Repairs and Renovation to the Siebert-Bleavins Residence

182 Elizabeth St NE, Atlanta, GA 30307

Project Description

Conversion of a legally non-conforming 5-unit boarding house to a single family home. Proposed work includeds two main categories: 1) general repairs to disintegrating portions of the structure, with particular emphasis on the front porch area tree damage, and 2) removal of haphazard additions to the home to restore a more cohesive whole.

Zoning Notes

Project Address: 182 Elizabeth St NE, Atlanta, GA 30307

Existing Building Use: Site zoning: Overlay: Neighborhood: Multi-Family R-5 HC20LSA1 + Beltline Inman Park

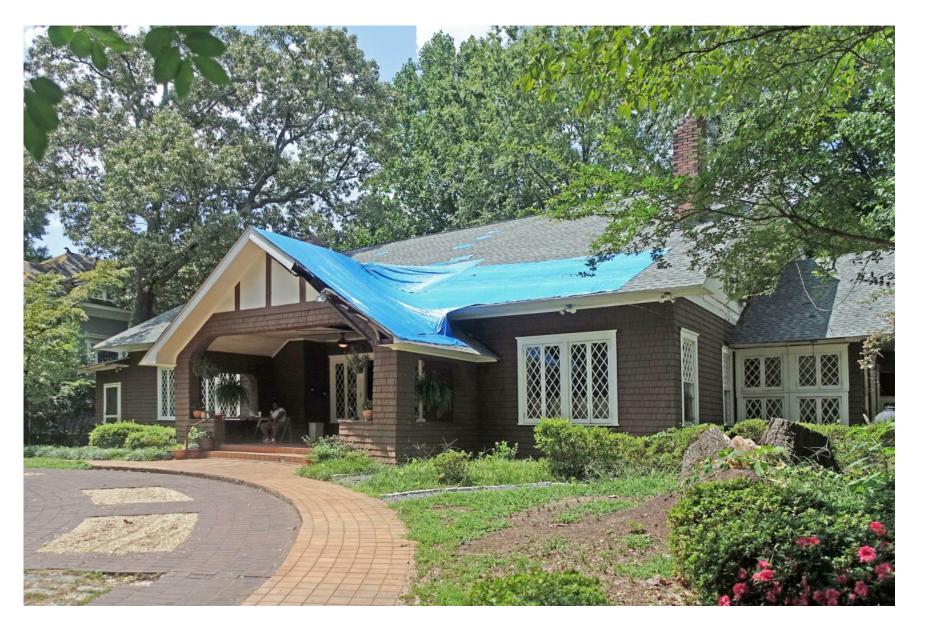
Front yard setback: Side yard setback: Rear yard Setback: Building height: Finished floor average height above grade: Sewer system is existing and will not change. 24 hour Erosion & Sediment Control Contact: <u>Primary</u> 30'- 0'' 7'- 0'' 7'- 0'' 35'-0'' Max existing, no change

<u>Applicable Codes</u>

Building/Dwelling Code: Life Safety Code Plumbing Code Mechanical Code Electrical Code Fire Code Fuel Gas Code Energy Code Accessibility Code

IRC 2018 w/Georgia amendments (2020) NFPA 101 (2018) IPC 2018 w/ Georgia Amendments (2020) IMC 2018 w/ Georgia amendments (2020) NEC 2020 IFC 2018 IFGC 2018 w/ Georgia amendments (2020) IECC 2018 w/Georgia amendments (2020) Georgia Accessibility Code(1997), Georgia Access Law Chapter 120-3-20 ADAAG 2010

Existing Condition





Vicinity Map



Sheet		Sheet Issue	
Number	Sheet Name	Date	Current Revision
<u></u>		05/05/0000	
G0.0	Cover Sheet	05/25/2022	
G0.1	Photos	05/25/2022	
G0.2	Survey	05/25/2022	
G0.3	Existing Site Plan	05/25/2022	
G0.4	Proposed Site Plan	05/25/2022	
A1.1	First Floor Existing/Demo Plan	05/25/2022	
A1.2	Second Floor Existing/Demo Plan	05/25/2022	
A1.3	Existing/Demo Roof Plan	05/25/2022	
A1.4	Proposed Basement Plan	05/25/2022	
A1.5	Proposed First Floor Plan	05/25/2022	
A1.6	Proposed Second Floor Plan	05/25/2022	
A1.7	Proposed Roof Plan	05/25/2022	
A2.1	Existing Elevations	05/25/2022	
A2.2	Existing Elevations 2	05/25/2022	
A2.3	Proposed Elevations	05/25/2022	
A2.4	Proposed Elevations 2	05/25/2022	

