

## **Project Description - 944 Austin Avenue NE**

This application for a Certificate of Appropriateness includes a rear addition to the existing one-story contributing structure and interior renovations to the existing house. The house was constructed in 1908, according to Fulton County tax records.

Proposed renovations to the existing house:

1. Interior renovations (not be visible from the exterior of the house.)
2. Remove shed roofs over existing rear addition and replace with hipped roof.
3. Remove and replace non-historic doors and windows in existing rear addition.

Proposed addition to the house:

1. Construct a rear addition to expand existing rear bedroom, allowing for second bathroom within the house. The wall height and eave overhangs of the addition will match those of the original house. The existing corner trim differentiates the original house from previous and proposed additions. Exterior materials will include a brick pier foundation, smooth-face hardiplank lap siding matching the reveal of the original wood siding, wood trim, and asphalt shingles. New windows will be one-over-one wood double hung with 6" dividing mullions for ganged windows.

Site:

1. Remove and rebuild rear deck; remove jacuzzi.





Front of house - no changed



Rear of house





Right side from front



Right side from rear





Left side from front



Left side from rear





Non-historic windows in existing additions



Non-historic doors and windows in existing additions



| CONTRACTOR/OWNER/24 HR CONTACT   | ARCHITECT   |
|--|---|
| Laura and Mahan Archer<br>944 Austin Ave NE<br>ATLANTA, GA 30307<br>678-612-6743 | ADAM STILLMAN<br>350 SINCLAIR AVE NE<br>ATLANTA, GA 30307<br>770-330-3389 |

STANDARD CONSTRUCTION CODES:  
International Building Code, 2018 Edition, with Georgia Amendments (2020)  
International Residential Code, 2018 Edition, with Georgia Amendments (2020)  
International Fire Code, 2018 Edition (no Georgia Amendments)  
International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)  
International Mechanical Code, 2018 Edition, with Georgia Amendment (2020)  
International Fuel Gas Code, 2018 Edition, with Georgia Amendment (2020)  
National Electrical Code, 2020 Edition (no Georgia Amendments)  
International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)  
International Swimming Pool and Spa Code, 2018 Edition, with GA Amendments (2020)  
2018 NFPA 101 - Life Safety Code 2018 Edition with State Amendments (2020)

PROJECT NAME: Archer Residence Renovation and Addition  
SCOPE OF WORK: Interior renovations of existing house. Remove and rebuild rear deck. Replace shed roof over existing rear additions with hipped roof. Replace non-historic doors and windows in existing additions. Construct rear addition to expand rear bedroom.  
TYPE OF CONSTRUCTION: V-B  
NUMBER OF STORIES: 1  
BUILDING HEIGHT: 22.8'

PROPOSED FLOOR AREAS:  
EXISTING: 1613 sf  
ADDITION: 109 sf  
LOWER: 1722 sf

NOTE: ATTIC SPACE IS NOT INCLUDED IN FLOOR AREA PER SEC. 16-24.008.2

UNHEATED AREAS:  
EXISTING PORCH: 366 sf  
NEW DECK: 211 sf

FLOOD HAZARD: NO  
TYP. DEAD LOADS: 10 psf  
TYP. LIVE LOADS: 40 psf  
TYP. ROOF LOADS: 20 psf LIVE/15 psf DEAD  
WIND SPEED/CATEGORY: 115 mph/B  
TERMITE: SEVERE  
WEATHER: MODERATE  
FRONT LINE DEPTH: 12"  
MEAN ANNUAL TEMP: 66.2°  
WINTER DESIGN TEMP: 22°  
GROUND SNOW LOAD: 5 psf  
SEISMIC DESIGN CATEGORY: B

DRAWING INDEX:  
A-0 COVER SHEET  
S-1 SITE PLAN  
A-1 EXISTING & PROPOSED PLANS  
A-3 ELEVATIONS



Your Home.  
You're Home.  
(770) 330-3389  
adam@adamstillman.net

944 Austin Avenue NE

Atlanta, Georgia

revisions

architect seal

ISSUED FOR CONSTRUCTION

All drawings are the property of Adam Stillman, and must be returned at the completion of work. They shall not be reproduced, modified, or revised in any way without written consent. The contractor shall check and verify all dimensions and report any discrepancies before proceeding with the work. Adam Stillman shall protect this copyright and be reimbursed for all legal and court costs, etc., for any necessary protection of the drawings. Submission of these drawings to any public body for any use does not release in any way the copyright and ownership of drawings provisions listed herein.

title

COVER SHEET

scale

-

drawn

APS

checked

date

03-31-2022

project no.

