



Your Home. You're Home. adam@adamstillman.net (770) 330-3389

# 474 Seminole Avenue NE

Atlanta, Georgia

<b>CONTRACTOR/24 HR CONTACT</b> JEFF RAW - Revive Construction Group 315 W Ponce De Leon Ave Suite 100 Decatur, GA 30030 404-786-6635	<b>OWNER</b> LIZ AND JEFF RAW 474 SEMINOLE AVE NE ATLANTA, GA 30307 404-786-6635	<b>ARCHITECT</b> ADAM STILLMAN 270 08 LAND LANE LAKEMONT, GA 30552 770-330-3389
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**STANDARD CONSTRUCTION CODES:**  
 International Building Code, 2018 Edition, with Georgia Amendments (2020)  
 International Residential Code, 2018 Edition, with Georgia Amendments (2020)  
 International Fire Code, 2018 Edition (no Georgia Amendments)  
 International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)  
 International Mechanical Code, 2018 Edition, with Georgia Amendment (2020)  
 International Fuel Gas Code, 2018 Edition, with Georgia Amendment (2020)  
 National Electrical Code, 2020 Edition (no Georgia Amendments)  
 International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)  
 International Swimming Pool and Spa Code, 2018 Edition, with GA Amendments (2020)  
 2018 NFPA 101 - Life Safety Code 2018 Edition with State Amendments (2020)

**FLOOD HAZARD:** NO  
 TYP. DEAD LOADS: 10 psf  
 TYP. LIVE LOADS: 40 psf  
 TYP. ROOF LOADS: 20 psf LIVE/15 psf DEAD  
 WIND SPEED/CATEGORY: 115 mph/B  
 TERMITE: SEVERE  
 WEATHER: MODERATE  
 FROST LINE DEPTH: 12"  
 MEAN ANNUAL TEMP: 66.2°  
 WINTER DESIGN TEMP: 22°  
 GROUND SNOW LOAD: 5 psf  
 SEISMIC DESIGN CATEGORY: B

**PROJECT NAME:** Raw Residence  
**SCOPE OF WORK:** Construct rear addition to existing house atop existing granite foundation. NO SITE WORK  
**TYPE OF CONSTRUCTION:** V-B  
**NUMBER OF STORIES:** 2  
**BUILDING HEIGHT:** 33.8'

<b>FLOOR AREAS:</b>	<b>UNHEATED FLOOR AREAS:</b>
MAIN (EXISTING): 1221 sf	PORCH (EXISTING): 165 sf
MAIN (ADDITION): 327 sf	REAR COVERED ENTRY: 17 sf
UPPER (EXISTING): 1027 sf	SCREEN PORCH: 121 sf
UPPER (ADDITION): 363 sf	
<b>TOTAL: 2938 sf</b>	

**DRAWING INDEX:**

A-0	COVER SHEET
S-1	SITE PLAN
A-1	EXISTING/DEMO FLOOR PLANS
A-2	PROPOSED FLOOR PLANS
A-3	REAR & LEFT ELEVATIONS
A-4	RIGHT ELEVATION & ROOF PLAN

**FLOOR AREA NOTES:**  
 1. 292 sf OF ATTIC SPACE DOES NOT COUNT TOWARD FLOOR AREA PER 16-24.008.2  
 2. NO NEW ATTIC SPACE EXCEEDS 7'  
 3. BASEMENT/CELLAR DOES NOT COUNT TOWARD FLOOR AREA PER 16-24.002.1

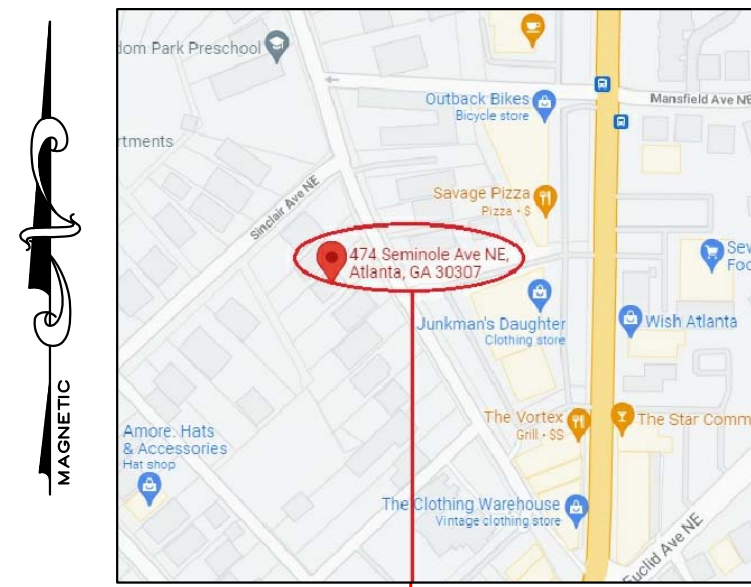
**revisions**

**architect seal**

**ISSUED FOR CONSTRUCTION**

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<b>title</b>	COVER SHEET
<b>scale</b>	-
<b>drawn</b>	APS
<b>checked</b>	
<b>date</b>	02-14-2022
<b>project no.</b>	474Sem
<b>sheet no.</b>	A-0



LOCATION MAP (NOT TO SCALE) SITE

FLOOD NOTE: I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS...

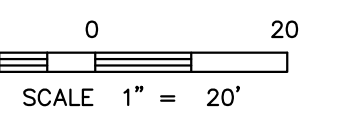
SURVEY NOTES: 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES...

SETBACK TREE PRESERVATION DISCLAIMER: PER CITY OF ATLANTA'S ARBORIST DIVISION RULES, DURING SITE DEVELOPMENT TREES WHICH SITUATE WITHIN THE SETBACKS WILL NOT BE PERMITTED FOR REMOVAL UNLESS LOCATED IN THAT PORTION OF THE SETBACK OR REQUIRED YARD AREA OF THE LOT THAT MUST BE USED FOR VEHICULAR INGRESS AND EGRESS...

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. IT CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE...

ZONING NOTE: BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

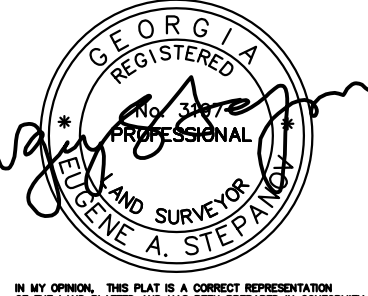
PROPERTY IS ZONED R-5 HC20LSA 1 - INMAN PARK SA1 OVERLAY BUILDING SETBACKS: FRONT 30' SIDE 7' REAR 7' MAX LOT COVERAGE 55%



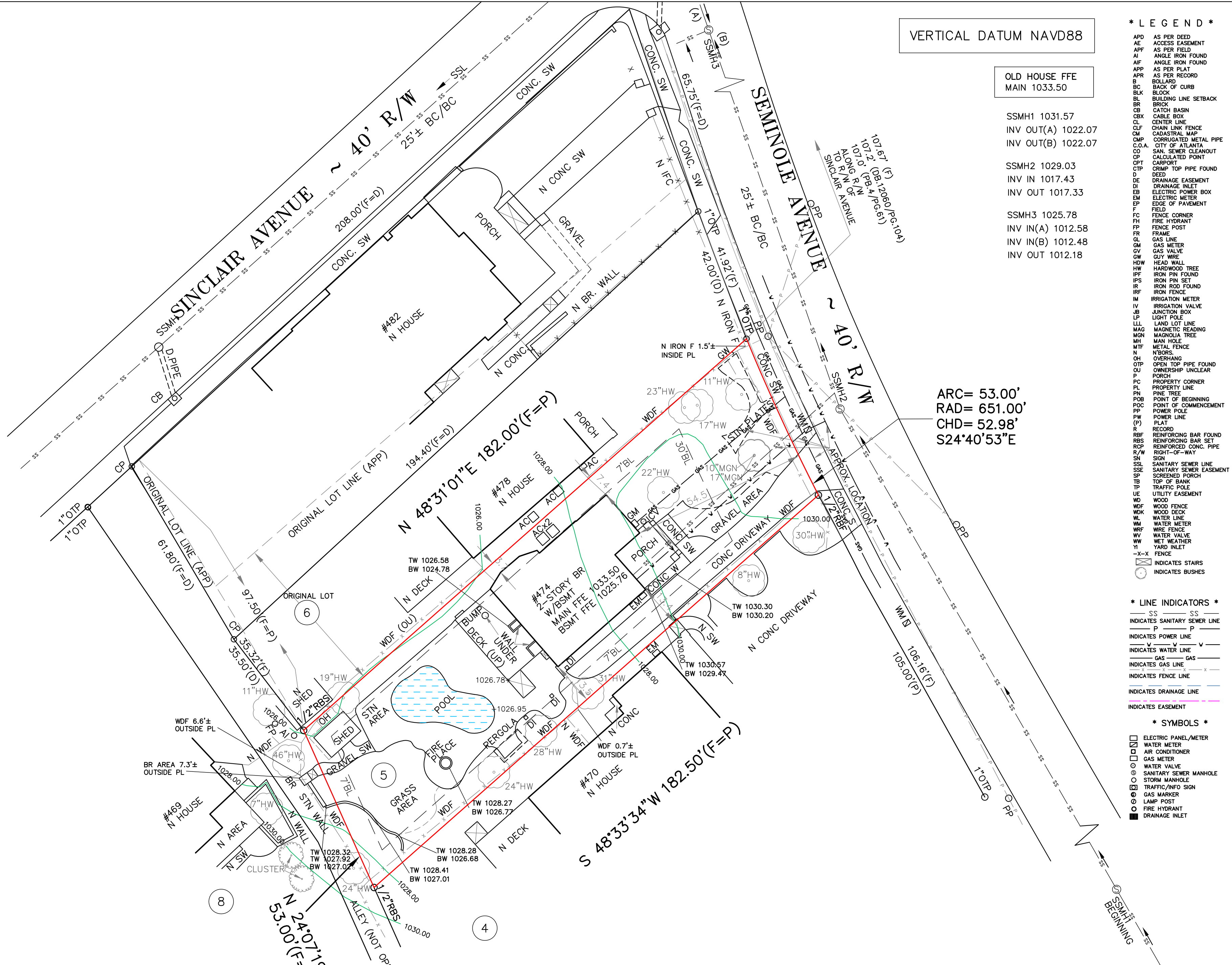
TOTAL LAND AREA 9213.52 SF / 0.212 AC ALLOWABLE LOT COVERAGE 5067.44 SF / 0.116 AC EXISTING LOT COVERAGE 4803.90 SF / 0.110 AC