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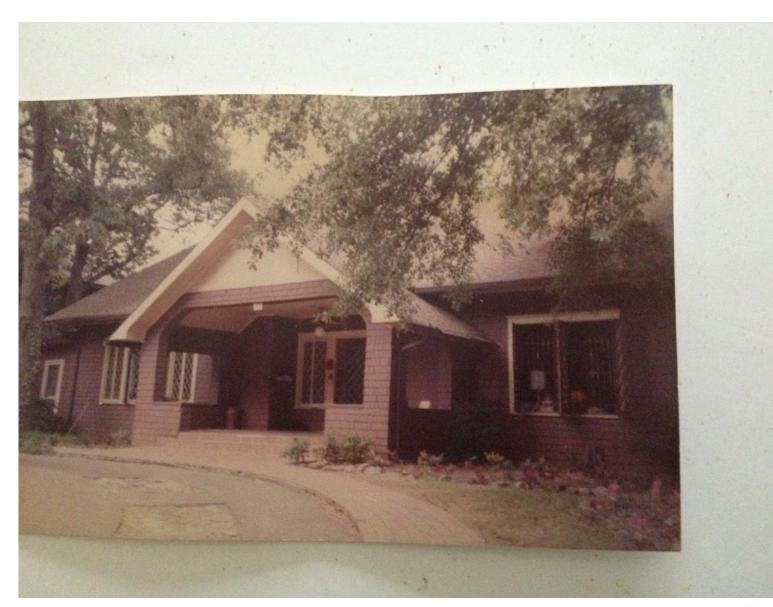
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No.	Description	Date
A	VUDC	04/14/2021



PROJECT SHEET INDEX





Rear, circa 1974. Note changes to the rear, notably the addition and different stair configuration.

Front, circa 1980



Front, 2014.



Northeast (front) corner. Note porch addition roof and proportions that are unlike the original construction.



East facade from above - note intersection of corner addition (right) with existing roofline and curved eave condition - roofline to right not original. Note angled trim to left, likely indication of previous roofline.



window muntin and trim style, suggesting extent of original home.



Rear, circa 1974. Note lattice on upper wing, second rear chimney (no longer in the home), and the rear entry to the main floor.



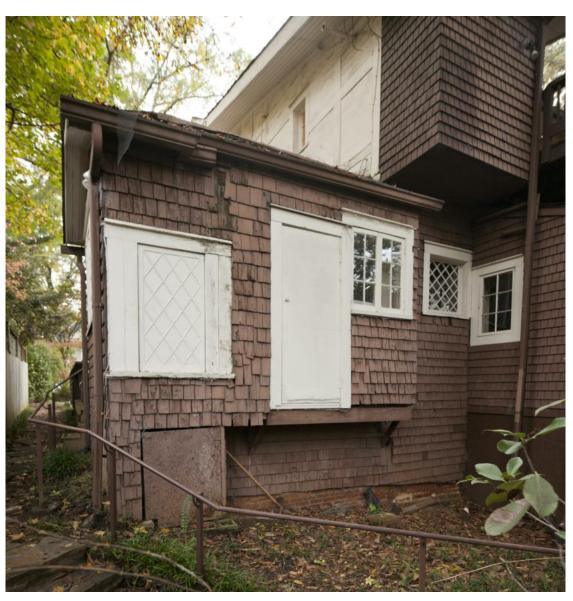
Current condition of front facade - note tree damage to front porch, right chimney, and main roof.



Southeast corner, note differences in shingles and extent of foundation (center) and changes in



East wing at rear, note window differences in addition and haphazard drop down to fit porch under roof slope.



Southwest corner, note cantilevered bump-outs. Center portion nests in typical roof overhang, while the left addition adds secondary, low-slope roof. Original wall supposed at line of foundation (brick). Note T-III siding on additions above and below, right.

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Northwest corner, note deck addition around kitchen faced with cut T-III plywood, not "original" shakes or shingles.

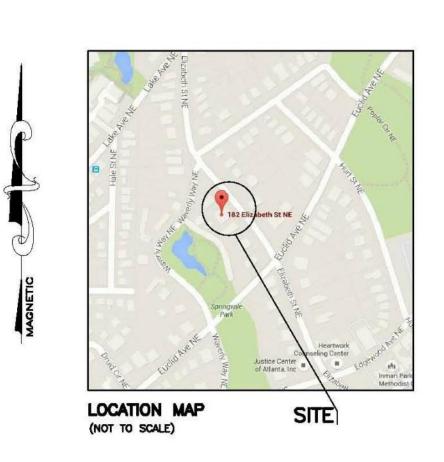
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A	UDC	04/14/2021

and ГТ Ζ airs 30307 Street $\mathbf{\Omega}$ OD Rej eth U ta Atlant Siebert-Ble Eliz \sim 182 Architectural Stamp Photos 1411 Project number 2021/08/18 AM Drawn by MTS Checked by G0.1 **ISSUED** for Construction Original page size is 22x34. Copyright 2022 Scale



FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL () (IS NOT) IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL MAP ID 13121C0263G DATE: 09/18/2013 ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOWN THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

SURVEY NOTES:

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS. 2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE. WAY PUBLIC OR PRIVATE. 3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. IT CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