944Austin

sheet no.

A-0



## OWNER/CONTRACTOR/24 HR CONTACT

LAURA AND MAHAN ARCHER  
944 AUSTIN AVE NE  
ATLANTA GA 30307  
678-612-6743

## ARCHITECT

ADAM STILLMAN  
350 SINGLAR AVE NE  
ATLANTA, GA 30307  
770-330-3389

Before starting land-disturbance activities, the Contractor is required to schedule a pre-construction meeting with Erosion & Sediment Control. Call (404) 546-1300

## TREE REPLACEMENT CALCULATION CHART

## TREES RECOMPENSE:

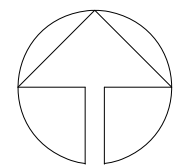
\$ AMOUNT = \$100.00[(# OF TREES DESTROYED + # OF TREES LOST)  
- # OF TREES REPLACED] + \$30.00 [(# DBH INCHES  
DESTROYED + # DBH INCHES LOST) - # CALIPER INCHES  
REPLACED]

|                                     |                           |
|-------------------------------------|---------------------------|
| + \$100.00 x # OF TREES DESTROYED   | + \$100.00 x 0 = +\$ 0.00 |
| + \$100.00 x # OF TREES LOST        | + \$100.00 x 0 = +\$ 0.00 |
| - \$100.00 x # OF TREES REPLACED    | - \$100.00 x 0 = -\$ 0.00 |
| + \$30.00 # DBH INCHES DESTROYED    | + \$30.00 x 0 = +\$ 0.00  |
| + \$30.00 # DBH INCHES LOST         | + \$30.00 x 0 = +\$ 0.00  |
| - \$30.00 # CALIPER INCHES REPLACED | - \$30.00 x 0 = -\$ 0.00  |

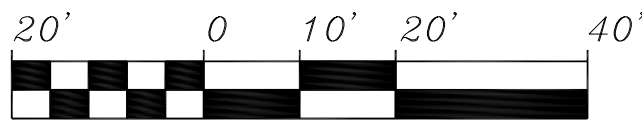
\$ AMOUNT = 0.00

NO WATERS OF THE STATE  
EXIST WITHIN 200' OF THE  
PROJECT SITE

NOTE: LIMITS OF DISTURBANCE  
COINCIDE WITH SILT FENCE



NORTH



1" = 20'

NO GRADED SLOPES  
SHALL EXCEED 2H:1V

## CONTOUR TYPE

--- EXISTING TO REMAIN  
--- EXISTING TO BE REMOVED  
— NEW CONTOUR

## NOTES:

- DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
- SEPARATE PERMIT IS REQUIRED FOR SIDEWALK AND/OR DRIVEWAY CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY CONTACT TECHNICAL SERVICES AT (404) 530-6039.
- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181- TEMPORARY SILT FENCE, OF THE GEORGIA STANDARD SPECIFICATIONS, 1983 EDITION.
- MAINTENANCE STATEMENT- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR.
- STATEMENT- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- NO GRADED SLOPE SHALL EXCEED 2H:1V
- PROPERTY ADDRESS = 944 AUSTIN AVE NE ATLANTA, GEORGIA
- TOTAL LOT AREA = 0.056 acre
- TOTAL AREA DISTURBED: 0.011 acre
- CUT ± 0 C.Y. FILL ± 0 C.Y. BALANCE DIRT ON SITE. DEMOLITION DEBRIS ± 10 C.Y.
- THE BENCHMARK FOR THIS SITE Survey By Surveyland Express
- PROPERTY IS NOT IN 100 YEAR FLOOD PLAIN. FEMA MAP 13121C0263G 9/18/2013
- OWNER: Laura and Mahan Archer

Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)  
Establish temporary protection for disturbed areas. Establish permanent vegetative cover such as trees, shrubs, vines, grasses, etc. or legumes on disturbed areas.

Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)  
Establish permanent vegetative cover such as trees, shrubs, vines, grasses, etc. or legumes on disturbed areas.

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)  
Establish a temporary vegetative cover with fast growing seedlings on disturbed areas.

Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)  
Establish permanent vegetative cover with sod grass undisturbed areas.

## EROSION AND SEDIMENT CONTROL PRACTICES

- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures prior to or concurrent with land-disturbance activities.
- Erosion and sediment control measures shall be maintained at all times. Additional measures beyond the approved plan shall be implemented as necessary.
- Disturbed areas idle 14 days shall be stabilized with temporary vegetation; disturbed areas idle 30 days shall be stabilized with permanent vegetation.
- Erosion and sediment control measures shall be inspected at least twice weekly, after each rain, and repaired as necessary.
- Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.
- Silt fence shall meet the requirements of Section 171 - Type C temporary silt fence, of the Georgia Department of Transportation Standard Specifications, 1993 Edition.

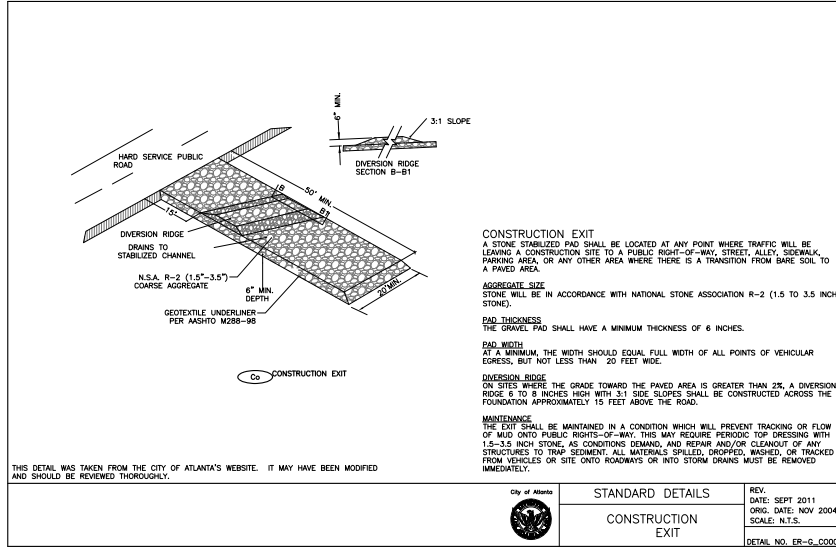
## VEGETATIVE PLAN

## FALL SEEDING

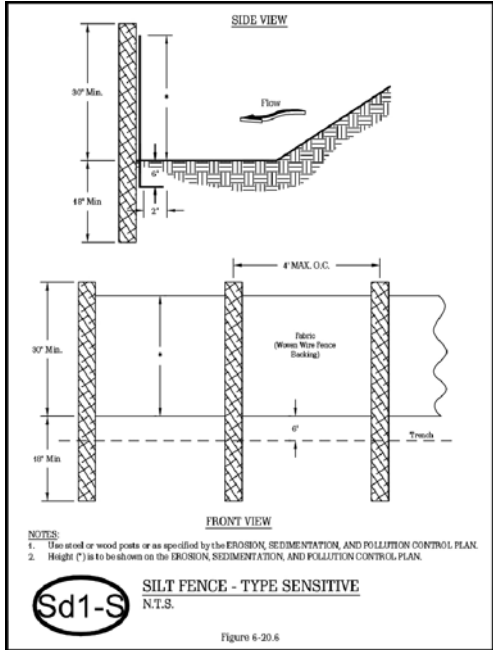
- Treat soil with 40lbs/1000sf lime, till soil, and water thoroughly. Seed with 6-8lbs./1000sf Bermuda (Cynodon dactylon) and Centipede (Eremochloa ophiuroides) with 4lbs/1000sf starter fertilizer (20-27-5) and mulch with straw at a rate of 1 bale/800sf. Fertilize with 24-6-12 at 60 and 150 days after seeding. Skip 150 day fertilizing if WITHIN 30 days of Spring Seeding.

