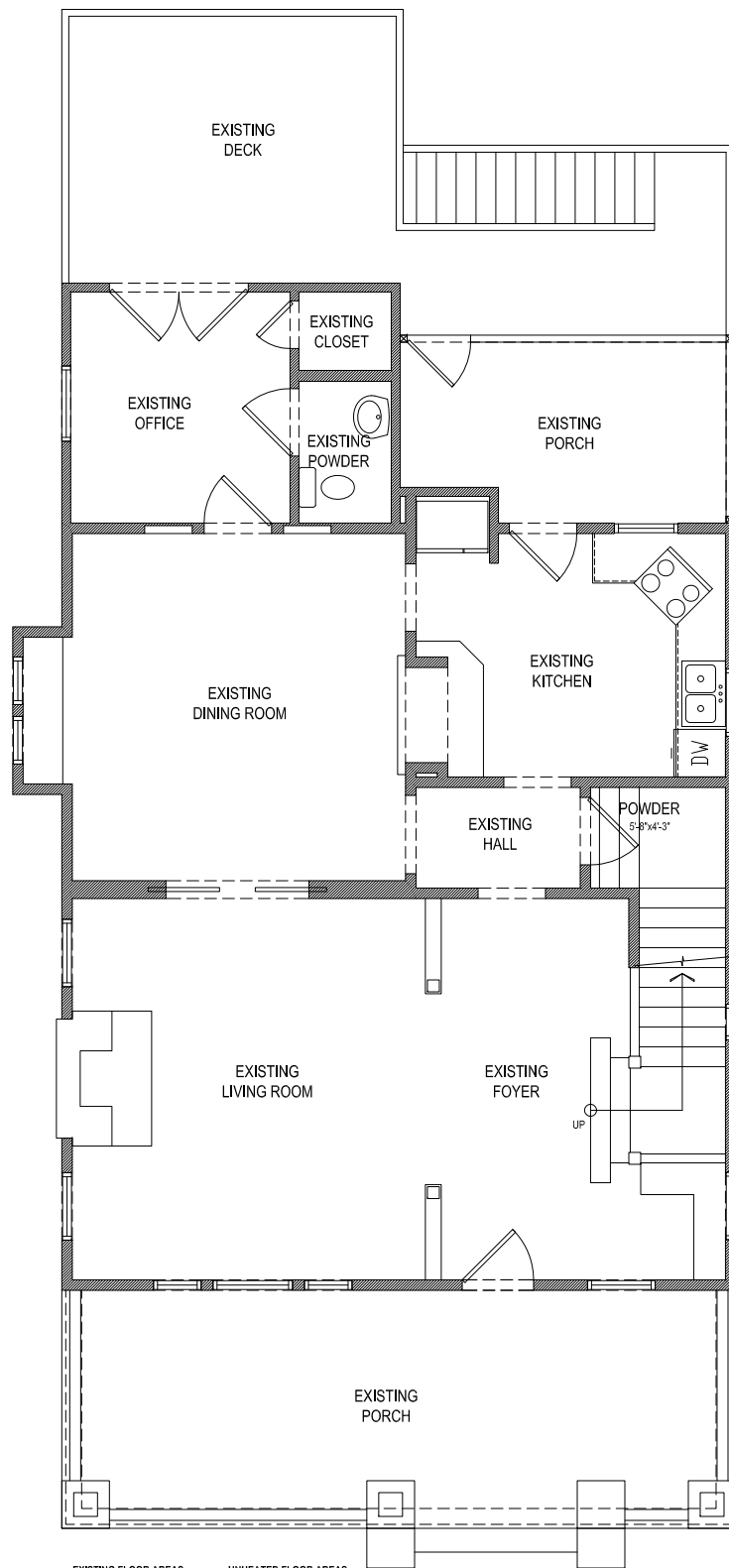


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title SITE PLAN	
scale 1" = 20'-0"	
drawn APS	checked
date 03-11-2019	sheet no. S-1
project no. 390Sinclair	