Table with 2 columns: Lot/Block information (LOT 5, BLOCK, H.E.W. PALMER PROPERTY SUBDIVISION, LOT 15, 14TH DISTRICT, FULTON COUNTY, GEORGIA, PB.4/P.G.61, DB.44529/P.G.32) and Existing Conditions Prepared For (JEFF RAW).

PROPERTY ADDRESS: 474 SEMINOLE AVENUE NE ATLANTA, GA 30307



AP COORD #20141112 DWG #20212392 SURVEY LAND EXPRESS, INC. LAND SURVEYING SERVICES 24 LENOX POINT ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM



VERTICAL DATUM NAVD88

OLD HOUSE FFE MAIN 1033.50

- SSMH1 1031.57 INV OUT(A) 1022.07 INV OUT(B) 1022.07 SSMH2 1029.03 INV IN 1017.43 INV OUT 1017.33 SSMH3 1025.78 INV IN(A) 1012.58 INV IN(B) 1012.48 INV OUT 1012.18

ARC= 53.00' RAD= 651.00' CHD= 52.98' S24°40'53"E

- LEGEND: APD AS PER DEED, AE ACCESS EASEMENT, AFF AS PER FIELD, AI ANGLE IRON FOUND, AF ANGLE IRON FOUND, APP AS PER PLAT, APR AS PER RECORD, B BOLLARD, BC BACK OF CURB, BLK BLOCK, BL BUILDING LINE SETBACK, BR BRICK, CB CATCH BASIN, CBX CATCH BASIN, CL CENTER LINE, CLM CHAIN LINK FENCE, CM CORRUGATED METAL PIPE, C.O.A. CITY OF ATLANTA, CO SAN. SEWER CLEANOUT, CO CALCULATED POINT, CPT CARPORT, CRIMP CRIMP TOP PIPE FOUND, DEED DEED, DE DRAINAGE EASEMENT, DI DRAINAGE INLET, EM ELECTRIC METER, EM ELECTRIC METER, EP EDGE OF PAVEMENT, F FENCE CORNER, FH FIRE HYDRANT, FR FENCE POST, FR FRAME, GL GAS LINE, GL GAS METER, GV GAS VALVE, GW GUY WIRE, HW HARDWOOD TREE, IPF IRON PIN FOUND, IPS IRON PIN SET, IRF IRON FENCE, IM IRRIGATION METER, IV IRRIGATION VALVE, JB JUNCTION BOX, LP LIGHT POLE, LLL LAND LOT LINE, MAG MAGNETIC READING, MGN MAGNOLIA TREE, MH METAL FENCE, N NBORS., OTH OVERHANG, OTH OPEN TOP PIPE FOUND, OU OWNERSHIP CLEAR, P PORCH, PC PROPERTY CORNER, PL PROPERTY LINE, PIN PIN, POB POINT OF BEGINNING, POC POINT OF COMMENCEMENT, PP POWER POLE, PW POWER LINE, (P) PLAT, R RECORD, RBF REINFORCING BAR FOUND, RBS REINFORCING BAR SET, RCP REINFORCED CONC. PIPE, R/W RIGHT-OF-WAY, SN SIGN, SSL SANITARY SEWER LINE, SSS SANITARY SEWER EASEMENT, SP SCREENED PORCH, TB TOP OF BANK, TP TRAFFIC POLE, UE UTILITY EASEMENT, WD WOOD FENCE, WDK WOOD DECK, WL WATER LINE, WM WATER METER, WRP WIRE FENCE, WW WATER VALVE, WY WEATHER, YI YARD INLET, -X-X FENCE, X INDICATES STAIRS, X INDICATES BUSHES

- LINE INDICATORS: SS INDICATES SANITARY SEWER LINE, P INDICATES POWER LINE, W INDICATES WATER LINE, GAS INDICATES GAS LINE, F INDICATES FENCE LINE, D INDICATES DRAINAGE LINE, E INDICATES EASEMENT

- SYMBOLS: ELEC PANEL/METER, WATER METER, AIR CONDITIONER, GAS METER, WATER VALVE, SANITARY SEWER MANHOLE, STORM MANHOLE, TRAFFIC/INFO SIGN, GAS MARKER, LAMP POST, FIRE HYDRANT, DRAINAGE INLET

OWNER/CONTRACTOR/24 HR CONTACT

Jeff Raw  
474 Seminole Ave NE  
Atlanta GA 30307  
404-786-6635

ARCHITECT

ADAM STILLMAN  
350 SINGLAIER AVE NE  
ATLANTA, GA 30307  
770-330-3389

Before starting land-disturbance activities, the Contractor is required to schedule a pre-construction meeting with Erosion & Sediment Control. Call (404) 546-1300

- NOTES:
- DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
  - SEPARATE PERMIT IS REQUIRED FOR SIDEWALK AND/OR DRIVEWAY CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY CONTACT. TECHNICAL SERVICES AT (404) 330-6039.
  - SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181-TEMPORARY SILT FENCE, OF THE GEORGIA STANDARD SPECIFICATIONS, 1983 EDITION.
  - MAINTENANCE STATEMENT- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR.
  - STATEMENT- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
  - NO GRADED SLOPE SHALL EXCEED 2H:1V
  - PROPERTY ADDRESS = 474 Seminole Ave NE ATLANTA, GEORGIA
  - TOTAL LOT AREA = 0.212 acre
  - TOTAL AREA DISTURBED: 0.00 acre
  - CUT ± 0 C.Y. FILL ± 0 C.Y. BALANCE DIRT ON SITE. DEMOLITION DEBRIS ± 10 C.Y.
  - THE BENCHMARK FOR THIS SITE Survey By Surveyand Express
  - PROPERTY IS NOT IN 100 YEAR FLOOD PLAIN. FEMA MAP 13121C0263G 9/18/2013
  - OWNER: Liz and Jeff Raw

TREE SYMBOL LEGEND

SYMBOL:	DESCRIPTION:
(N)	NEW TREE
(C)	EXISTING TREE TO REMAIN
(X)	EXISTING TREE TO BE REMOVED

TREE REPLACEMENT CALCULATION CHART

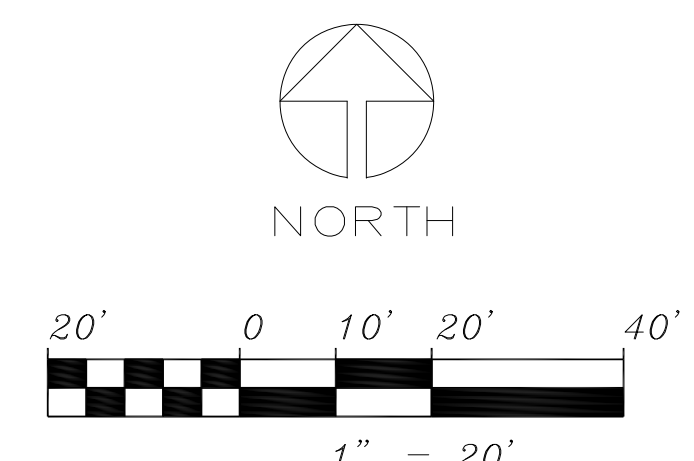
TREES RECOMPENSE:

$$\text{\$ AMOUNT} = \$100.00[(\# \text{ OF TREES DESTROYED} + \# \text{ OF TREES LOST}) - \# \text{ OF TREES REPLACED}] + \$30.00 [(\# \text{ DBH INCHES DESTROYED} + \# \text{ DBH INCHES LOST}) - \# \text{ CALIPER INCHES REPLACED}]$$

