

Project Description - 370 Sinclair Avenue NE

This application for a Certificate of Appropriateness includes a rear addition to the existing two-story contributing structure and interior renovations to the existing house. The house was constructed in 1900, according to Fulton County tax records.

Proposed renovations to the existing house:

1. Interior renovations (not be visible from the exterior of the house.)
2. Remove and replace non-historic windows in existing rear addition.

Proposed addition to the house:

1. Construct a rear addition containing a dining room, screen porch, and exterior stairs. The wall height and eave overhangs of the addition will match those of the existing kitchen addition. The existing corner trim differentiates the original house from previous and proposed additions. Exterior materials will include, smooth-face hardiplank lap siding matching the reveal of the original wood siding, wood trim, and an asphalt roof. New windows will be wood simulated divided light double hung with permanently affixed exterior muntins and 6" dividing mullions for ganged windows.

Site:

1. Remove existing deck and stairs, and portion of stone walkway.



Front elevation - no changes proposed



Rear elevation



Right side from rear



Left side elevation facing Washita



Non-historic windows in existing addition to be removed



Lower level screen porch to remain

CONTRACTOR/OWNER/24 HR CONTACT	ARCHITECT
Tamara and John Huston 370 Sinclair Ave NE Atlanta GA 30307 404-385-0706	ADAM STILLMAN 350 SINCLAIR AVE NE ATLANTA, GA 30307 770-330-3389

STANDARD CONSTRUCTION CODES:
International Building Code, 2018 Edition, with Georgia Amendments (2020)
International Residential Code, 2018 Edition, with Georgia Amendments (2020)
International Fire Code, 2018 Edition (no Georgia Amendments)
International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
International Mechanical Code, 2018 Edition, with Georgia Amendment (2020)
International Fuel Gas Code, 2018 Edition, with Georgia Amendment (2020)
National Electrical Code, 2020 Edition (no Georgia Amendments)
International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
International Swimming Pool and Spa Code, 2018 Edition, with GA Amendments (2020)
2018 NFPA 101 - Life Safety Code 2018 Edition with State Amendments (2020)

PROJECT NAME: Huston Residence
SCOPE OF WORK: Renovate existing house; construct rear addition
with dining room, screen porch, and exterior stairs. Replace
non-historic windows in existing kitchen addition
TYPE OF CONSTRUCTION: V-B
NUMBER OF STORIES: 2+basement
BUILDING HEIGHT: 28'-4"

PROPOSED FLOOR AREAS:	
MAIN (EXISTING):	1187 sf
MAIN (ADDITION):	180 sf
UPPER (EXISTING):	981 sf
TOTAL:	2348 sf

NOTE: NO ATTIC SPACE EXCEEDS 7'
HEADROOM; 674 sf BASEMENT NOT
INCLUDED IN FLOOR AREA PER
SECTION 16-24.008.(1)

UNHEATED AREAS:
PORCH/STEPS (EXISTING): 308 sf
SCREEN PORCH: 128 sf

EXISTING ACCESSORY STRUCTURE AREAS:
GARAGE: 489 sf (20.8% OF MAIN HOUSE)
ADU: 571 sf (24.5% OF MAIN HOUSE)

FLOOD HAZARD: NO
TYP. DEAD LOADS: 10 psf
TYP. LIVE LOADS: 40 psf
TYP. ROOF LOADS: 20 psf LIVE/15 psf DEAD
WIND SPEED/CATEGORY: 115 mph/B
TERMITE: SEVERE
WEATHER: MODERATE
FRONT LINE DEPTH: 12"
MEAN ANNUAL TEMP: 66.2°
WINTER DESIGN TEMP: 22°
GROUND SNOW LOAD: 5 psf
SEISMIC DESIGN CATEGORY: B

DRAWING INDEX:	
A-0	COVER SHEET
-	SURVEY
S-1	SITE PLAN
A-1	MAIN LEVEL FLOOR PLANS
A-2	BASEMENT FLOOR PLANS
A-3	ELEVATIONS