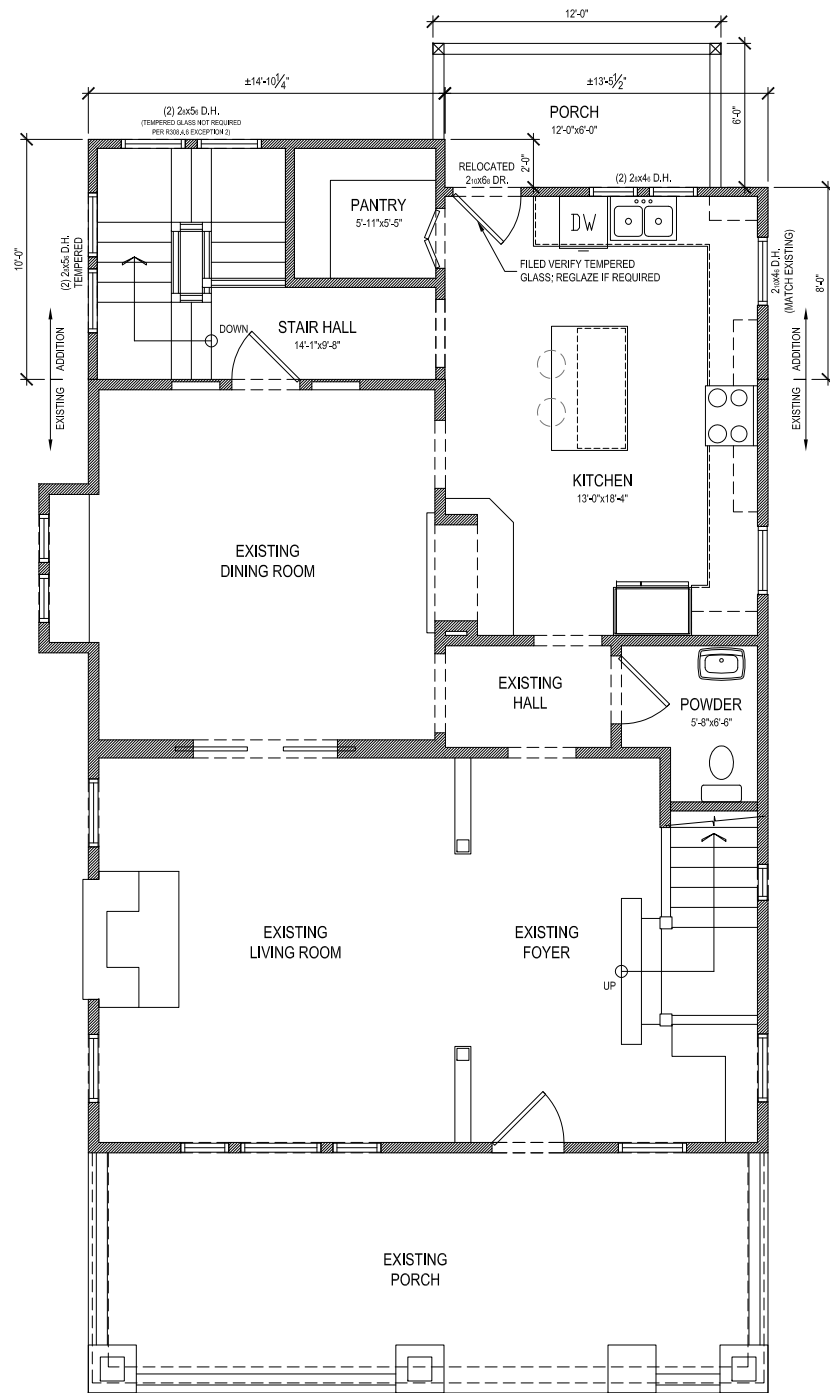
**EXISTING FLOOR AREAS:**  
 MAIN: 1076 sf  
 UPPER: 852 sf  
 BASEMENT: 654 sf  
 LOWER: 2582 sf

**UNHEATED FLOOR AREAS:**  
 FRONT PORCH: 307 sf  
 REAR PORCH: 105 sf  
 DECK: 280 sf

\* UNFINISHED

**EXISTING  
 MAIN LEVEL FLOOR PLAN**

1/8" = 1'-0"