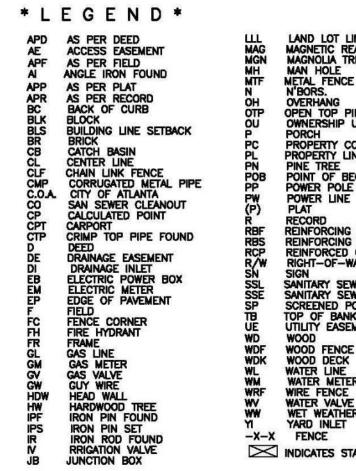
IF YOU DIG GEDROMA... CALL US FIRST 1-800-282-7411 770-823-4344 (METRO ATLANTA ONLY) UTLITY PROTECTION CENTER IT'S THE LAW

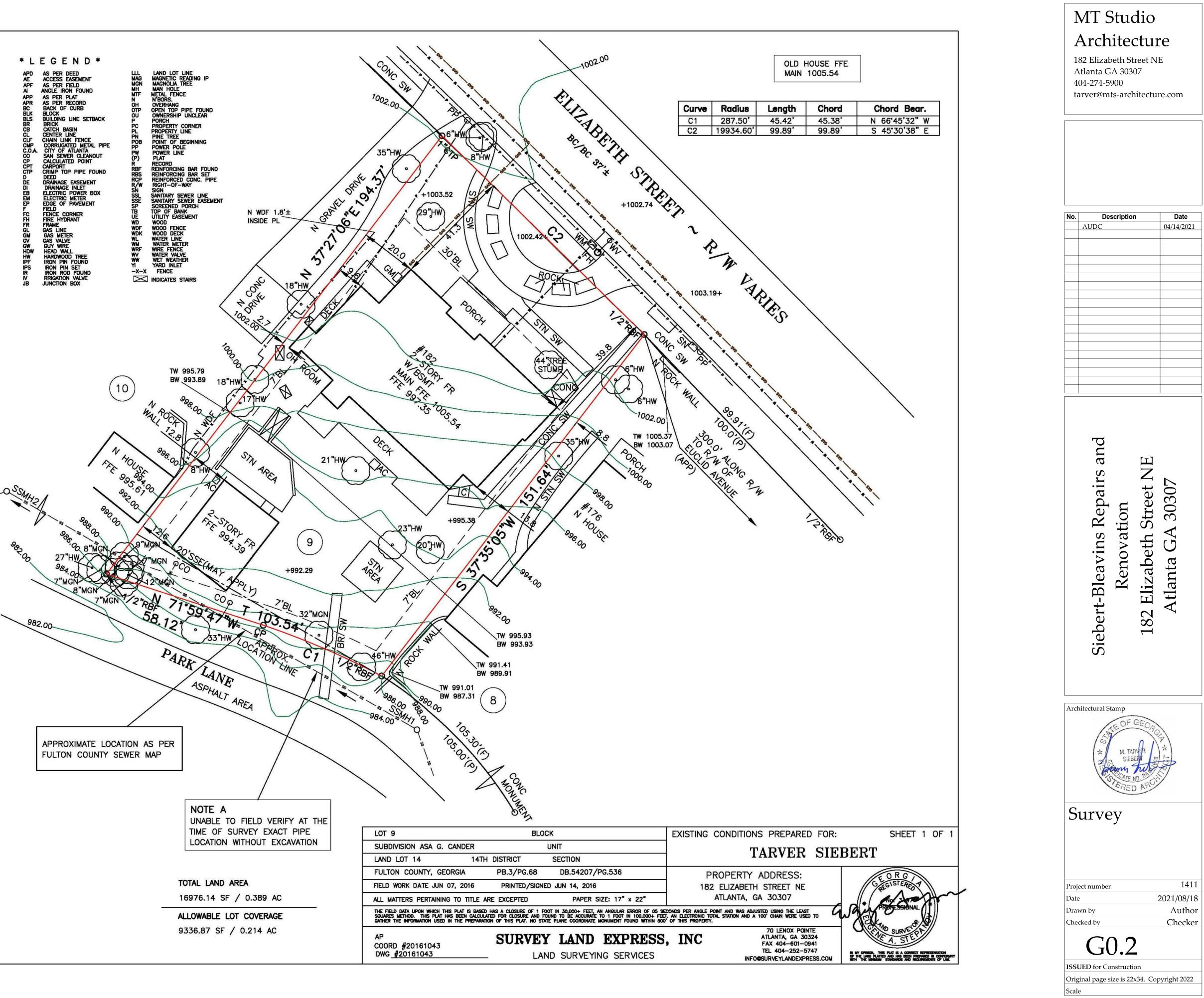
ZONING NOTE: BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

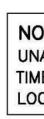
PROPERTY IS ZONED R-5 HC20LSA1-INMAN PARK SA 1 /BELTLINE OVERLAY BUILDING SETBACK: FRONT 30' SIDE 7' REAR 7