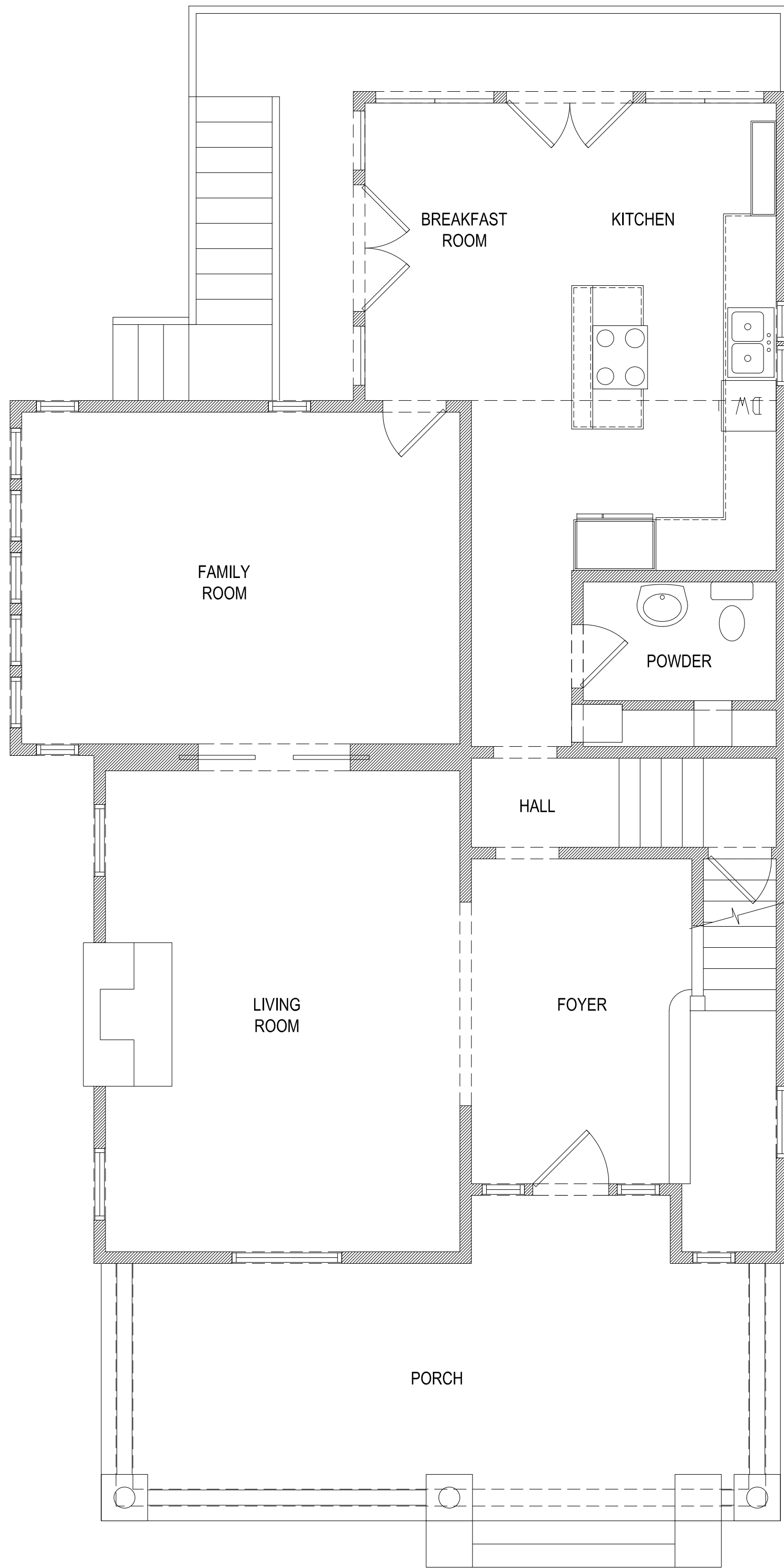
Your Home.
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(770) 330-3389
adam@adamstillman.net