**PROPOSED FLOOR AREAS:**  
 MAIN: 1183 sf  
 UPPER: 852 sf  
 BASEMENT: 924 sf  
 LOWER: 2959 sf

**UNHEATED FLOOR AREAS:**  
 FRONT PORCH: 307 sf  
 REAR PORCH: 71 sf

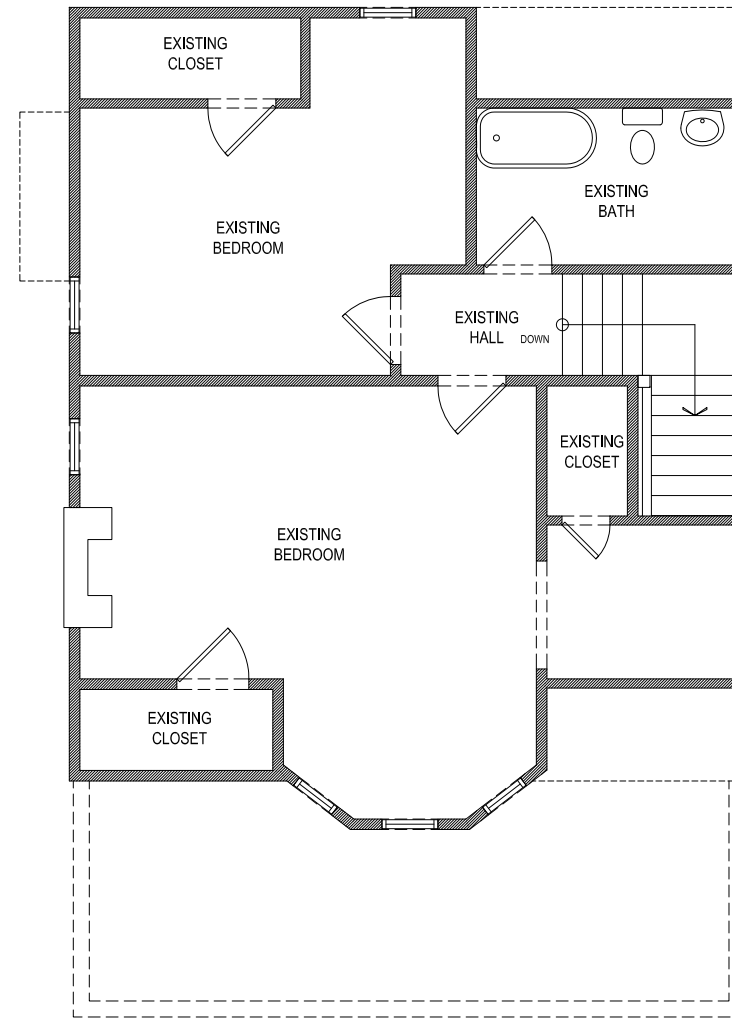
\* FINISHED BASEMENT: 652 sf  
 UNFINISHED BASEMENT: 272 sf

— EXISTING WALL  
 — NEW WALL - 2x4 @ 16" O.C.

**FLOOR PLAN NOTES:**  
 1. DIMENSIONS MEASURED FROM FINISH FACE OF SHEATHING / GYP. BOARD  
 2. NEW DOORS AND CASED OPENINGS TO BE 6" FROM ADJACENT WALL UNLESS NOTED OTHERWISE  
 3. DOORS AND WINDOWS WITHOUT LABELS ARE EXISTING TO REMAIN  
 4. NEW DOORS AND WINDOWS TO BE WOOD AND BE SIMULATED DIVIDED LIGHT WITH PERMANENTLY AFFIXED EXTERIOR MUNTINS; GANGED WINDOWS TO HAVE 6" DIVIDING MULLIONS  
 5. SOME EXISTING CONDITIONS ARE ASSUMED DUE TO CONCEALMENT WITHIN FINISHED WALLS AND CEILINGS. FIELD MODIFICATIONS MAY BE REQUIRED

**PROPOSED  
 MAIN LEVEL FLOOR PLAN**

1/8" = 1'-0"



**EXISTING UPPER  
 LEVEL FLOOR PLAN (UNCHANGED)**

1/8" = 1'-0"