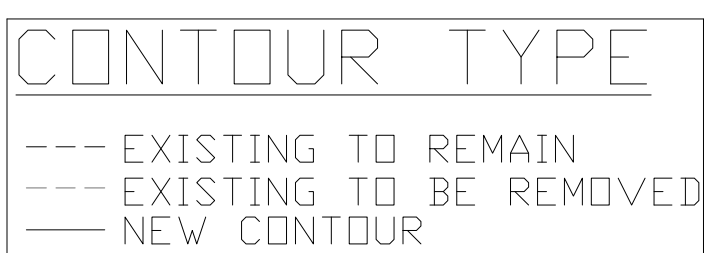
+ \$100.00 x # OF TREES DESTROYED	+ \$100.00 x 0 =	+\$ 0.00
+ \$100.00 x # OF TREES LOST	+ \$100.00 x 0 =	+\$ 0.00
- \$100.00 x # OF TREES REPLACED	- \$100.00 x 0 =	-\$ 0.00
+ \$30.00 # DBH INCHES DESTROYED	+ \$30.00 x 0 =	+\$ 0.00
+ \$30.00 # DBH INCHES LOST	+ \$30.00 x 0 =	+\$ 0.00
- \$30.00 # CALIPER INCHES REPLACED	- \$30.00 x 0 =	-\$ 0.00
		\$ AMOUNT = 0.00

NO WATERS OF THE STATE EXIST WITHIN 200' OF THE PROJECT SITE

NOTE: LIMITS OF DISTURBANCE COINCIDE WITH SILT FENCE



NO GRADED SLOPES SHALL EXCEED 2H:1V



- |     |   |     |  |
|-----|---|-----|--|
| Ds1 | DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)<br>Establish temporary protection for disturbed areas where seedling will not have a suitable growing season to produce on erosion retarding cover. | Ds3 | DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)<br>Establish permanent vegetative cover such as trees, shrubs, vines, grasses, rock, or aggregate on disturbed areas. |
| Ds2 | DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)<br>Establish a temporary vegetative cover with fast growing seedlings on disturbed areas.   | Ds4 | DISTURBED AREA STABILIZATION (WITH SODDING)<br>Establish permanent vegetative cover with sod grass established areas.  |

EROSION AND SEDIMENT CONTROL PRACTICES

- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures prior to and concurrent with land-disturbance activities.
- Erosion and sediment control measures shall be maintained at all times. Additional measures beyond the approved plan shall be implemented as necessary.
- Disturbed areas idle 14 days shall be stabilized with temporary vegetation; disturbed areas idle 30 days shall be stabilized with permanent vegetation.
- Erosion and sediment control measures shall be inspected at least twice weekly, after each rain, and repaired as necessary.
- Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.
- Silt fence shall meet the requirements of Section 171 - Type C temporary silt fence, of the Georgia Department of Transportation Standard Specifications, 1993 Edition.

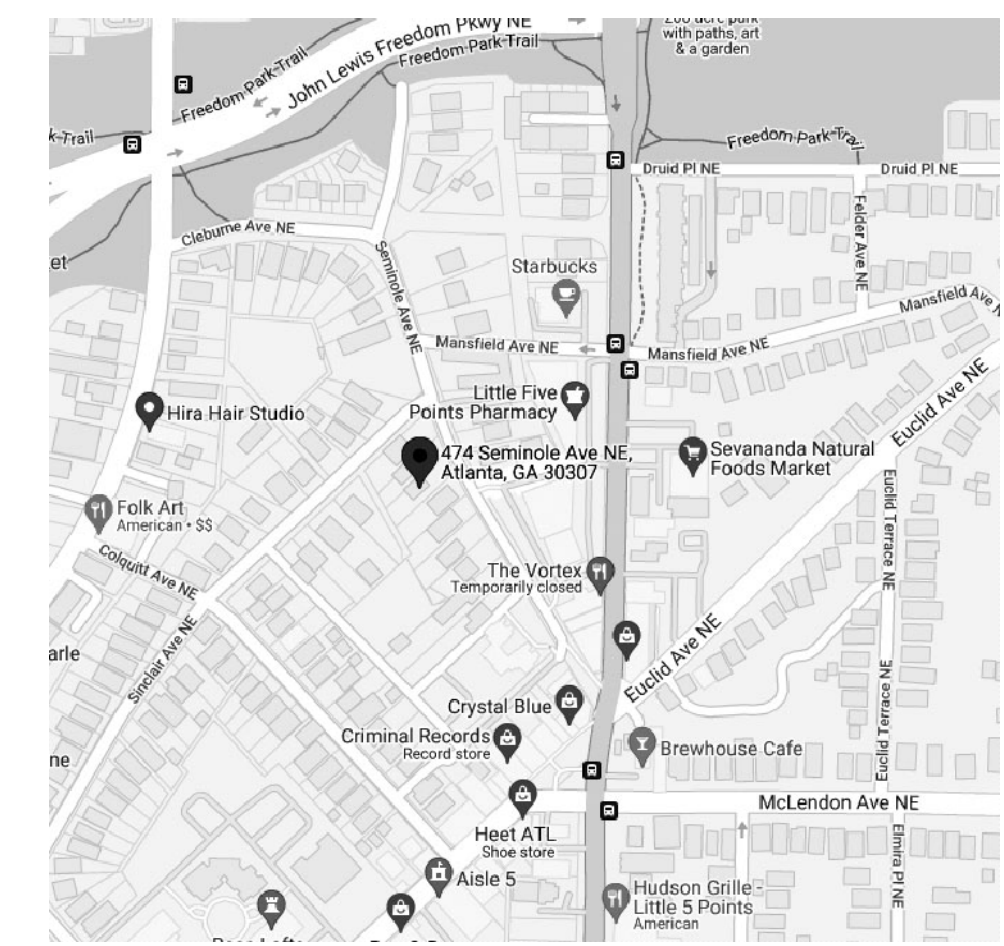
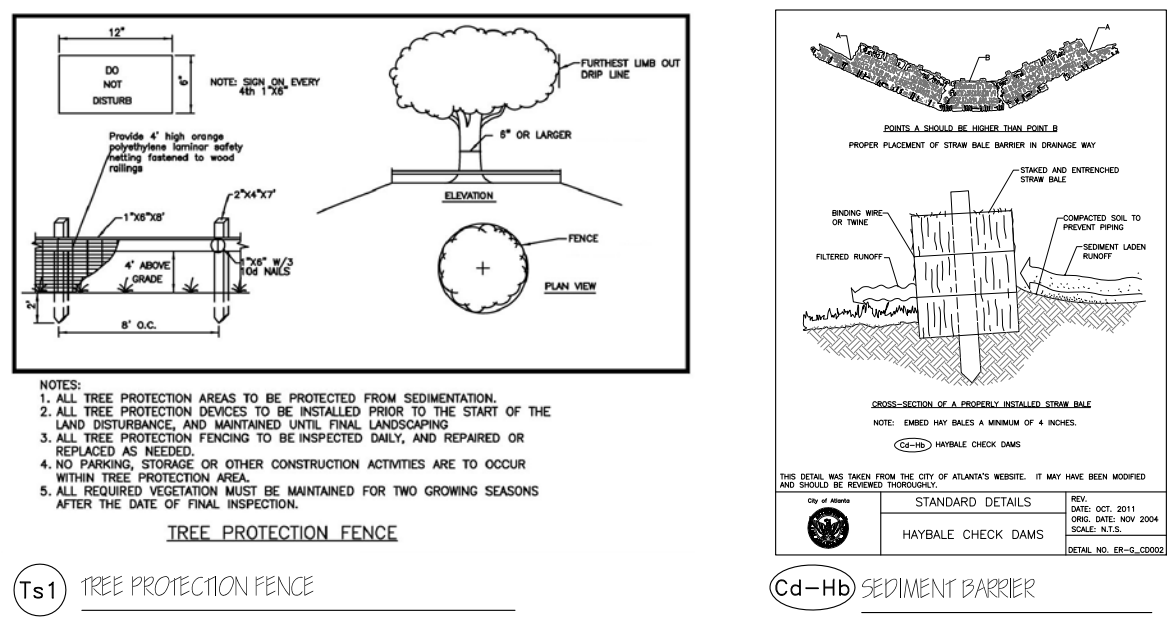
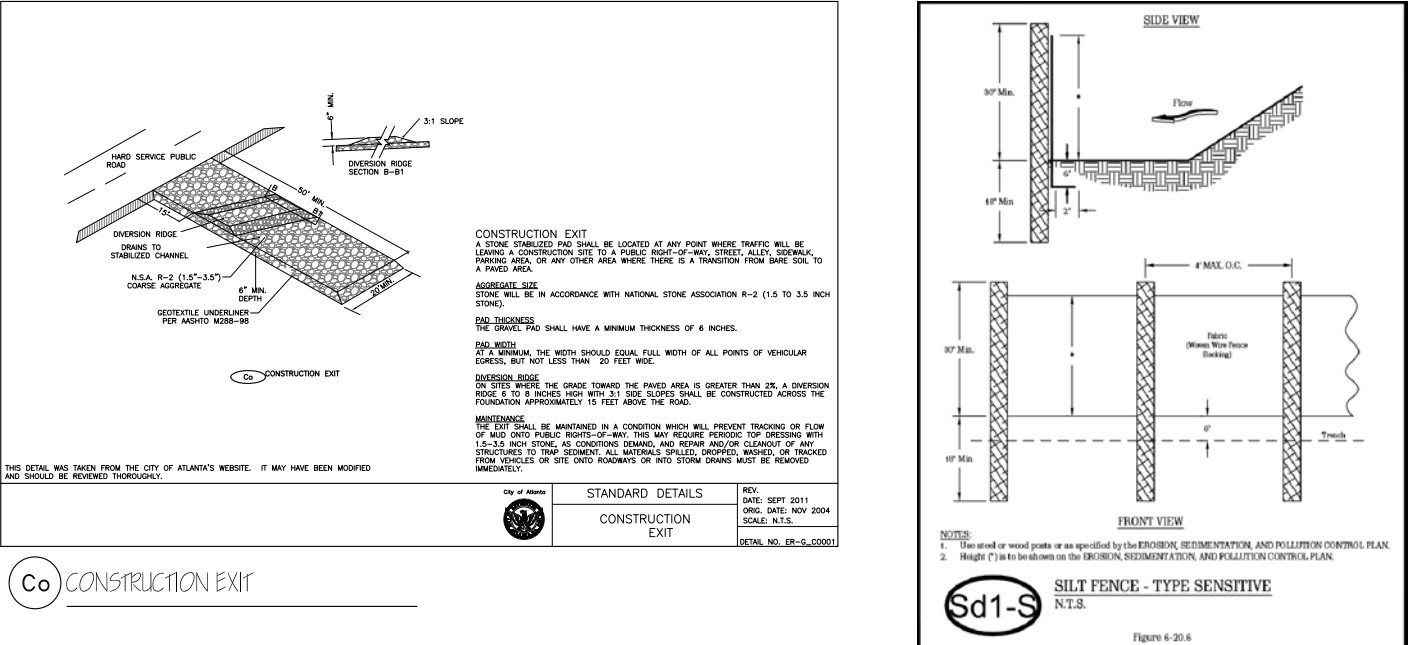
VEGETATIVE PLAN