370 Sinclair Avenue NE

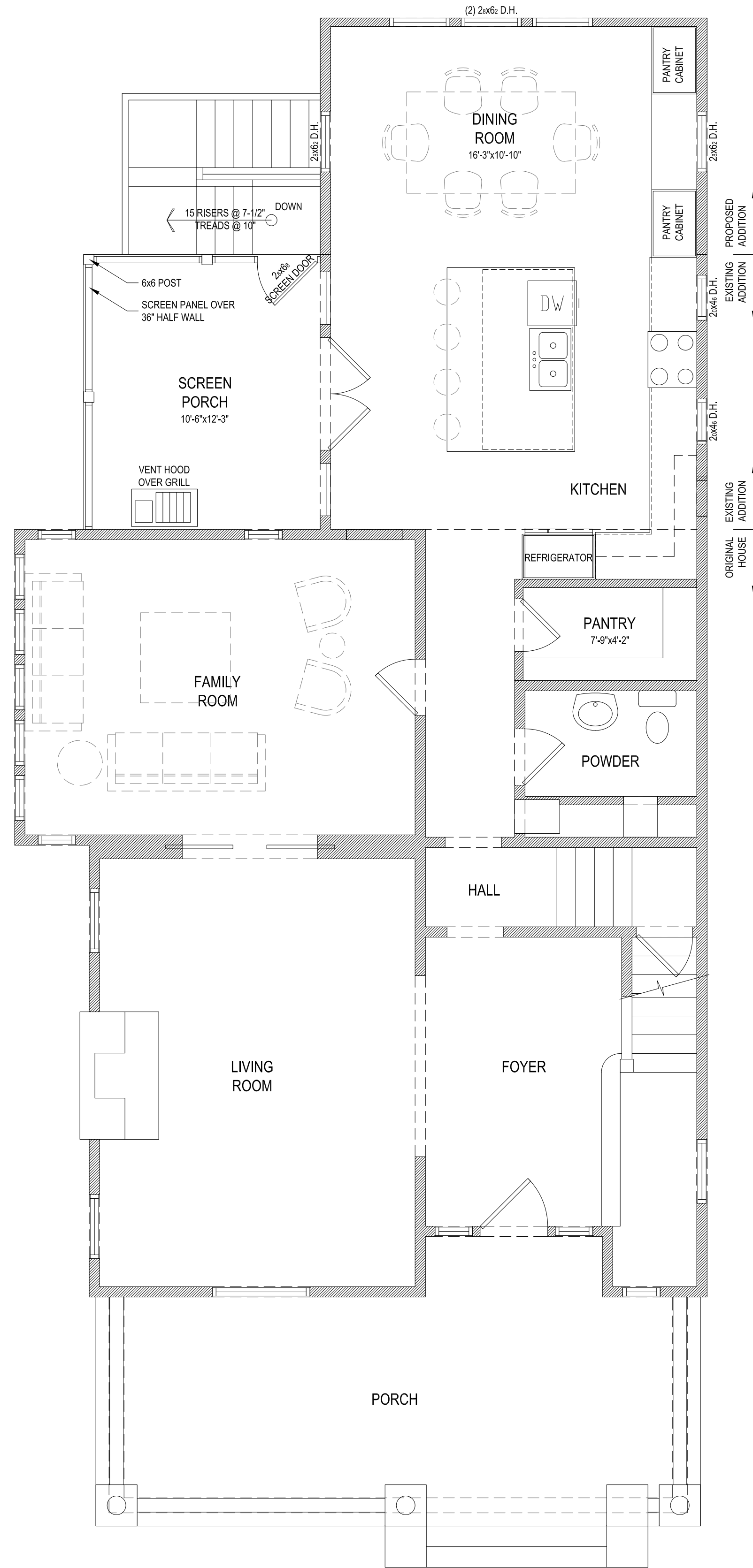
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ISSUED FOR CONSTRUCTION	
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title COVER SHEET & SURVEY	
scale -	
drawn APS	
checked	
date 04-01-2022	sheet no.
project no. 370Sinclair	A-0



EXISTING
MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"



PROPOSED
MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"

EXISTING WALL
NEW NEW WALL- 2x4 @ 16" O.C.

PROPOSED FLOOR AREAS:
MAIN (EXISTING): 1169 sf
MAIN (ADDITION): 193 sf
UPPER (EXISTING): 981 sf
TOTAL: 2330 sf

NOTE: NO ATTIC SPACE EXCEEDS 7" HEADROOM; 674 sf BASEMENT NOT INCLUDED IN FLOOR AREA PER SECTION 16-24.008.(1)