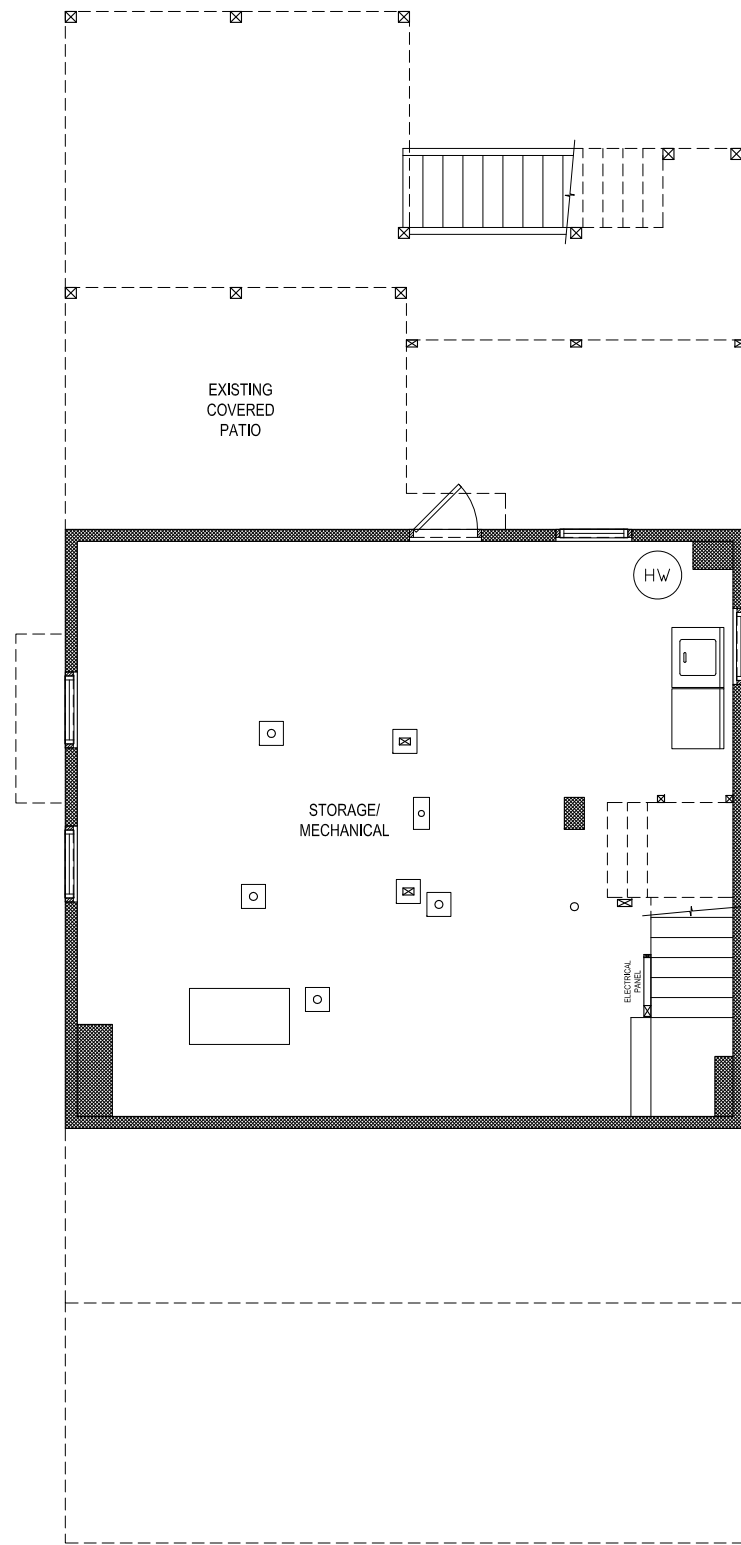
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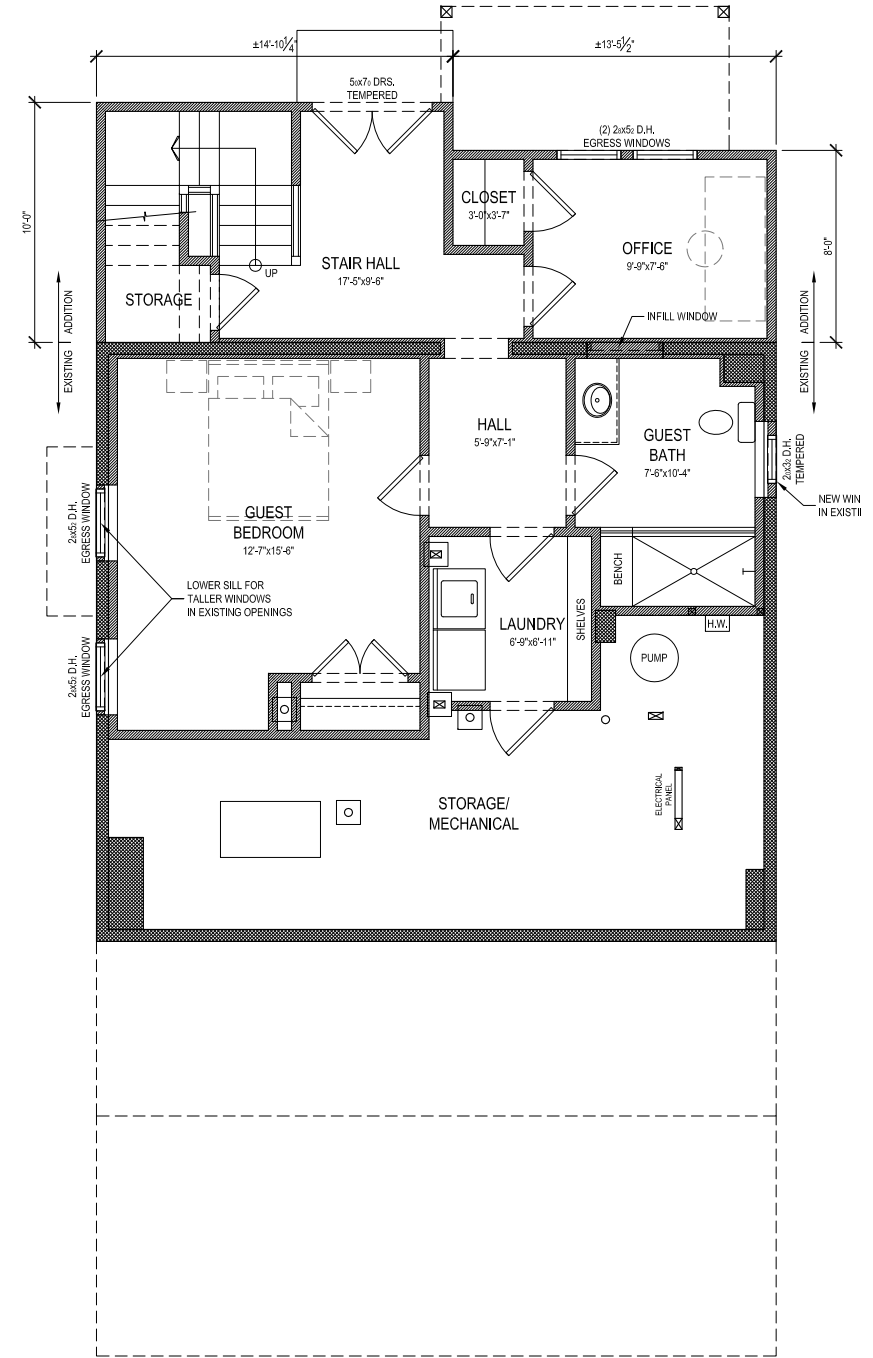
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<b>title</b> MAN & UPPER FLOOR PLANS	
<b>scale</b> 1/8" = 1'-0"	
<b>drawn</b> APS	<b>checked</b>
<b>date</b> 03-11-2019	<b>sheet no.</b> A-1
<b>project no.</b> 390Sinclair	