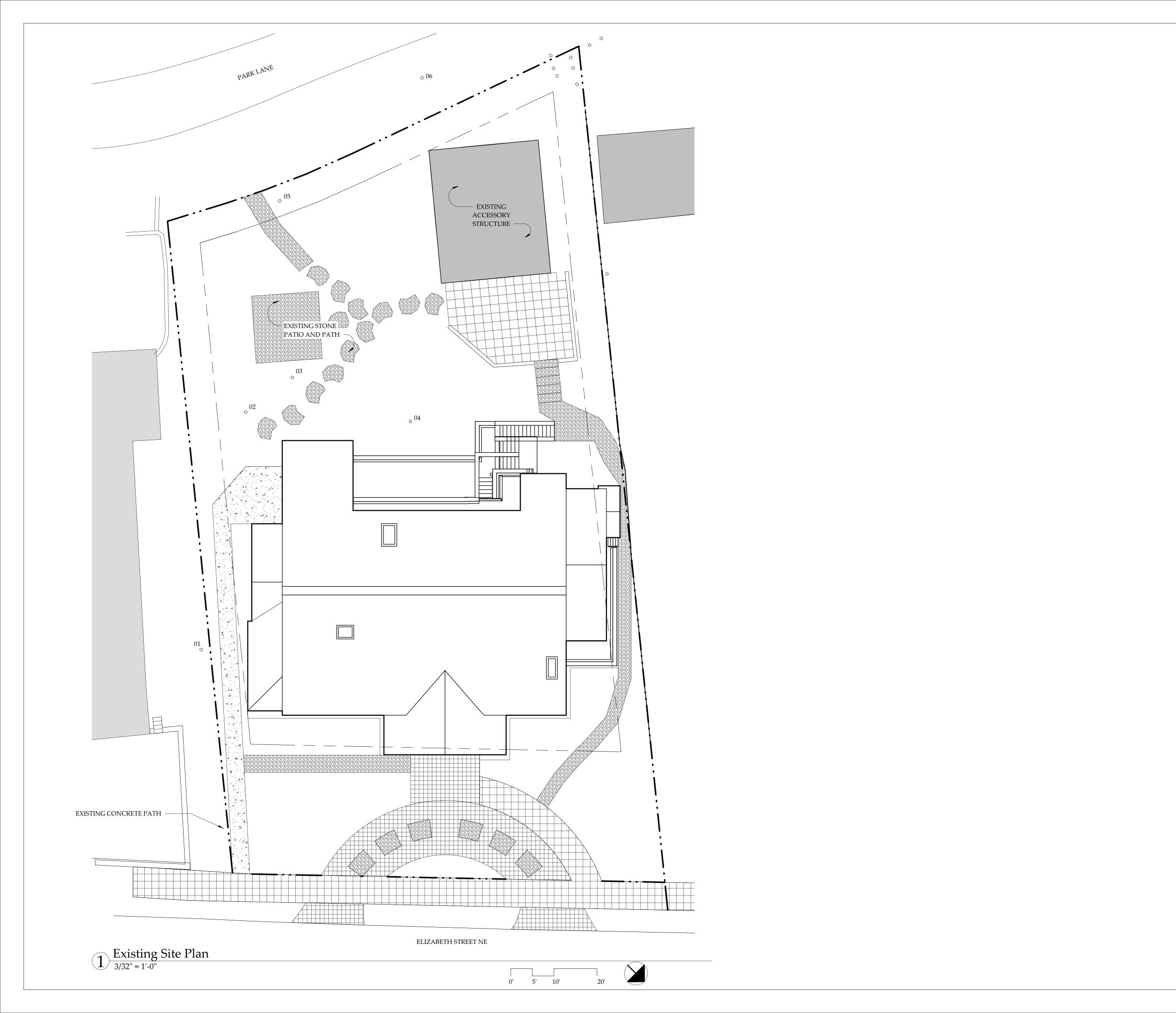
MAX LOT COVERAGE 55%

20 0 SCALE $1^{"} = 20^{"}$

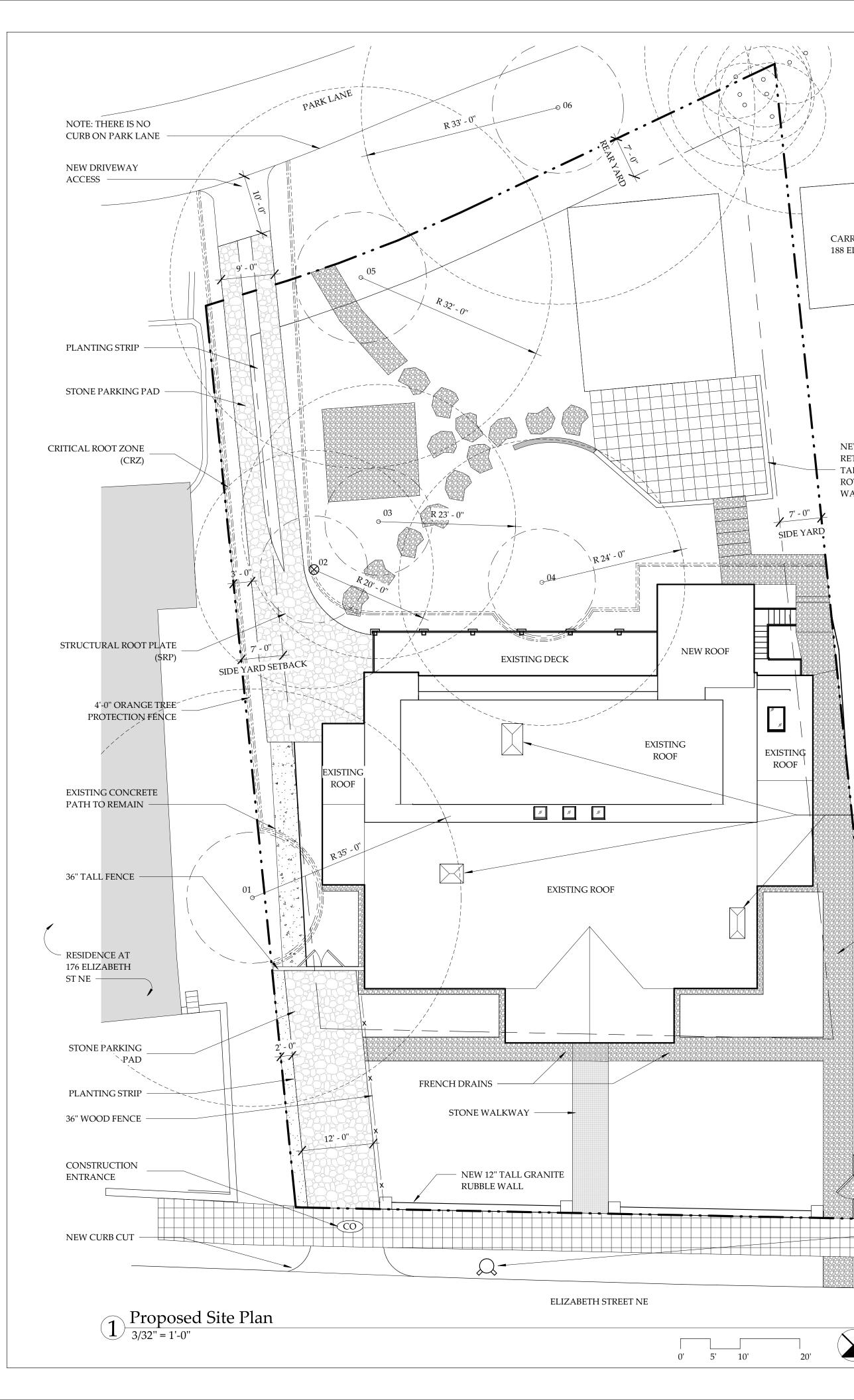








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No.	Descrip AUDC	tion	Date 04/14/2021	
	Siebert-Bleavins Repairs and Renovation	182 Elizabeth Street NE	Atlanta GA 30307	
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Erosion and Sediment Control Notes

1. Sanitary and storm sewers will not be changed in this scope of work. Any new sanitary sewer lines will connect to existing lines.

2. Demolition debris will be approximately 2 cubic yards, and will be disposed of in a manner complying with local codes and ordinances.

3. No graded slope shall exceed 2h:1v

4. The escape settlement from the site shall be prevented by the installation of erosion and sediment control measures prior to or concurrent with land-disturbing activities.

5. Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for full erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.

6. Disturbed areas left idle for 14 days shall be stabilized with temporary vegetation and mulch; disturbed areas left idle for 30days shall be stabilized with permanent vegetation.

6. Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary to maintain their effectiveness.

7. Additional sediment and erosion control measures shall be installed if determined necessary by onsite inspection.

8. Silt fence shall be Type "Sensitive" as per the manual for erosion and sediment control in Georgia, and wire reinforced (see attachment detail).

TREES AFFECTED BY CONSTRUCTION

Tree #	Tree Type	Gross Critical Root Zone	Net Critical Root Zone	Critical Root Zone Affected	Critical Root Zone Affected %	Saved / Lost / Destroyed
01	35" Hardwood	3850 SF	1749 SF	381 SF	21%	Lost
02	20" Hardwood	1257 SF	1088 SF	370 SF	34%	Destroyed
03	23" Hardwood	1663 SF	1516 SF	323 SF	16.4%	Saved
04	21" Hardwood	1386 SF	1110 SF	318 SF	6%	Saved
05	32" Magnolia	3218 SF	2909 SF	315 SF	11%	Saved
06	33" Hardwood	3423 SF	1933 SF	7 SF	.01%	Saved