UNHEATED AREAS:
PORCH (EXISTING): 294 sf
SCREEN PORCH: 128 sf

FLOOR PLAN NOTES:
1. DIMENSIONS MEASURED FROM FINISH FACE OF SHEATHING / GYP. BOARD
2. NEW DOORS AND CASED OPENINGS TO BE 6" FROM ADJACENT WALL UNLESS NOTED OTHERWISE
3. DOORS AND WINDOWS WITHOUT LABELS ARE EXISTING TO REMAIN
4. NEW DOORS AND WINDOWS TO BE WOOD SIMULATED DIVIDED LIGHT WITH PERMANENTLY AFFIXED EXTERIOR MUNTINS; GANGED WINDOWS TO HAVE 6" DIVIDING MULLIONS
5. SOME EXISTING CONDITIONS ARE ASSUMED DUE TO CONCEALMENT WITHIN FINISHED WALLS AND CEILINGS. FIELD MODIFICATIONS MAY BE REQUIRED

ELECTRICAL NOTES:
1. ELECTRICAL OUTLETS SHALL BE LOCATED PER IRC E3801 WITH GFCI AND AFCI CIRCUIT PROTECTION WHERE REQUIRED

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title
MAIN LEVEL FLOOR PLANS

scale
1/4" = 1'-0"

drawn
APS

checked

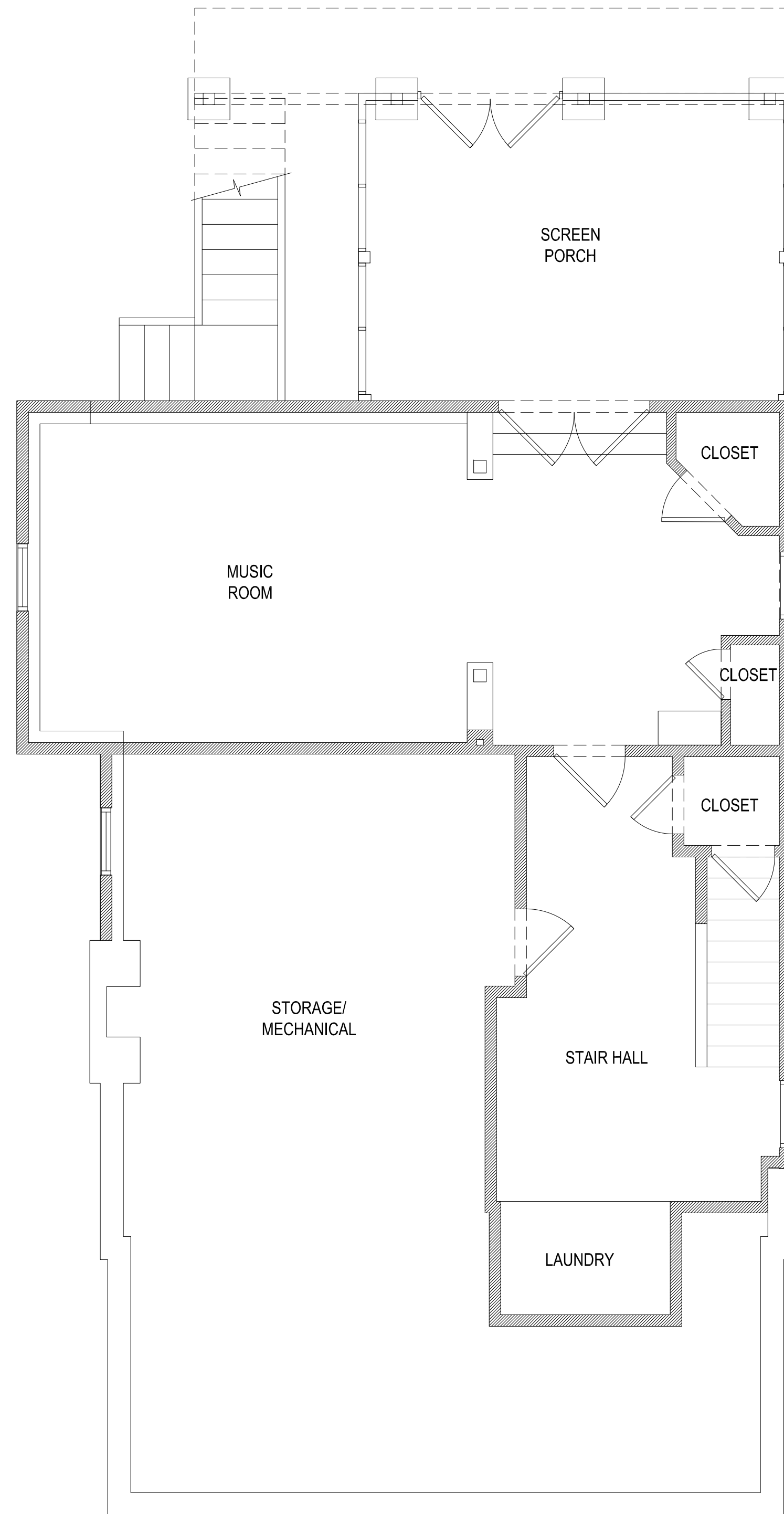
date
04-01-2022

project no.