**EXISTING  
BASEMENT FLOOR PLAN**

1/8" = 1'-0"



**PROPOSED  
BASEMENT FLOOR PLAN**

1/8" = 1'-0"

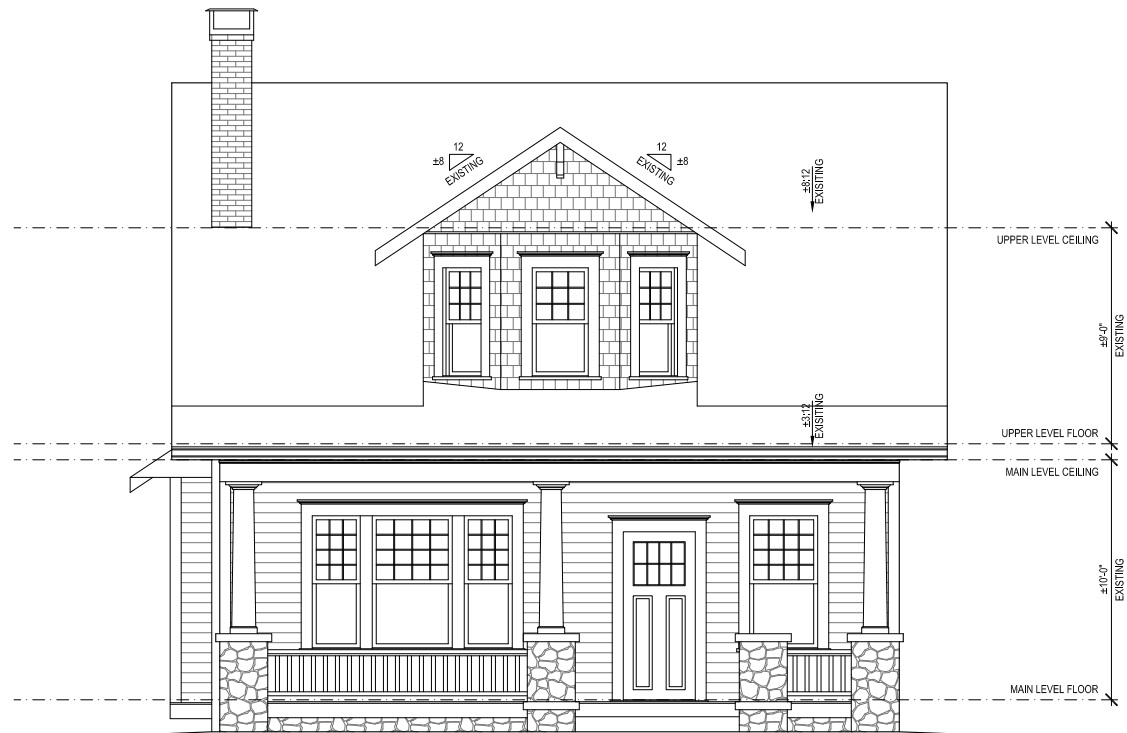
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title BASEMENT FLOOR PLANS	
scale 1/8" = 1'-0"	
drawn APS	checked
date 03-11-2019	sheet no. A-2
project no. 390Sinclair	