FALL SEEDING

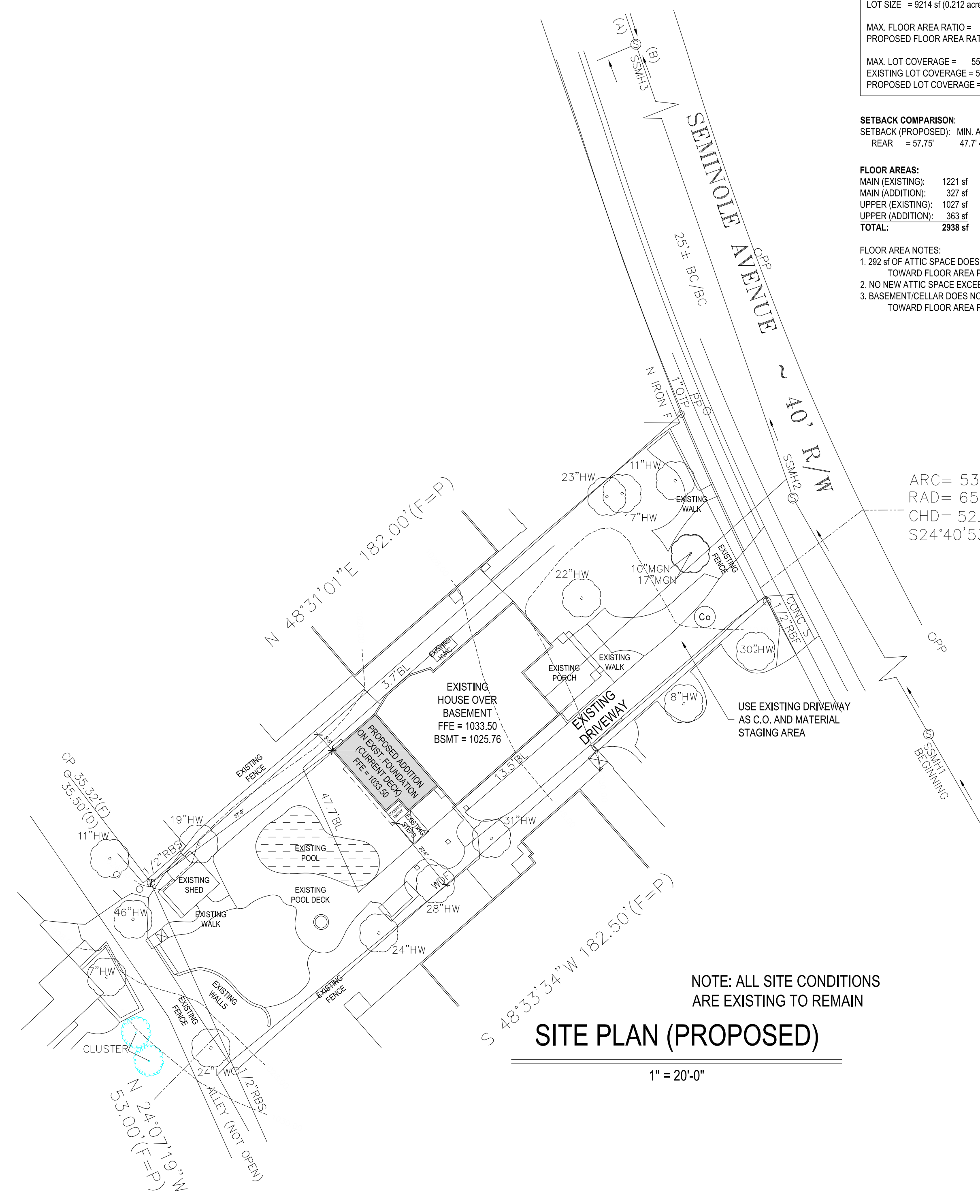
- Treat soil with 40lbs/1000sf lime, till soil, and water thoroughly. Seed with 6-8lbs./1000sf Bermuda (Cynodon dactylon) and Centpede (Eremochloa ophiuroides) with 4lbs/1000sf starter fertilizer (20-27-5) and mulch with straw at a rate of 1 bale/800sf. Fertilize with 24-6-12 at 60 and 150 days after seeding. Skip 150 day fertilizing if WITHIN 30 days of Spring Seeding.

SPRING SEEDING

- Treat soil with 40lbs/1000sf lime, till soil, and water thoroughly. Seed with 6-8lbs./1000sf Ryegrass (Lolium multiflorum) and Red Fescue (Festuca rubra) with 4lbs/1000sf starter fertilizer (20-27-5) and mulch with straw at a rate of 1 bale/800sf. Fertilize with 24-6-12 at 60 and 150 days after seeding. Skip 150 day fertilizing if WITHIN 30 days of Fall Seeding.
- Test soil and reapply 40lbs/1000sf lime as needed on an annual basis



VICINITY MAP  
NOT TO SCALE



PROPERTY ZONED R-5 / HC-20L-SA1

LOT SIZE = 9214 sf (0.212 acre)

MAX. FLOOR AREA RATIO = 0.50  
PROPOSED FLOOR AREA RATIO = 0.32

MAX. LOT COVERAGE = 55%  
EXISTING LOT COVERAGE = 52.1%  
PROPOSED LOT COVERAGE = 52.1%

SETBACK COMPARISON:  
SETBACK (PROPOSED): MIN. ALLOWABLE: MAX. ALLOWABLE  
REAR = 57.75' 47.7' - 482 Seminole 190.7' - 450 Seminole

FLOOR AREAS:	UNHEATED FLOOR AREAS:
MAIN (EXISTING): 1221 sf	PORCH (EXISTING): 165 sf
MAIN (ADDITION): 327 sf	REAR COVERED ENTRY: 17 sf
UPPER (EXISTING): 1027 sf	SCREEN PORCH: 121 sf
UPPER (ADDITION): 363 sf	
TOTAL: 2938 sf	