## SPRING SEEDING

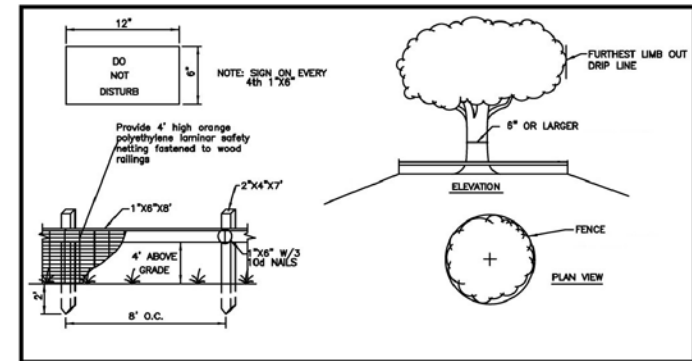
- Treat soil with 40lbs/1000sf lime, till soil, and water thoroughly. Seed with 6-8lbs./1000sf Ryegrass (Lolium multiflorum) and Red Fescue (Festuca rubra) with 4lbs/1000sf starter fertilizer (20-27-5) and mulch with straw at a rate of 1 bale/800sf. Fertilize with 24-6-12 at 60 and 150 days after seeding. Skip 150 day fertilizing if WITHIN 30 days of Fall Seeding.
- Test soil and reapply 40lbs/1000sf lime as needed on an annual basis



Co CONSTRUCTION EXIT

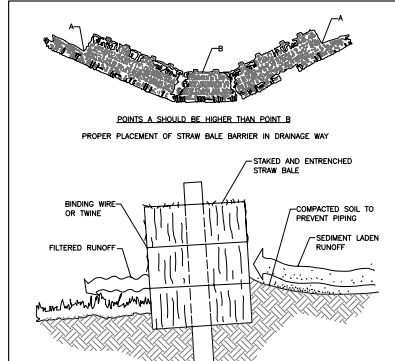


Sd1-S SILT FENCE - TYPE SENSITIVE



NOTES:  
1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM REINFORCEMENT.  
2. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO THE START OF THE LAND DISTURBANCE. ANY ADDITIONAL DEVICES, SHALL BE INSTALLED AND REPAIRED AS NEEDED.  
3. ALL TREE PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.  
4. ALL TREE PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.  
5. ALL TREE PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