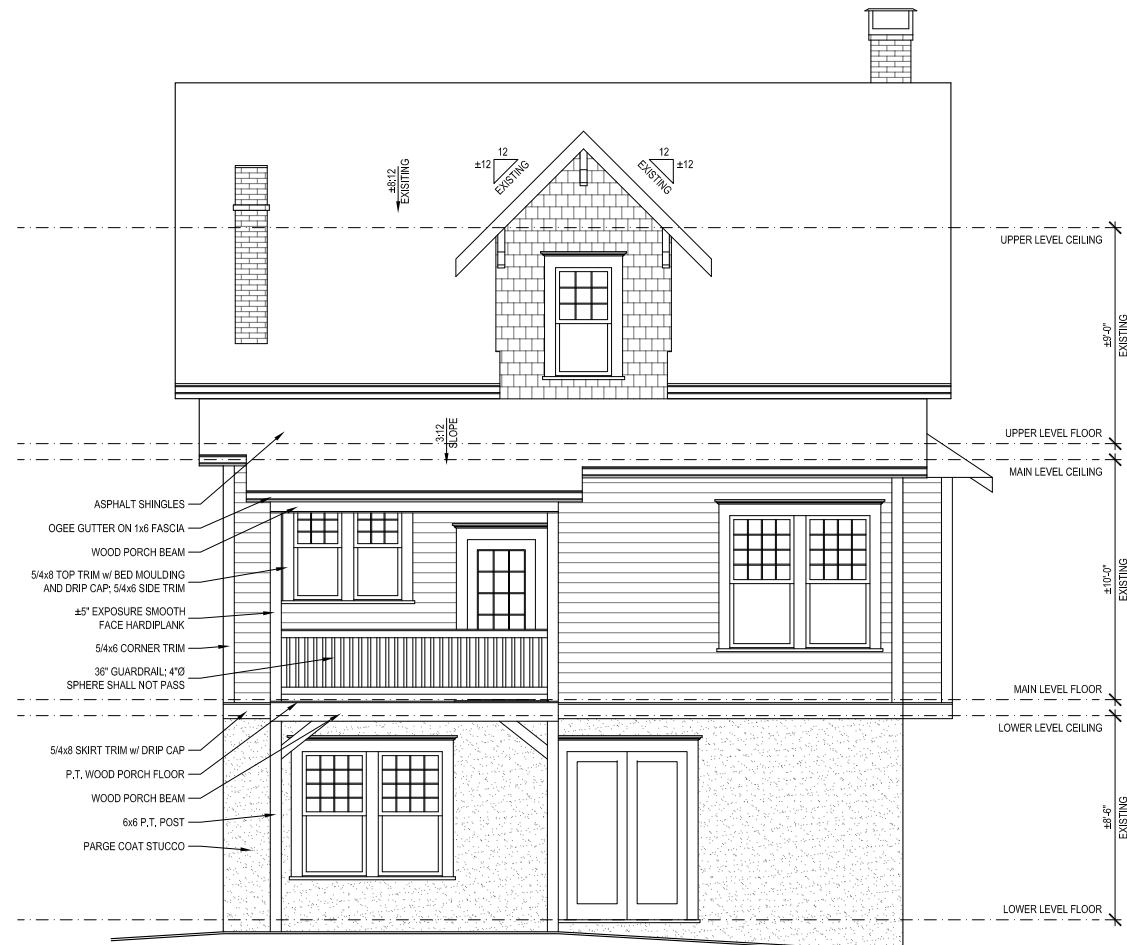
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FRONT ELEVATION (UNCHANGED)

1/8" = 1'-0"

- ELEVATION NOTES:
1. ALL CONDITIONS ARE EXISTING TO REMAIN EXCEPT AS NOTED
  2. NEW DOORS AND WINDOWS TO BE WOOD SIMULATED DIVIDED LIGHT WITH PERMANENTLY AFFIXED EXTERIOR MUNTINS; GANGED WINDOWS TO HAVE 6" DIVIDING MULLIONS
  3. ALL EXTERIOR TRIM IS WOOD