FLOOR AREA NOTES:  
1. 292 sf OF ATTIC SPACE DOES NOT COUNT TOWARD FLOOR AREA PER 16-24.008.2  
2. NO NEW ATTIC SPACE EXCEEDS 7  
3. BASEMENT CELLAR DOES NOT COUNT TOWARD FLOOR AREA PER 16-24.002.1

LOT COVERAGE CALCULATIONS:

	EXISTING:	PROPOSED:
HOUSE/PORCH:	1386 sf	1713 sf
DECK/REAR COVERED ENTRY:	344 sf	17 sf
SHED:	100 sf	100 sf
DRIVEWAY:	790 sf	790 sf
WALKS/STEPS:	367 sf	367 sf
PATIO/POOL DECK:	1268 sf	1268 sf
SWIMMING POOL:	396 sf	396 sf
WALLS:	135 sf	135 sf
HVAC:	18 sf	18 sf
TOTAL:	4804 sf	4804 sf

Adam Stillman Residential Design

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474 Seminole Avenue NE  
Atlanta, Georgia

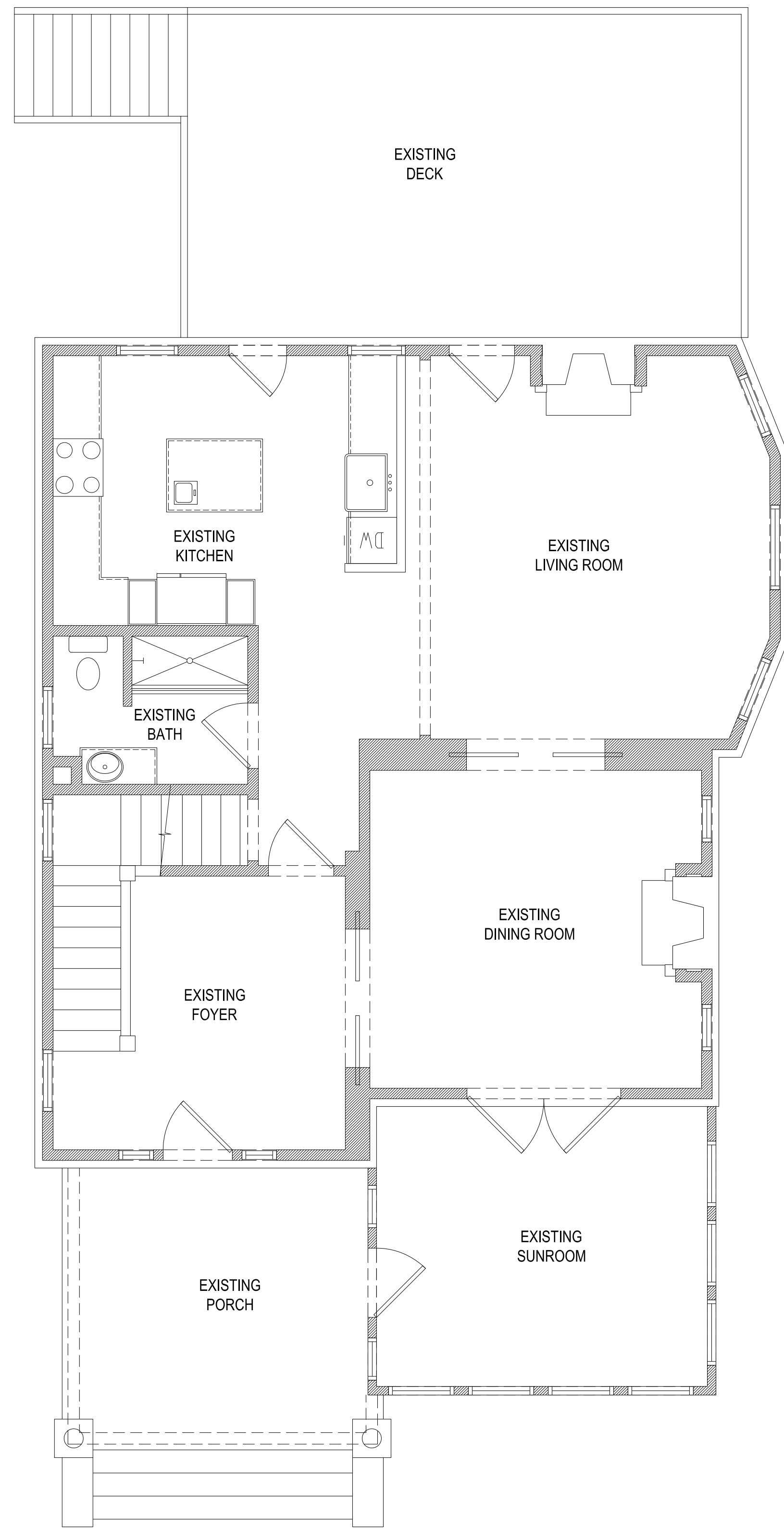
revisions

architect seal

ISSUED FOR CONSTRUCTION

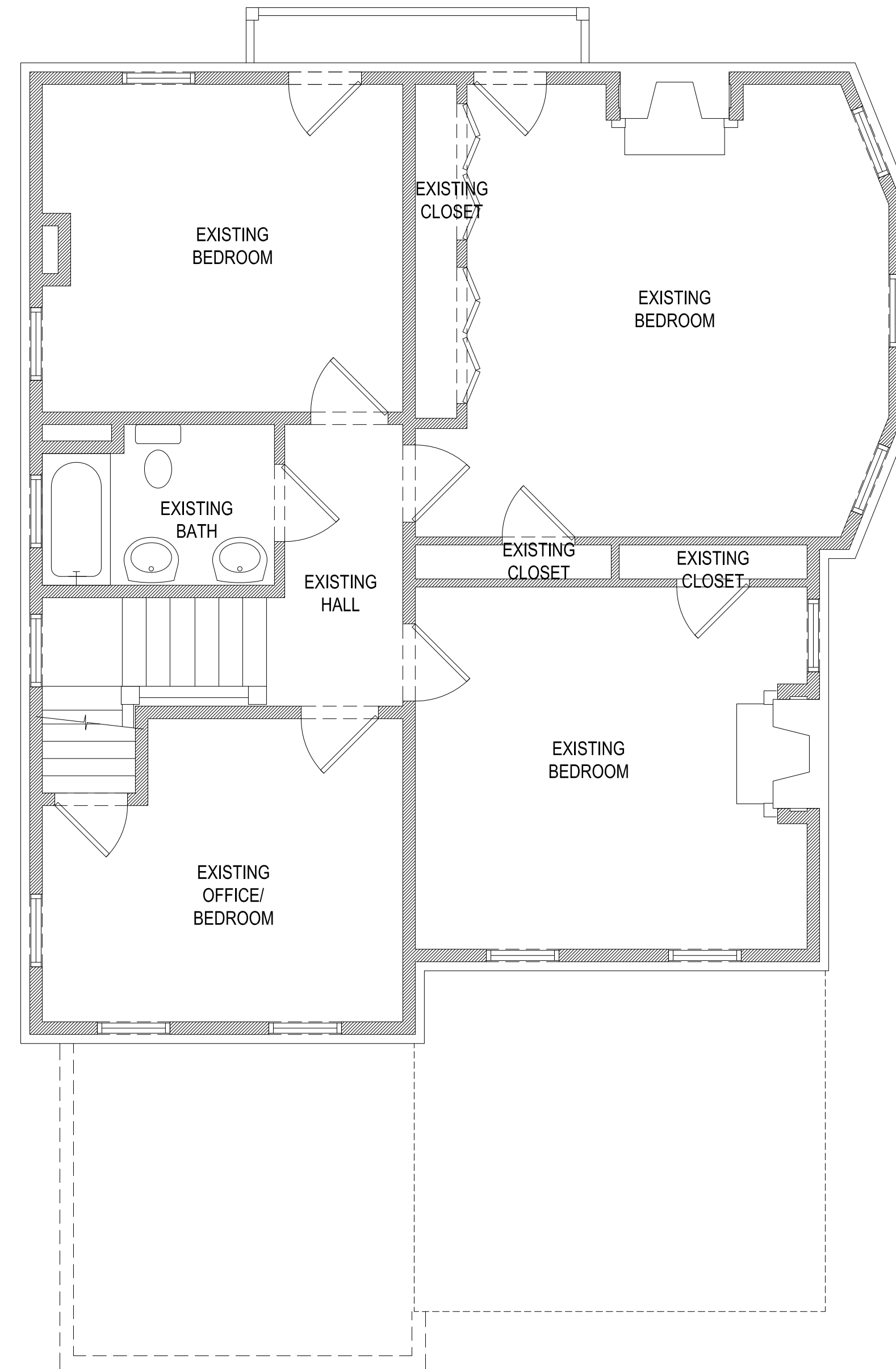
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Title SITE PLAN	
Scale 1" = 20'-0"	
drawn APS	checked
date 02-14-2022	sheet no. S-1
project no. 474Sem	



