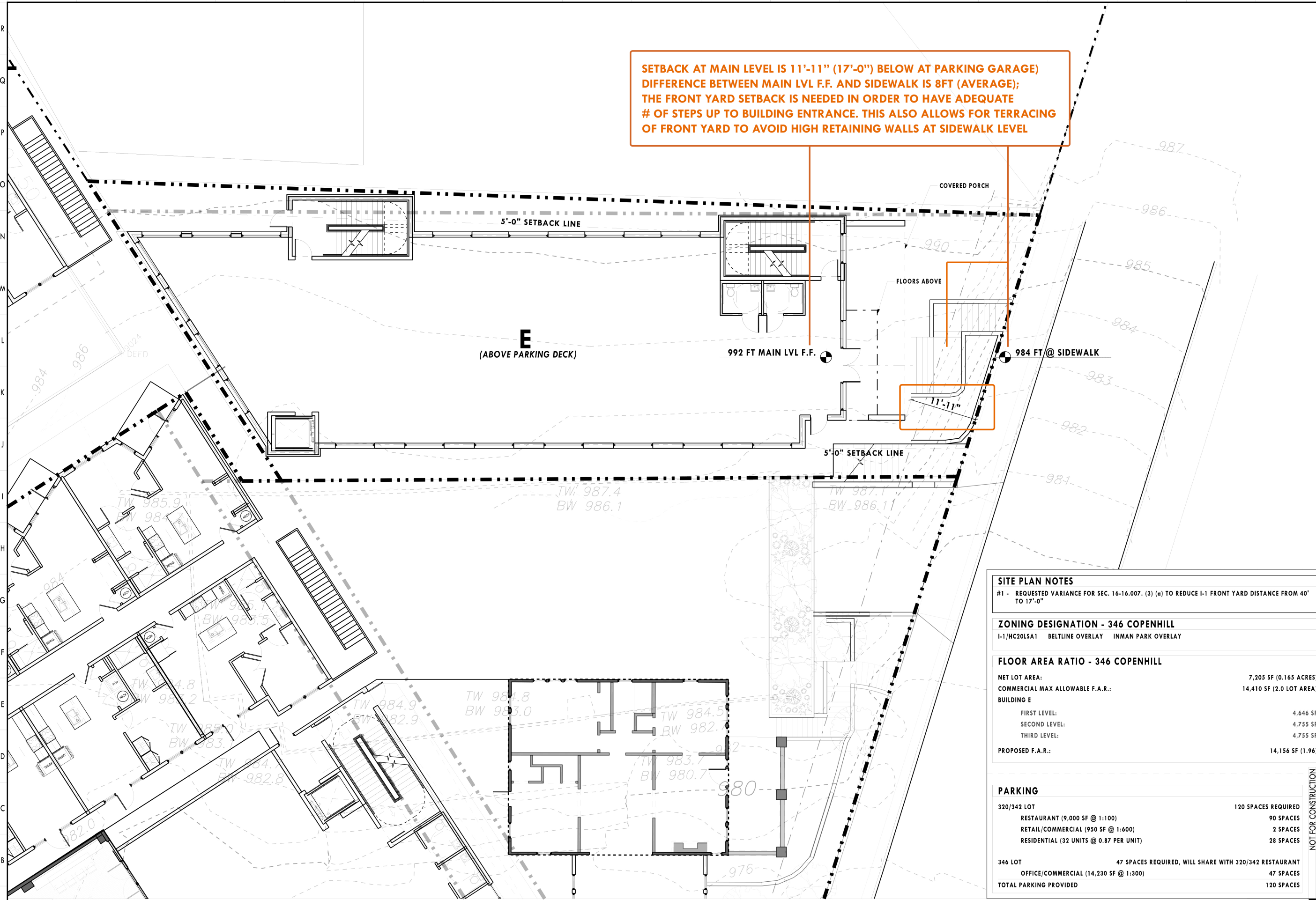


**SETBACK AT MAIN LEVEL IS 11'-11" (17'-0") BELOW AT PARKING GARAGE)  
 DIFFERENCE BETWEEN MAIN LVL F.F. AND SIDEWALK IS 8FT (AVERAGE);  
 THE FRONT YARD SETBACK IS NEEDED IN ORDER TO HAVE ADEQUATE  
 # OF STEPS UP TO BUILDING ENTRANCE. THIS ALSO ALLOWS FOR TERRACING  
 OF FRONT YARD TO AVOID HIGH RETAINING WALLS AT SIDEWALK LEVEL**



**SITE PLAN NOTES**  
 #1 - REQUESTED VARIANCE FOR SEC. 16-16.007. (3) (a) TO REDUCE I-1 FRONT YARD DISTANCE FROM 40' TO 17'-0"

**ZONING DESIGNATION - 346 COPENHILL**  
 I-1/HC20LSA1 BELTLINE OVERLAY INMAN PARK OVERLAY

**FLOOR AREA RATIO - 346 COPENHILL**

NET LOT AREA:	7,205 SF (0.165 ACRES)
COMMERCIAL MAX ALLOWABLE F.A.R.:	14,410 SF (2.0 LOT AREA)
<b>BUILDING E</b>	
FIRST LEVEL:	4,646 SF
SECOND LEVEL:	4,755 SF
THIRD LEVEL:	4,755 SF
PROPOSED F.A.R.:	14,156 SF (1.96)

**PARKING**

320/342 LOT	120 SPACES REQUIRED
RESTAURANT (9,000 SF @ 1:100)	90 SPACES
RETAIL/COMMERCIAL (950 SF @ 1:600)	2 SPACES
RESIDENTIAL (32 UNITS @ 0.87 PER UNIT)	28 SPACES
346 LOT	47 SPACES REQUIRED, WILL SHARE WITH 320/342 RESTAURANT
OFFICE/COMMERCIAL (14,230 SF @ 1:300)	47 SPACES
TOTAL PARKING PROVIDED	120 SPACES

01 TYPE III HP SUBMISSION	09.01.2022
No. REVISIONS/SUBMISSIONS	Date
Seal	

This drawing is the property of Jones Pierce Architects, Inc. and is not to be reproduced or copied in whole or in part. It is not to be used on any other project, and is to be returned upon request. Scales as stated hereon are for reference only, as normal reproduction processes may alter the accuracy of original drawings. Jones Pierce, Architects, Inc. © 2022

**SITE PLAN - ABOVE STREET LEVEL**  
 Project No. 22016 Drawing No.  
 Date 08.11.2022  
 Scale AS NOTED

**THE CORNER**  
 346 Copenhill Ave NE,  
 Atlanta, Georgia, 30307

NOT FOR CONSTRUCTION