REAR ELEVATION

1/8" = 1'-0"

- ASPHALT SHINGLES
- OGEE GUTTER ON 1x6 FASCIA
- WOOD PORCH BEAM
- 5/4x6 TOP TRIM w/ BED MOULDING AND DRIP CAP; 5/4x6 SIDE TRIM
- 45° EXPOSURE SMOOTH FACE HARDPLANK
- 5/4x6 CORNER TRIM
- 38" GUARDRAIL; 4"Ø SPHERE SHALL NOT PASS
- 5/4x8 SKIRT TRIM w/ DRIP CAP
- P.T. WOOD PORCH FLOOR
- WOOD PORCH BEAM
- 6x6 P.T. POST
- PARGE COAT STUCCO

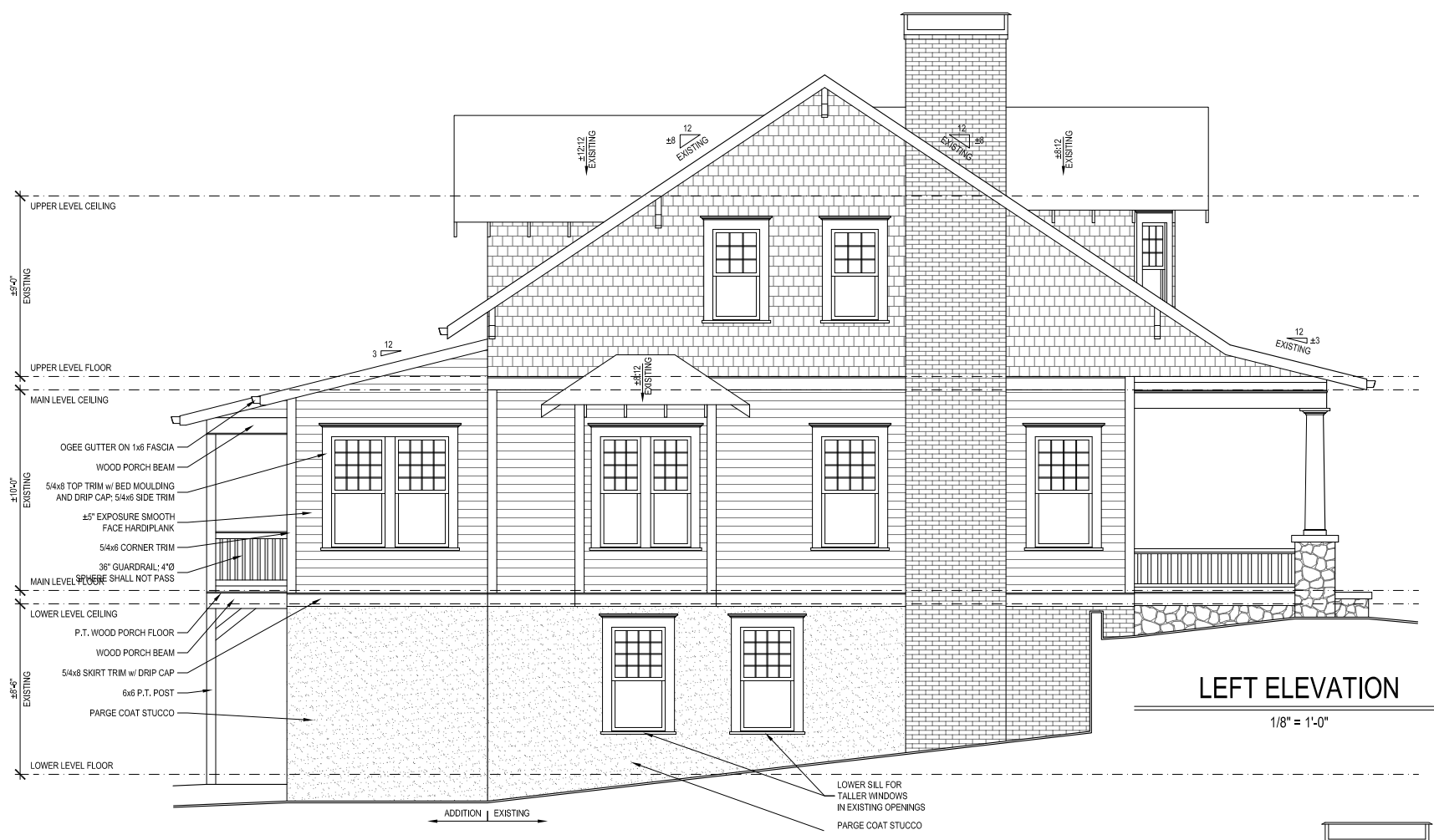
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title FRONT & REAR ELEVATIONS	
scale 1/8" = 1'-0"	
drawn APS	checked
date 03-11-2019	sheet no. A-3
project no. 390Sinclair	