Ts1 TREE PROTECTION FENCE



Cd-Hb SEDIMENT BARRIER

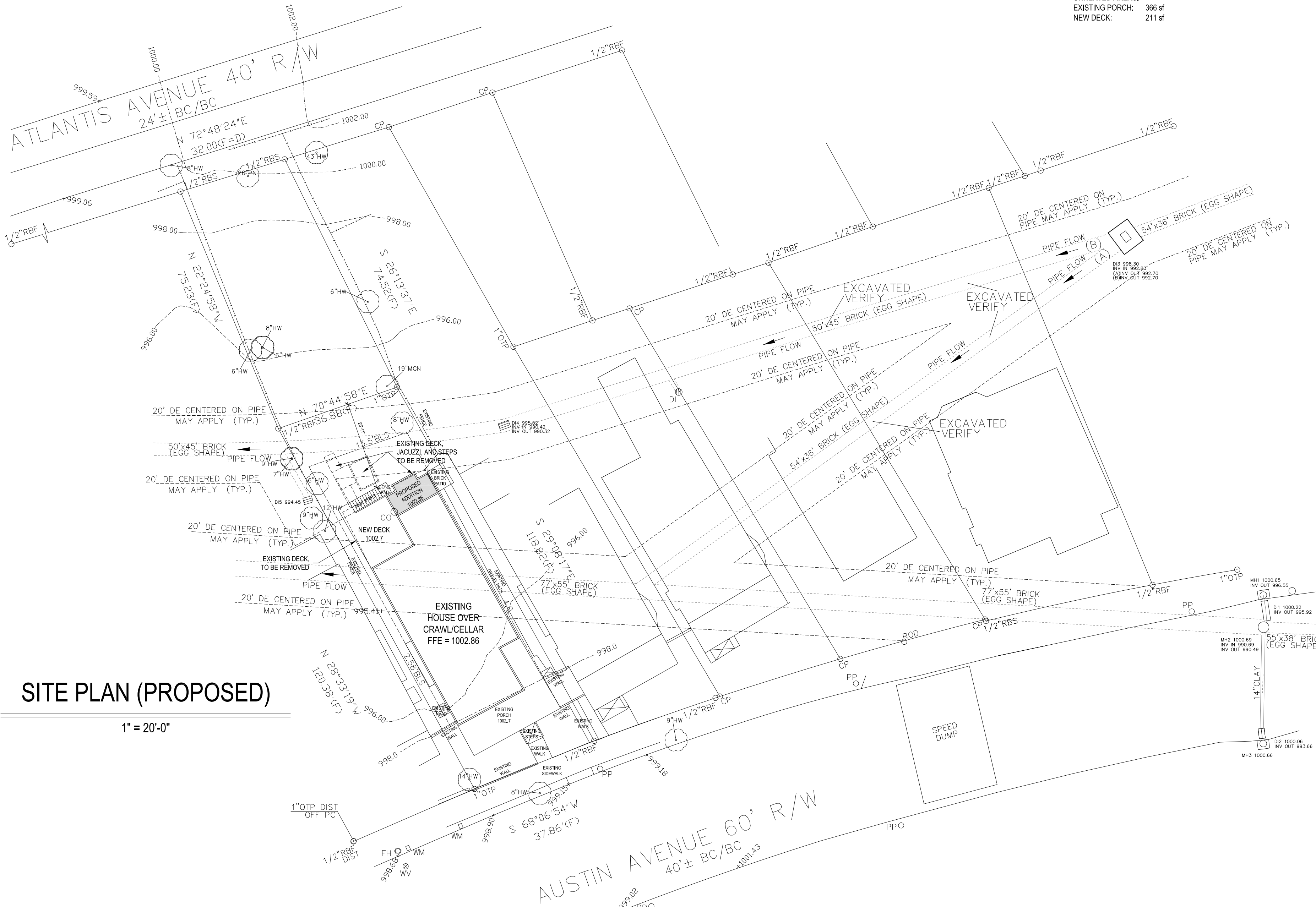


## VICINITY MAP

NOT TO SCALE

## SITE PLAN (PROPOSED)

1" = 20'-0"



PROPERTY ZONED R-6/HC-20L-SA1  
LOT SIZE = 4421 sf (0.056 acre)  
MAX. FLOOR AREA RATIO = 0.50  
PROPOSED FLOOR AREA RATIO = 0.39  
MAX. LOT COVERAGE = 55%  
EXISTING LOT COVERAGE = 61.26%  
PROPOSED LOT COVERAGE = 58.8%  
(REDUCTION IN EXISTING NON-CONFORMITY)  
REAR SETBACK COMARISON:  
MIN. ALLOWABLE: 13.5' (944 existing)  
MAX. ALLOWABLE: 153.0' (922 Austin)  
PROPOSED: 25'-11"

LOT COVERAGE CALCULATIONS:  
EXISTING: PROPOSED:  
HOUSE: 1613 sf 1722 sf  
FRONT PORCH: 366 sf 366 sf  
DECK: 411 sf 211 sf  
BRICK PATIO: 29 sf 29 sf  
JACUZZI: 51 sf -  
WALKS/STEPS: 97 sf 120 sf  
WALLS: 10 sf 10 sf  
GRAVEL PATH: 120 sf 120 sf  
HVAC: 11 sf 11 sf  
TOTAL: 2708 sf 2589 sf

PROPOSED FLOOR AREAS:  
EXISTING: 1613 sf  
ADDITION: 109 sf  
LOWER: 1722 sf

NOTE: ATTIC SPACE IS NOT  
INCLUDED IN FLOOR AREA PER  
SEC. 16-24.008.2

UNHEATED AREAS:  
EXISTING PORCH: 366 sf  
NEW DECK: 211 sf

944 Austin Avenue NE  
Atlanta, Georgia

## revisions

## architect seal

## ISSUED FOR CONSTRUCTION

All drawings are the property of Adam Stillman, and must be returned at the completion of work. They shall not be reproduced, modified, or revised in any way without written consent. The contractor shall check and verify all dimensions and report any discrepancies before proceeding with the work. Adam Stillman shall protect this copyright and be reimbursed for all legal and court costs, etc., for any necessary protection of the drawings. Submission of these drawings to any public body for any use does not release in any way the copyright and ownership of drawings provisions listed herein.

title  
SITE PLAN

scale

1" = 20'-0"

drawn

APS

date

03-31-2022

project no.