Square Footage Calculations

		Existing	Proposed
	Main Structure Footprint:	4013.46 SF	3879.44 SF
	Accesory Structure Footprint:	788.15 SF	788.15 SF
	Driveway and Walkways:	2758.98 SF	3081.23 SF
	Total Lot Coverage (acres):	7560.59 SF	7748.82 SF
NEW COPPER CAPS (3)	(Footprint+Porches+Drive/Walkways)		
	Lot Coverage Percentage	45%	46%
	Lot area (acres):	16976.14 SF	16976.14 SF
		(0.389)	(0.389)
EXISTING FRENCH	Heated Area:		
DRAIN UNDER	Primary Structure		
WALKING PATH	First Floor:	3422.45 SF	3133.75 SF
	Second Floor:	2347.10 SF	2300.71 SF
	Accessory Structure		
	First Floor:	737.27 SF	737.27 SF (no change)
	Second Floor:	252.89 SF	252.89 SF (no change)
	Total Heated Area:	6759.71 SF	6424.62 SF
	FAR:	0.40	0.37
REBUILD EXISTING FENCE AT PROPERTY LINE			
NEW 36" TALL SHINGLE CLAD			
TRASH CAN ENCLOSURE			
EXISTING FIRE			

TALL TO REPLACE ROTTING RAILROAD TIE WALL

 $\mathbf{\mathbf{X}}$

NEW GRANITE RUBBLE RETAINING WALL 24"

CARRIAGE HOUSE AT

188 ELIZABETH ST NE

Earthwork Statement

DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIEL SHOULD BE REVIEWED THOROUGHLY.

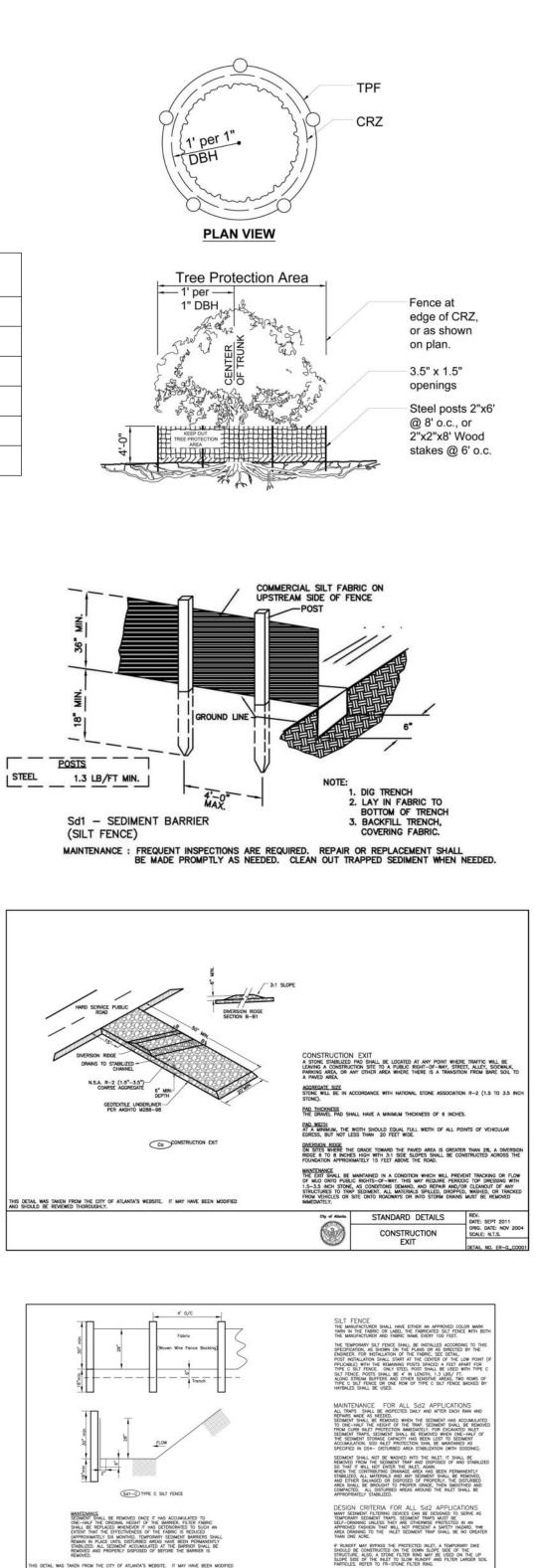
City of Materia STANDARD DETAILS MET: SEPT 2011 ORG, DATE: NOV 2004 SILT FENCE SOLE: N.T.S.

TYPE C SILT FENCE

No major earthwork is proposed for this project. Construction if for a second level addition that is constrained to the existing structure footprint.