370Sinclair

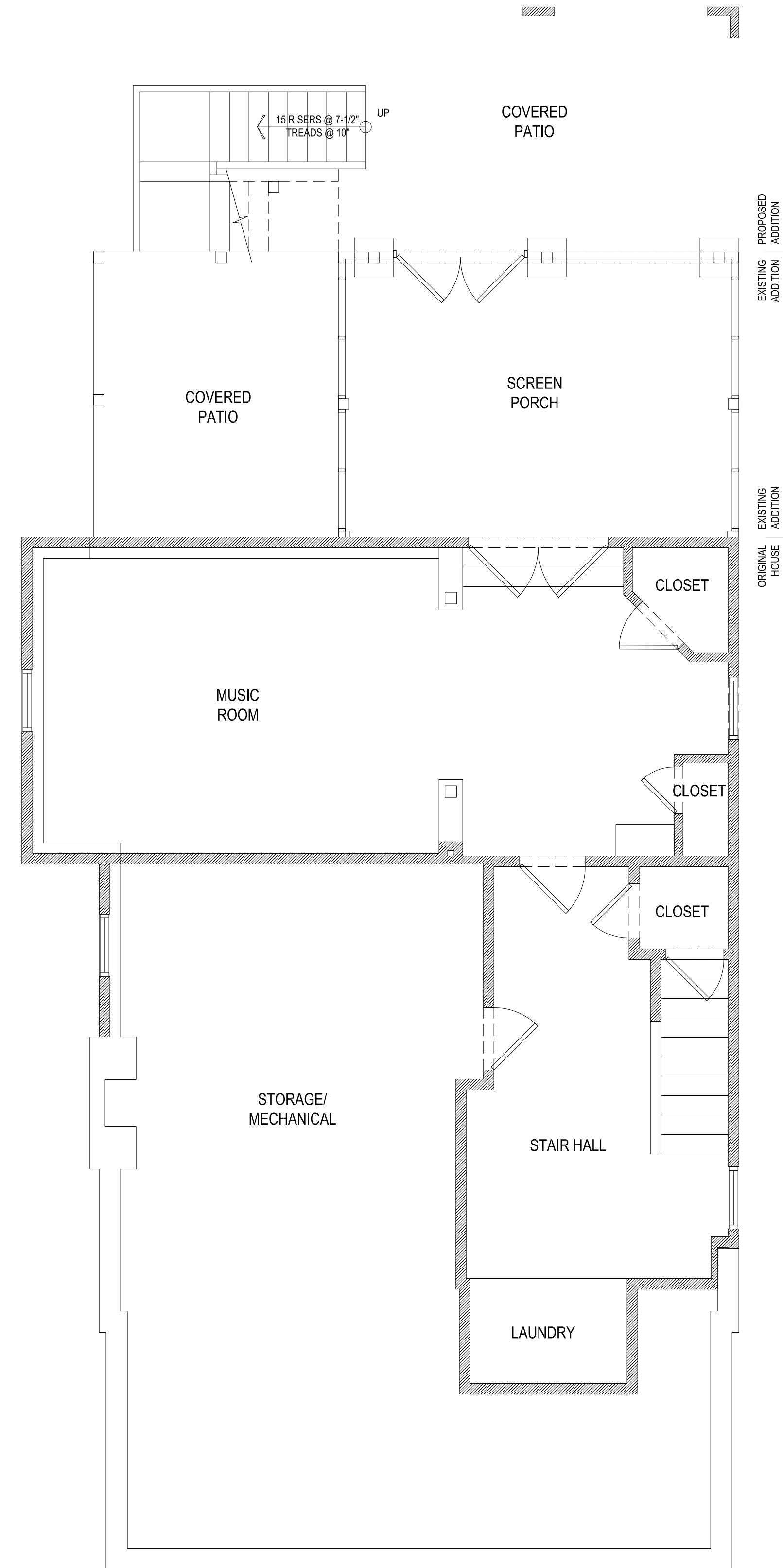
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A-1