944Austin

checked

sheet no.

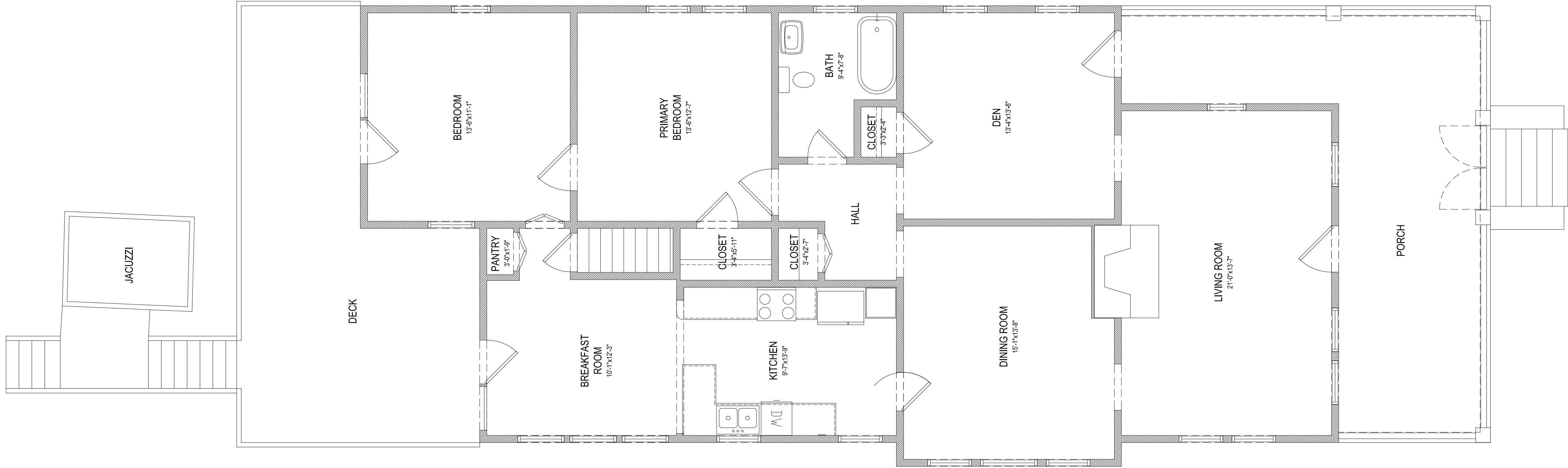
S-1

Adam Stillman  
Residential Design

Your Home.  
You're Home.