Sediment Control Notes

Disturbed Area = square feet 0 cubic yards of dirt cut 0 cubic yards of dirt fill

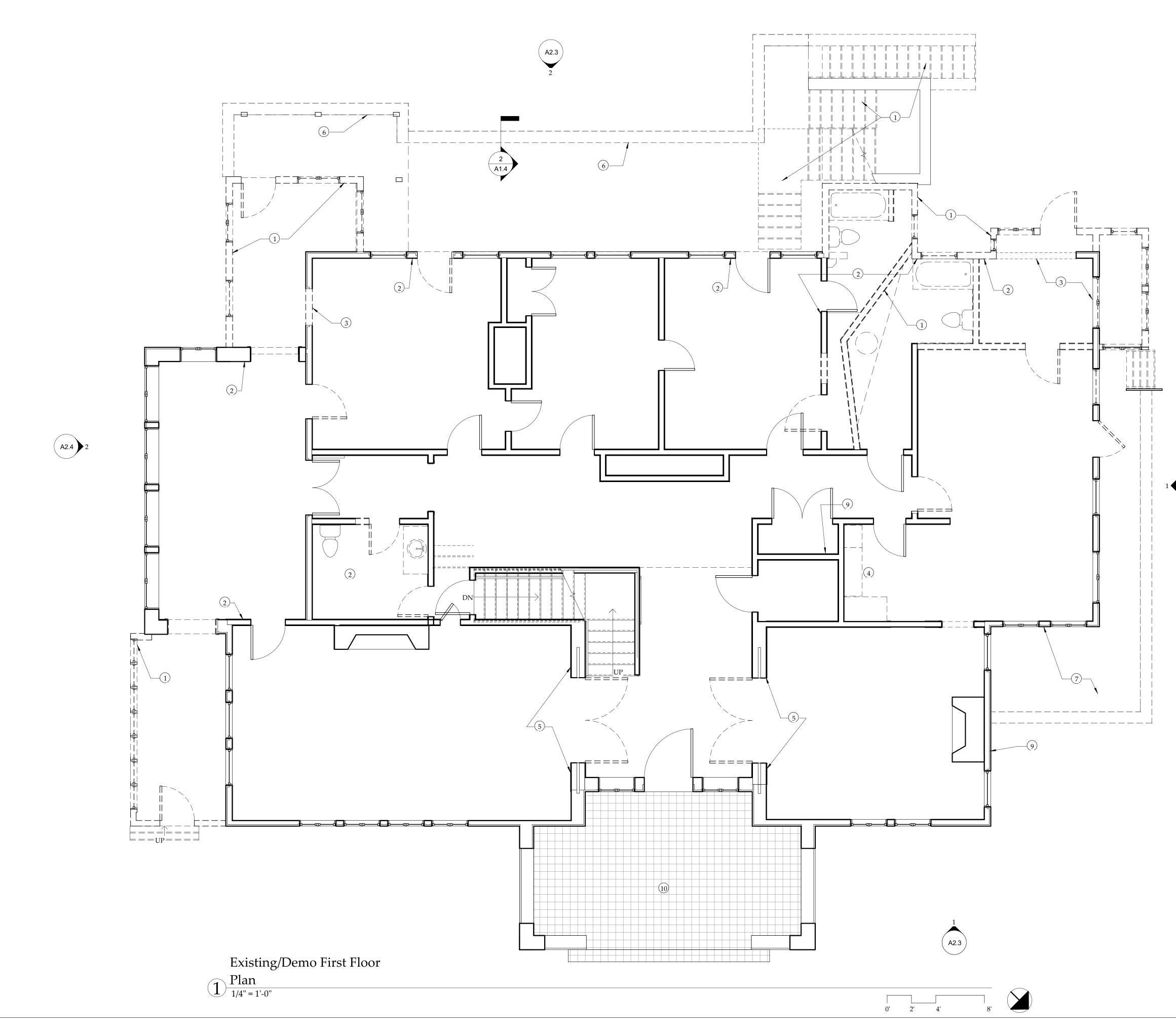


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EXISTING WALL TO REMAIN

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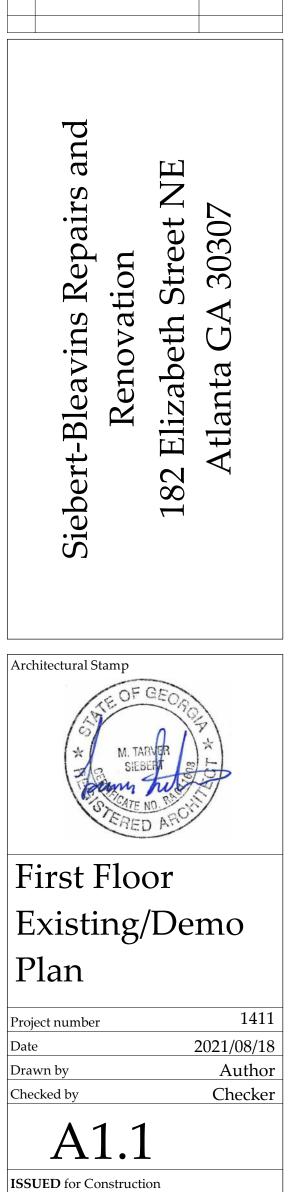
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	No.	Description	Date
DEMOLITION NOTES		AUDC	04/14/2021
(01) REMOVE ADDITION. TAKE CARE AT CORNERS TO PRESERVE THE ORIGINAL SHAKES			
(02) OPEN THE INTERIOR SIDE OF THE WALLS IN THIS AREA AND INSPECT WOOD FRAMING MEMBERS AND REPAIR DAMAGE			
(03) REMOVE LAYERS OF FINISH TO ORIGINAL EXISTING OPENINGS			
(04) REMOVE EXISTING DOORS TAKING CARE NOT TO DAMAGE THEM. PLACE THEM IN STORAGE FOR RE-USE			
(05) REMOVE TRIM AND PLASTER ONLY TO THE EXTENTS NECESSARY TO OBTAIN ACCESS TO THE POCKETS FOR THESE DOORS IN ORDER TO REPAIR THE SLIDING DOOR HARDWARE			
06 REPAIR RAILING			
(07) REMOVE DECK AND REPAIR SIDING WHERE THE DECK WAS ATTACHED		q	
(08) RE-ROUTE PLUMBING TO SIT INSIDE THE WALLS		an	
(09) REPAIR CHIMNEY		rs	Zĸ