EXISTING
BASEMENT LEVEL FLOOR PLAN

1/4" = 1'-0"



PROPOSED
BASEMENT LEVEL FLOOR PLAN

1/4" = 1'-0"

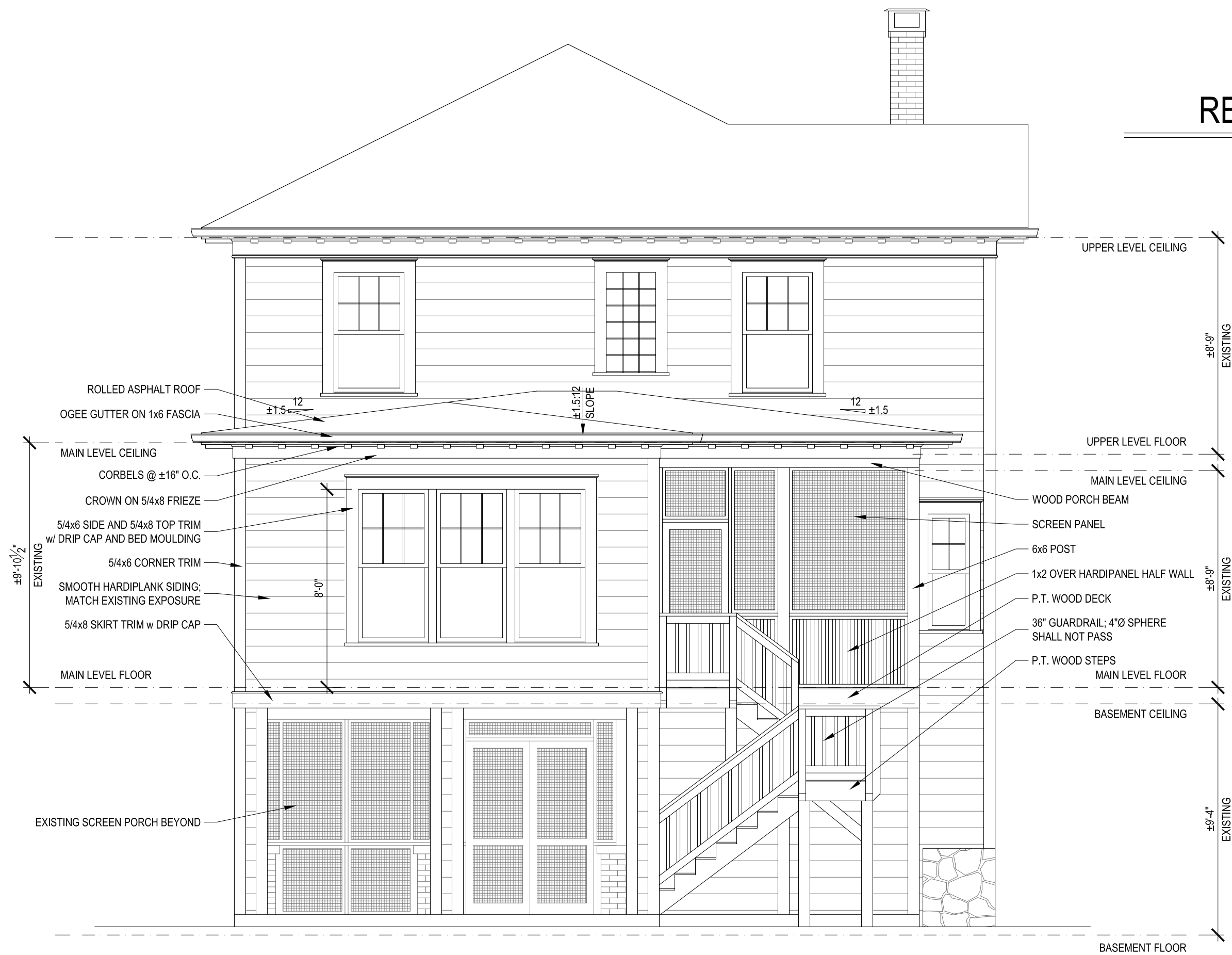
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title BASEMENT LEVEL FLOOR PLANS	
scale 1/4" = 1'-0"	
drawn APS	checked
date 04-01-2022	sheet no.
project no. 370Sinclair	A-1