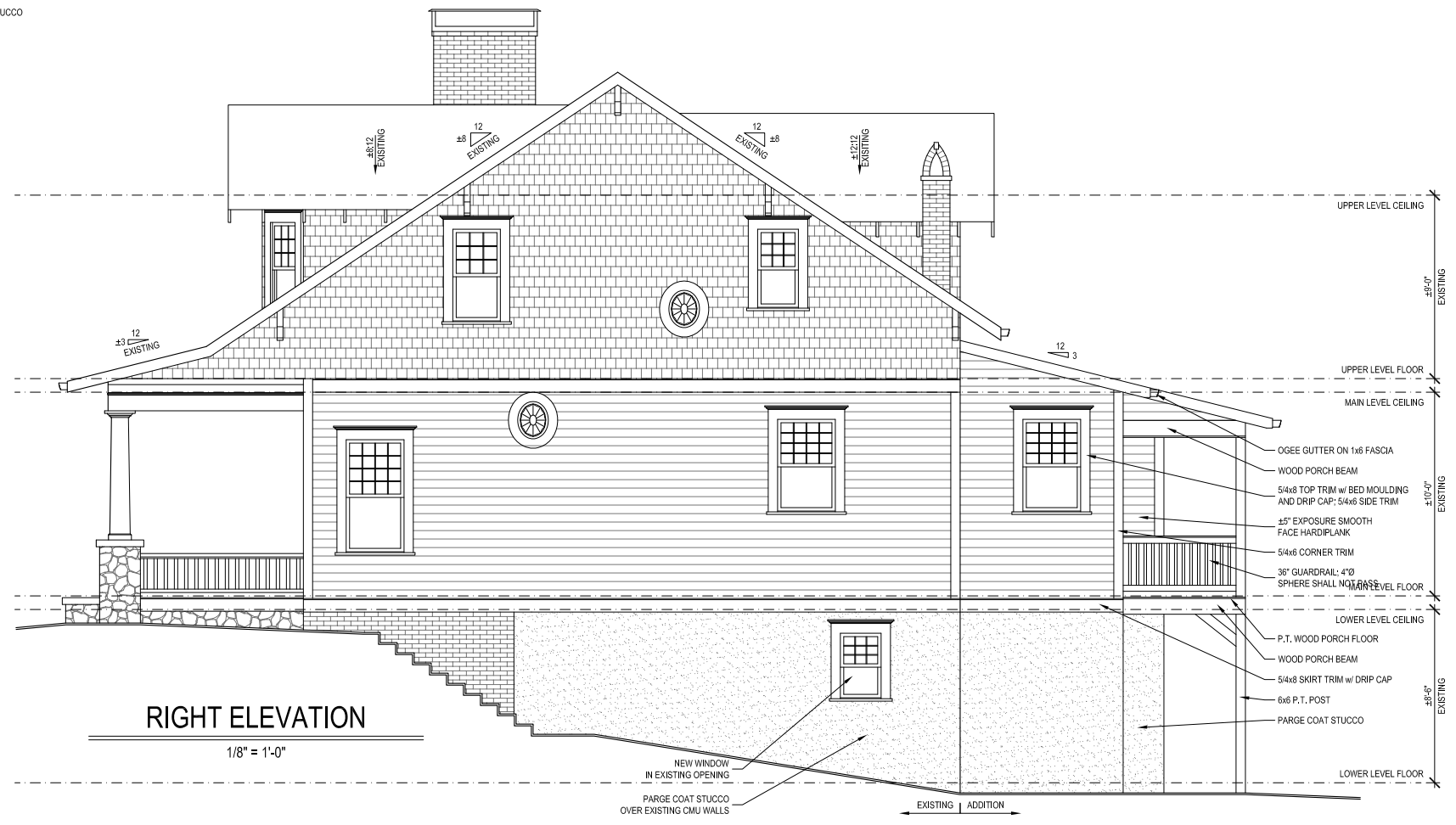
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LEFT ELEVATION

1/8" = 1'-0"



RIGHT ELEVATION

1/8" = 1'-0"

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title LEFT & RIGHT ELEVATIONS	
scale 1/8" = 1'-0"	
drawn APS	checked
date 03-11-2019	sheet no. A-4
project no. 390Sinclair	