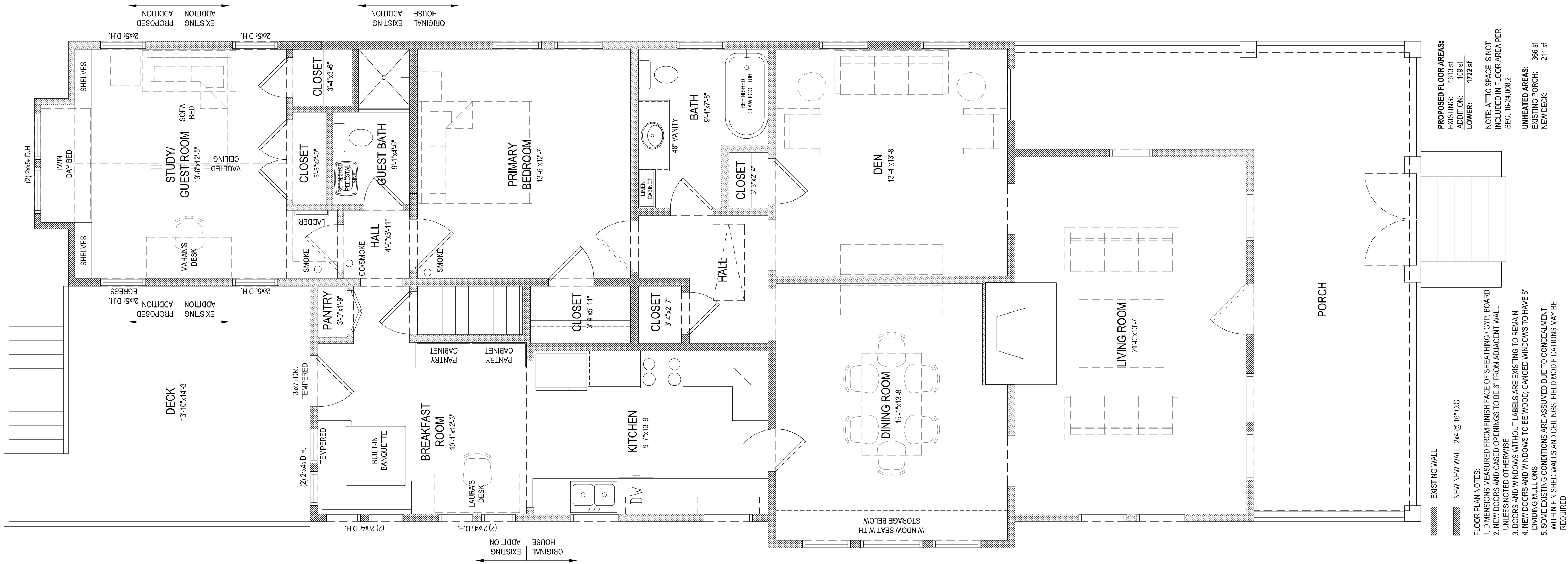
(770) 330-3389  
adam@adamstillman.net





EXISTING FLOOR PLAN

1/4" = 1'-0"



PROPOSED FLOOR PLAN

1/4" = 1'-0"

**PROPOSED FLOOR AREAS:**  
EXISTING: 168 sf  
ADDITION: 108 sf  
LOWER: 172 sf  
NOTE: ATTIC SPACE IS NOT INCLUDED IN FLOOR AREA PER SEC. 16-2-4.009.2  
**UNHEATED AREAS:**  
EXISTING PORCH: 386 sf  
NEW DECK: 211 sf

**FLOOR PLAN NOTES:**  
1. DIMENSIONS MEASURED FROM FINISH FACE OF SHEATHING (GYP. BOARD) UNLESS NOTED OTHERWISE.  
2. NEW DOORS AND CASED OPENINGS TO BE 6" FROM ADJACENT WALL.  
3. NEW DOORS AND CASED OPENINGS TO BE 6" FROM ADJACENT WALL.  
4. NEW DOORS AND WINDOWS TO BE WOOD; GARGED WINDOWS TO HAVE 6" DIVIDING MULLIONS.  
5. SOME EXISTING CONDITIONS ARE ASSUMED DUE TO CONCEALMENT OF WORK.  
6. FINISHES, WALLS AND CEILINGS, FIELD MODIFICATIONS MAY BE REQUIRED.

**EXISTING WALL**  
NEW NEW WALL: 2x4 @ 16" O.C.



FRONT ELEVATION (UNCHANGED)



REAR ELEVATION



RIGHT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

944 Austin Avenue NE  
Atlanta, Georgia

revisions

architect seal

ISSUED FOR CONSTRUCTION

All drawings are the property of Adam Stillman, and must be returned at the completion of work. They shall not be reproduced, modified, or revised in any way without written consent. The contractor shall check and verify all dimensions and report any discrepancies before proceeding with the work. Adam Stillman shall protect this copyright and be reimbursed for all legal and court costs, etc., for any necessary protection of the drawings. Submission of these drawings to any public body for any use does not release in any way the copyright and ownership of drawings provisions listed herein.

title  
ELEVATIONS

scale  
1/4" = 1'-0"

drawn  
APS

checked

date  
03-31-2022

project no.  
944Austin

sheet no.  
A-2