REAR ELEVATION

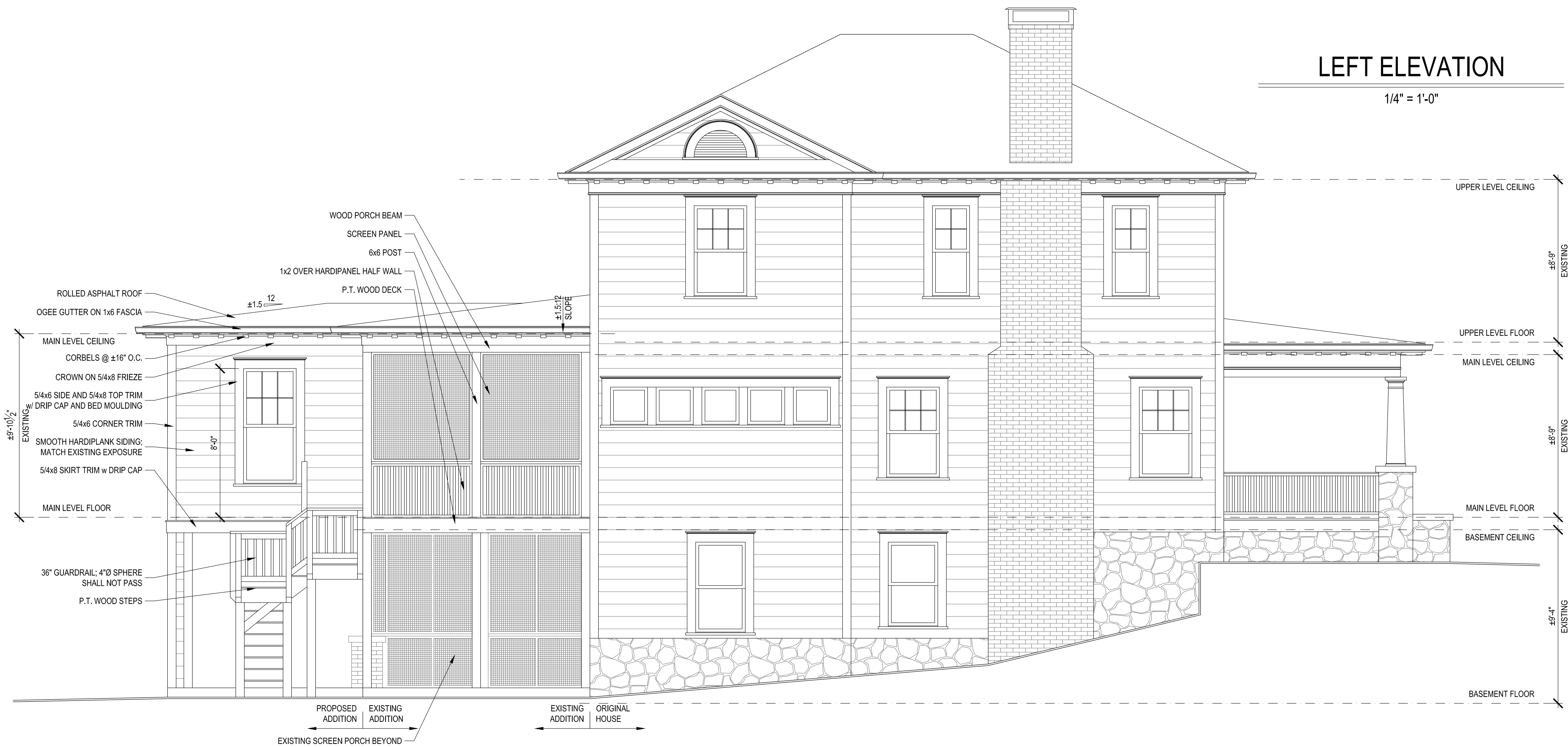
1/4" = 1'-0"



- ELEVATION NOTES:
1. ALL CONDITIONS ARE EXISTING TO REMAIN EXCEPT AS NOTED
 2. NEW DOORS AND WINDOWS TO BE WOOD SIMULATED DIVIDED LIGHT WITH PERMANENTLY AFFIXED EXTERIOR MUNTINS; GANGED WINDOWS TO HAVE 6" DIVIDING MULLIONS
 3. ALL EXTERIOR TRIM IS WOOD
 4. NO CHANGES PROPOSED TO FRONT ELEVATION