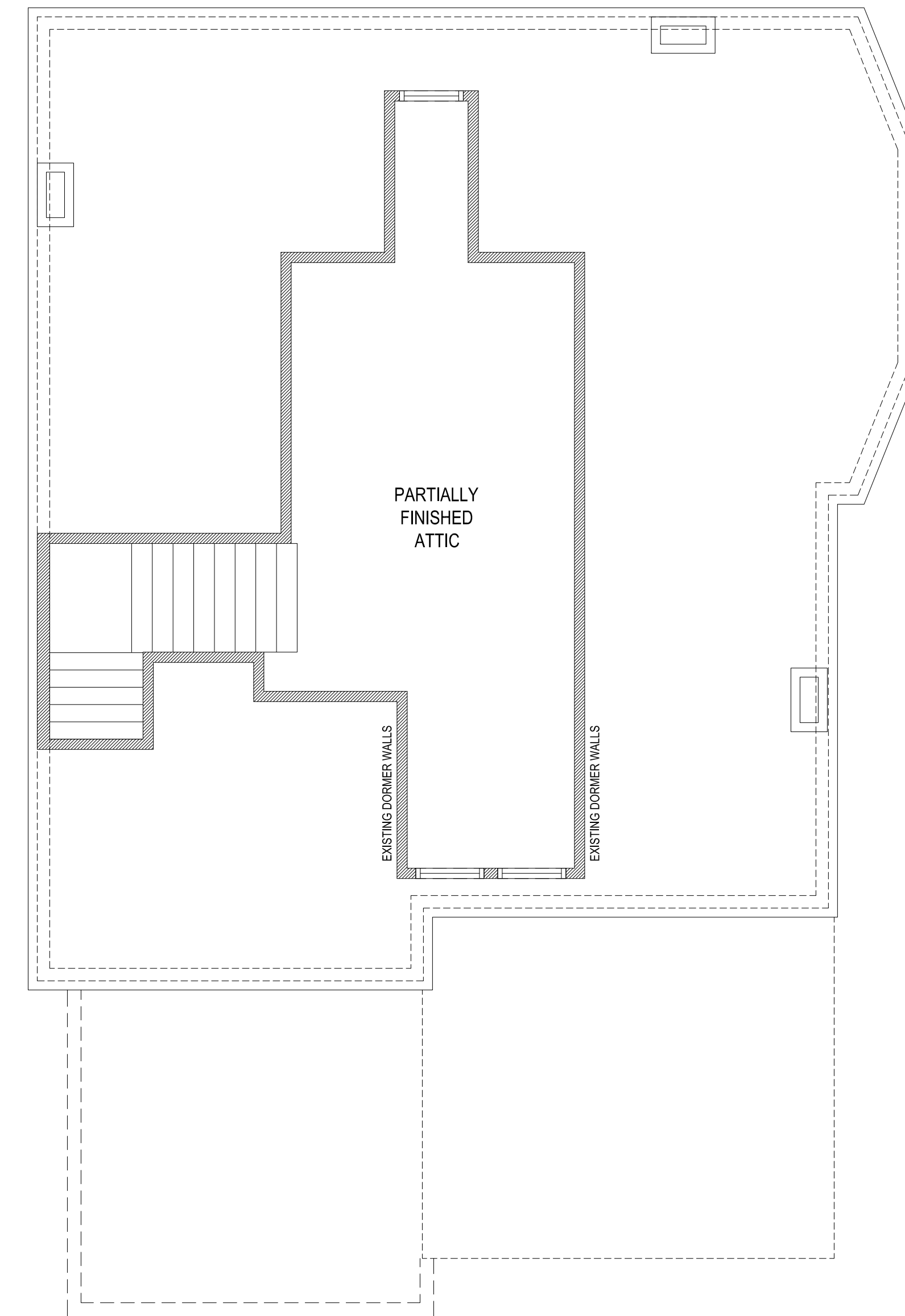
EXISTING/DEMO  
MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"



EXISTING/DEMO  
UPPER LEVEL FLOOR PLAN

1/4" = 1'-0"



EXISTING/DEMO  
ATTIC LEVEL FLOOR PLAN

1/4" = 1'-0"

revisions

architect seal

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title  
EXISTING/DEMO FLOOR PLANS

scale  
1/4" = 1'-0"

drawn checked  
APS

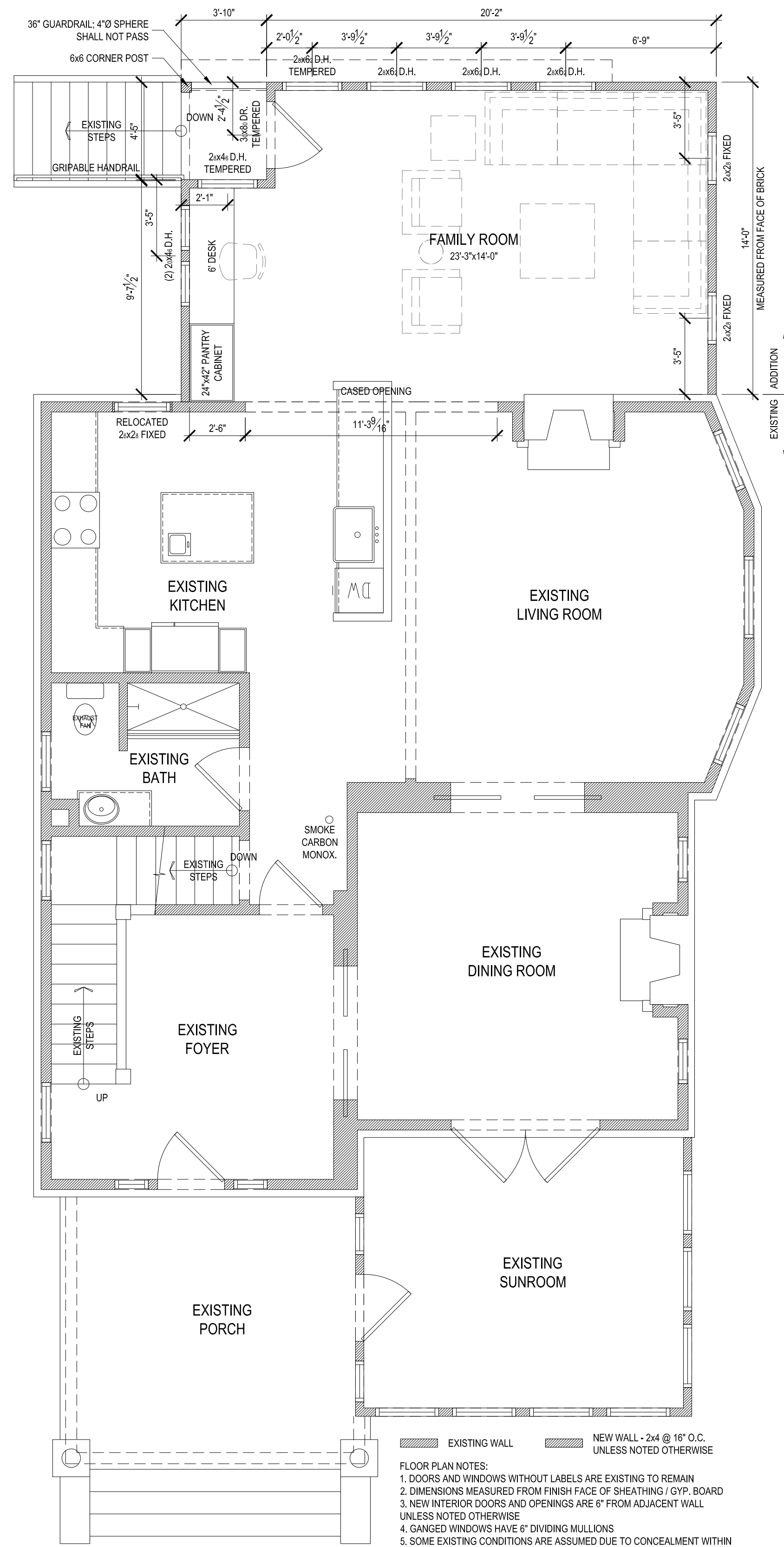
date  
02-14-2022

project no.

474Sem

sheet no.

A-1



**PROPOSED  
MAIN LEVEL FLOOR PLAN**

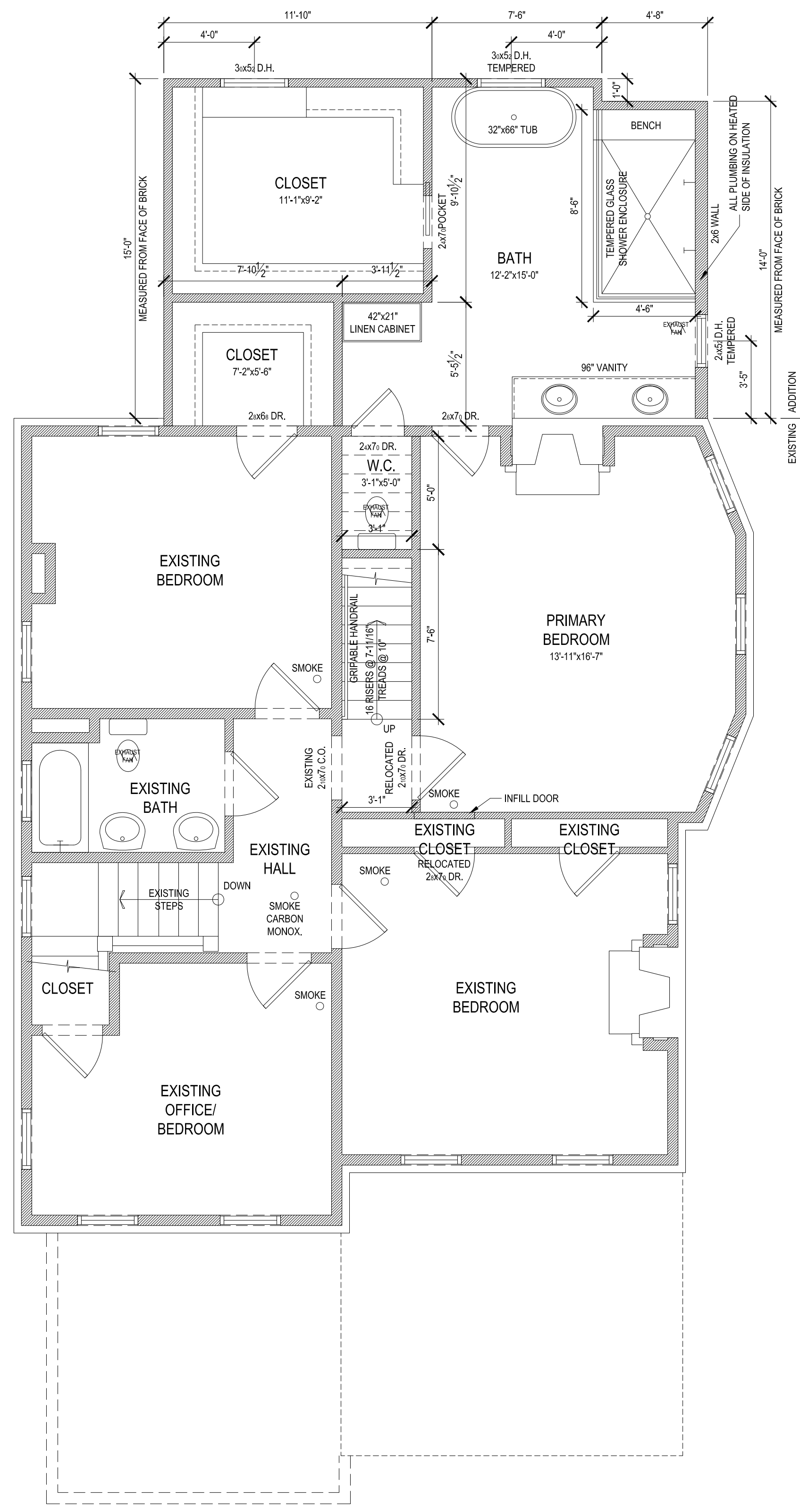
1/4" = 1'-0"

- FLOOR PLAN NOTES:**
- DOORS AND WINDOWS WITHOUT LABELS ARE EXISTING TO REMAIN
  - DIMENSIONS MEASURED FROM FINISH FACE OF SHEATHING / GYP. BOARD
  - NEW INTERIOR DOORS AND OPENINGS ARE 6" FROM ADJACENT WALL UNLESS NOTED OTHERWISE
  - GANGED WINDOWS HAVE 6" DIVIDING MULLIONS
  - SOME EXISTING CONDITIONS ARE ASSUMED DUE TO CONCEALMENT WITHIN FINISHED WALLS AND CEILINGS. FIELD MODIFICATIONS MAY BE REQUIRED.

- ELECTRICAL NOTES:**
- ELECTRICAL OUTLETS SHALL BE LOCATED PER IRC E3901 WITH GFCI AND AFCI CIRCUIT PROTECTION WHERE REQUIRED

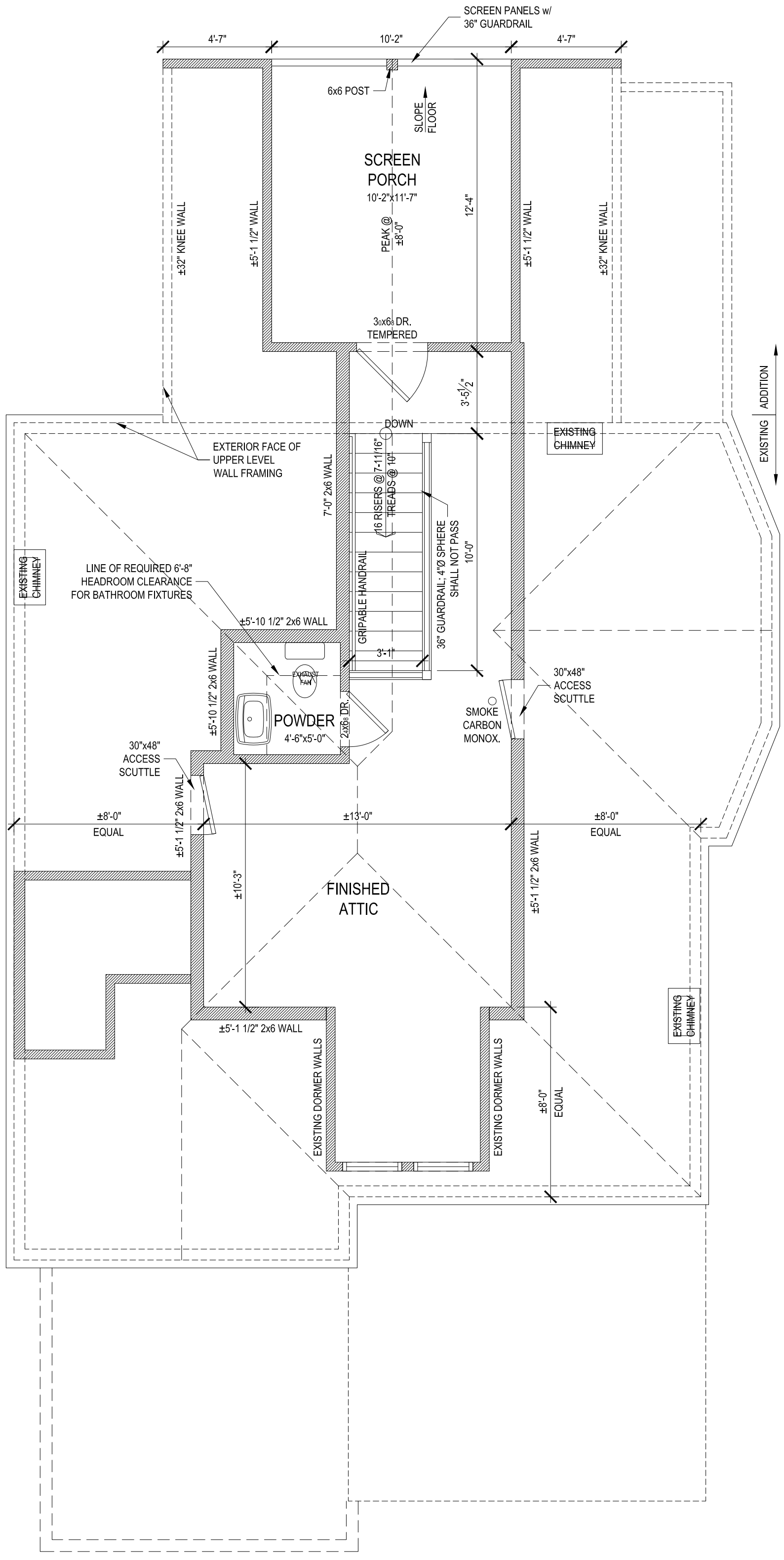
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**PROPOSED  
UPPER LEVEL FLOOR PLAN**

1/4" = 1'-0"



**PROPOSED  
ATTIC LEVEL FLOOR PLAN**

1/4" = 1'-0"

**474 Seminole Avenue NE**  
Atlanta, Georgia

revisions

architect seal

ISSUED FOR CONSTRUCTION

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<b>title</b> PROPOSED FLOOR PLANS	
<b>scale</b> 1/4" = 1'-0"	
<b>drawn</b> APS	<b>checked</b>
<b>date</b> 02-14-2022	<b>sheet no.</b>
<b>project no.</b> 474Sem	<b>A-2</b>