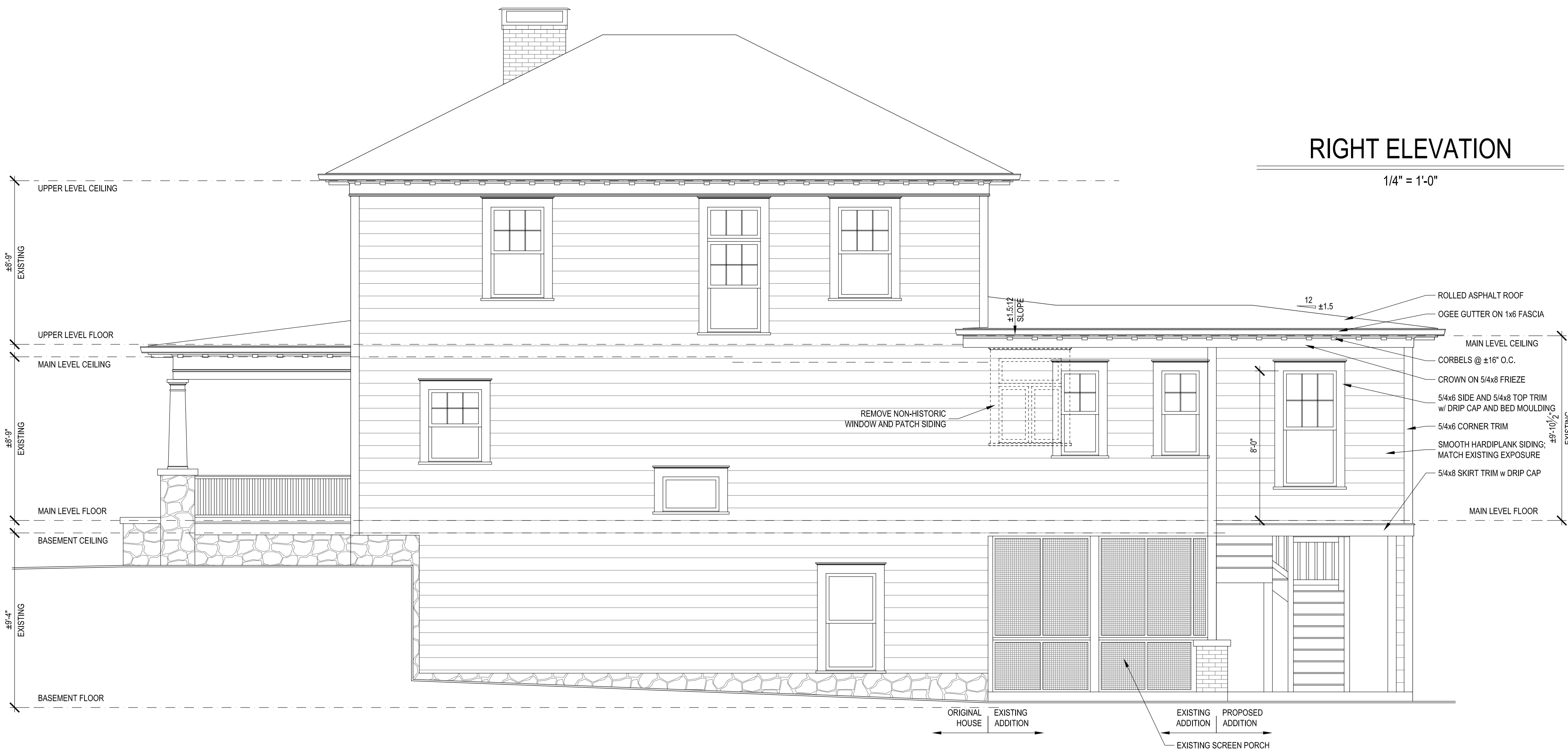
LEFT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



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DATE	04-01-2022	SHEET NO.	
PROJECT NO.	370Sinclair	A-3	
DRAWN	APS	CHECKED	
SCALE	1/4" = 1'-0"		
TITLE	ELEVATIONS		

ARCHITECT SEAL

REVISIONS

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