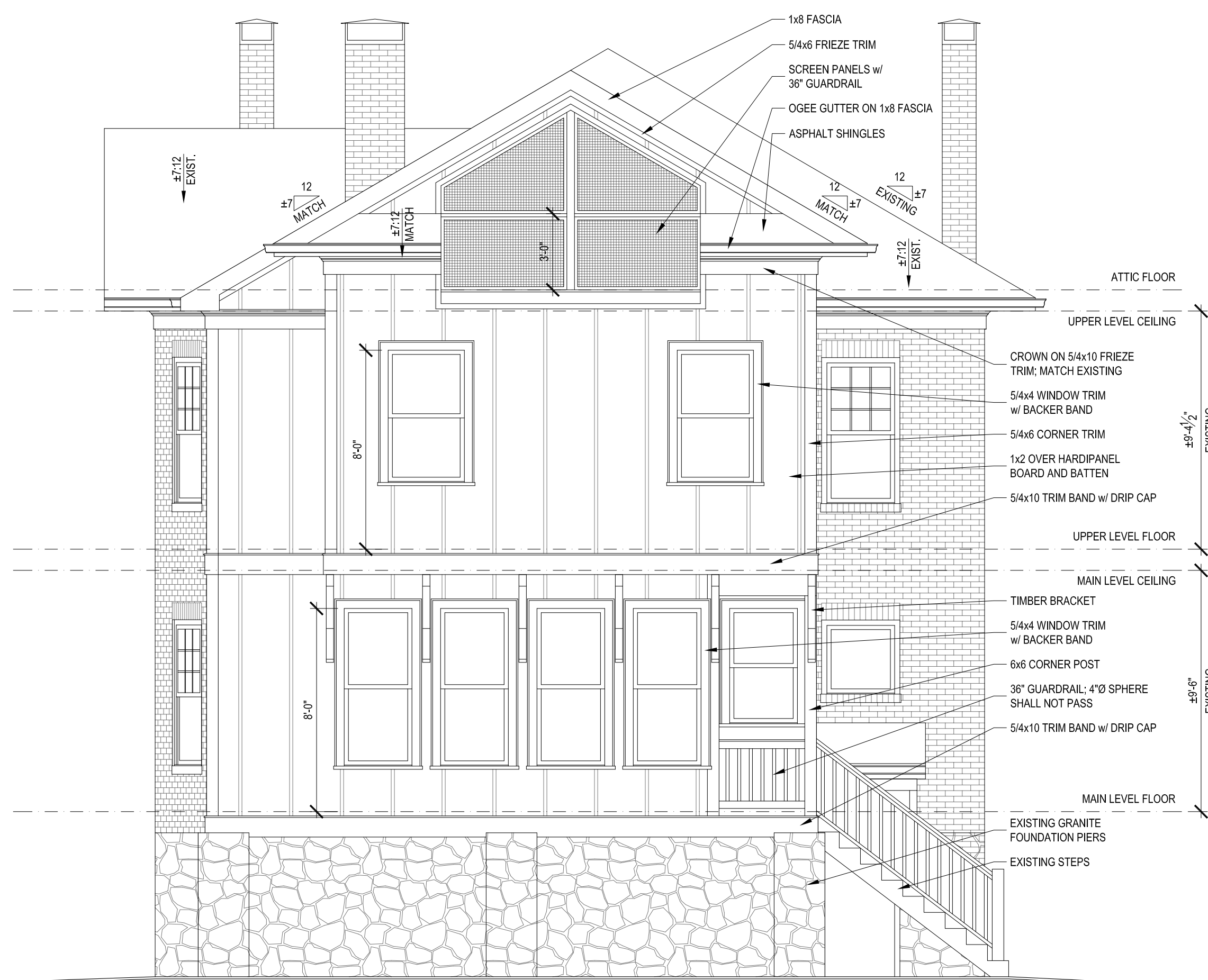
**EXISTING  
REAR ELEVATION**

1/4" = 1'-0"



**EXISTING  
LEFT ELEVATION**

1/4" = 1'-0"



**PROPOSED  
REAR ELEVATION**

1/4" = 1'-0"



**PROPOSED  
LEFT ELEVATION**

1/4" = 1'-0"

- ELEVATION NOTES:  
 1. ALL DOORS AND WINDOWS TO BE WOOD; GANGED WINDOWS TO HAVE 6\"/>

**revisions**

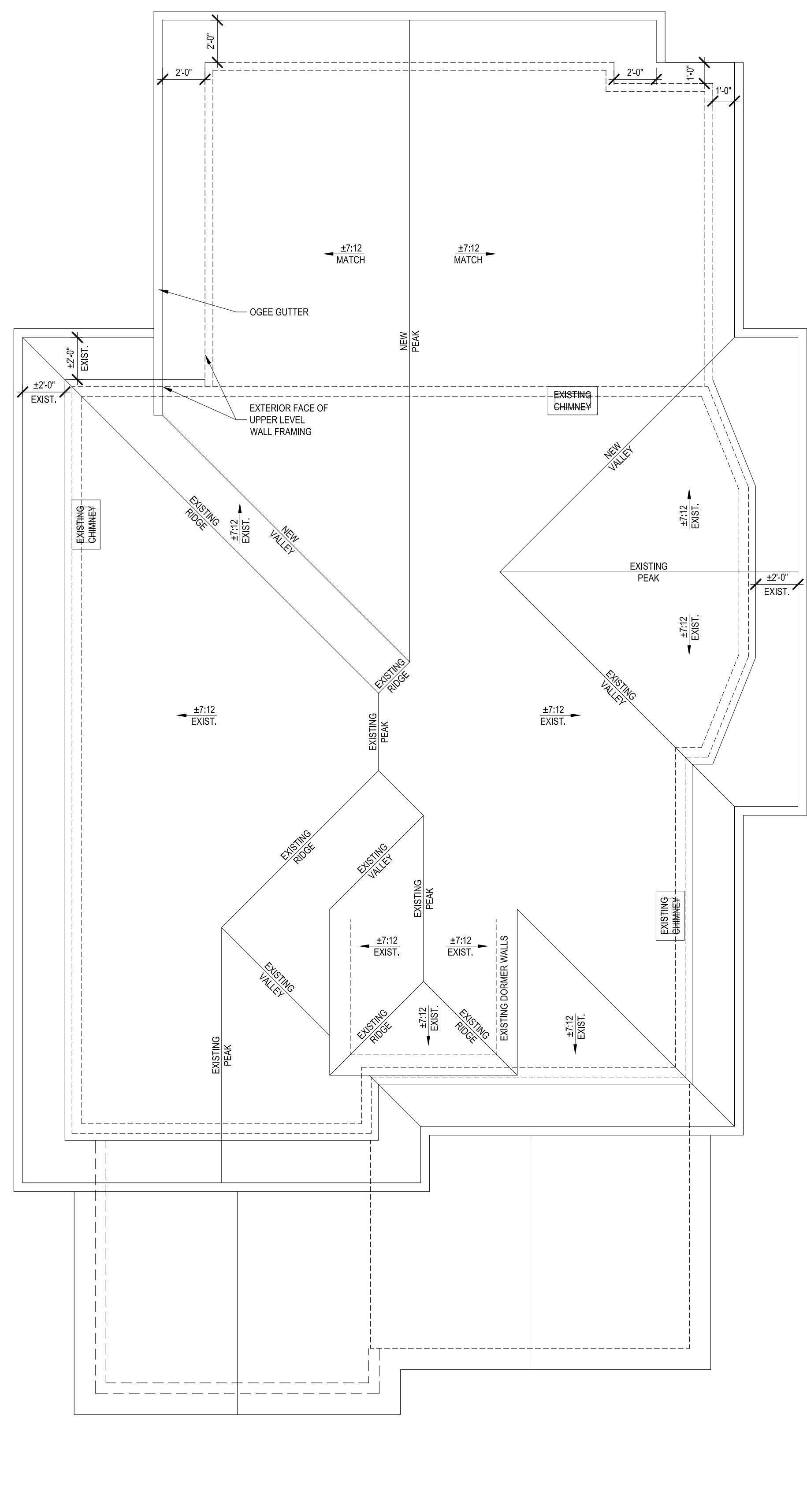
**architect seal**

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<b>title</b> LEFT & REAR ELEVATIONS	
<b>scale</b> 1/4" = 1'-0"	
<b>drawn</b> APS	<b>checked</b>
<b>date</b> 02-14-2022	<b>sheet no.</b> A-3
<b>project no.</b> 474Sem	

**474 Seminole Avenue NE**  
Atlanta, Georgia



**ROOF PLAN**

1/4" = 1'-0"



**EXISTING RIGHT ELEVATION**

1/4" = 1'-0"



**PROPOSED RIGHT ELEVATION**

1/4" = 1'-0"

**revisions**

**architect seal**

**ISSUED FOR CONSTRUCTION**

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**title**  
RIGHT ELEVATION & ROOF PLAN

**scale**  
1/4" = 1'-0"

**drawn**  
APS

**date**  
02-14-2022

**project no.**  
474Sem

**checked**

**sheet no.**

**A-4**