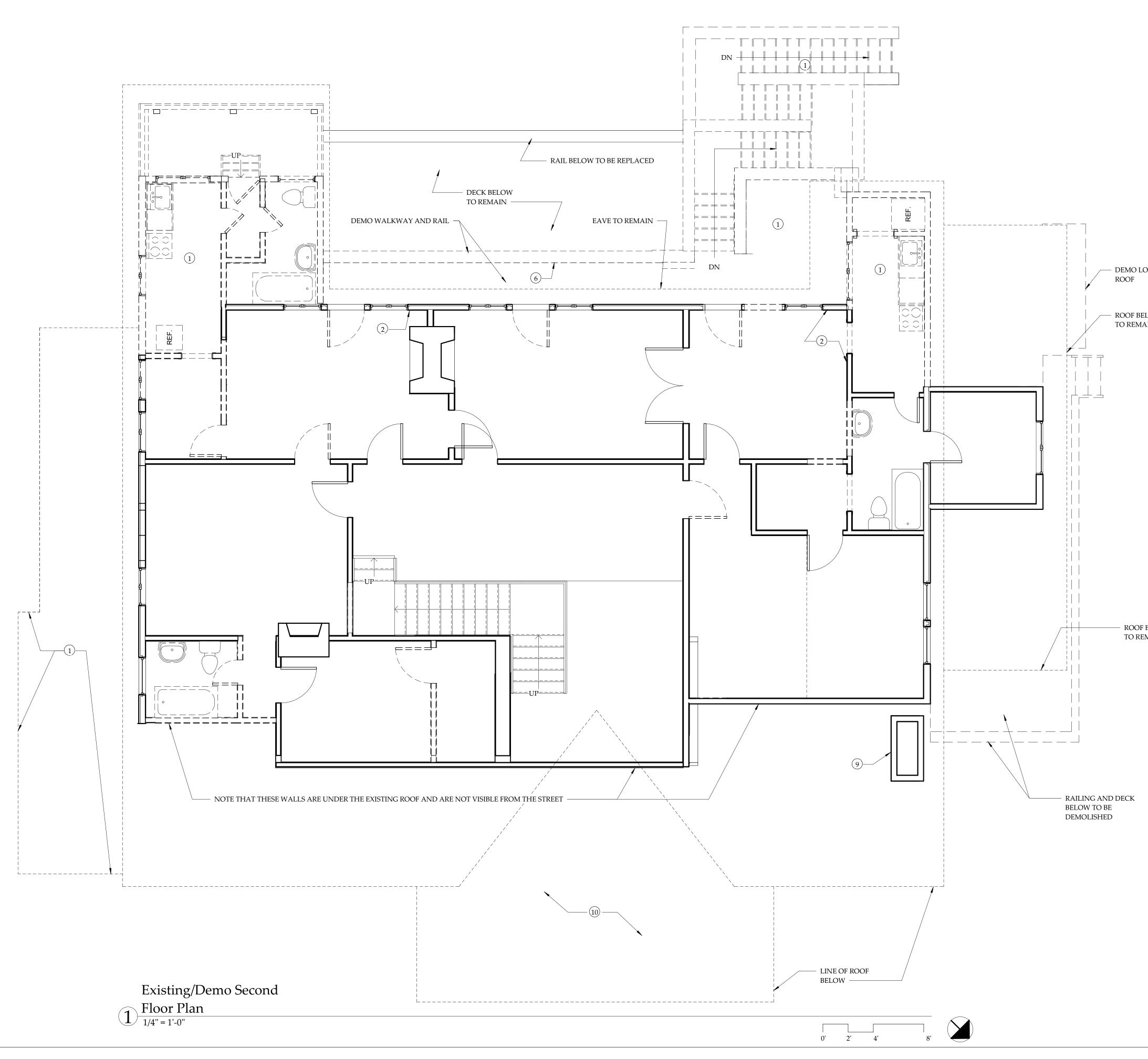
(10) REPAIR PORCH FRAMING AND SIDING TO ORIGINAL CONDITION. TAKE CARE IN DEMOLITION OF BEADED BOARD CEILING AND FRAMING MEMBERS FOR RE-USE ON SITE



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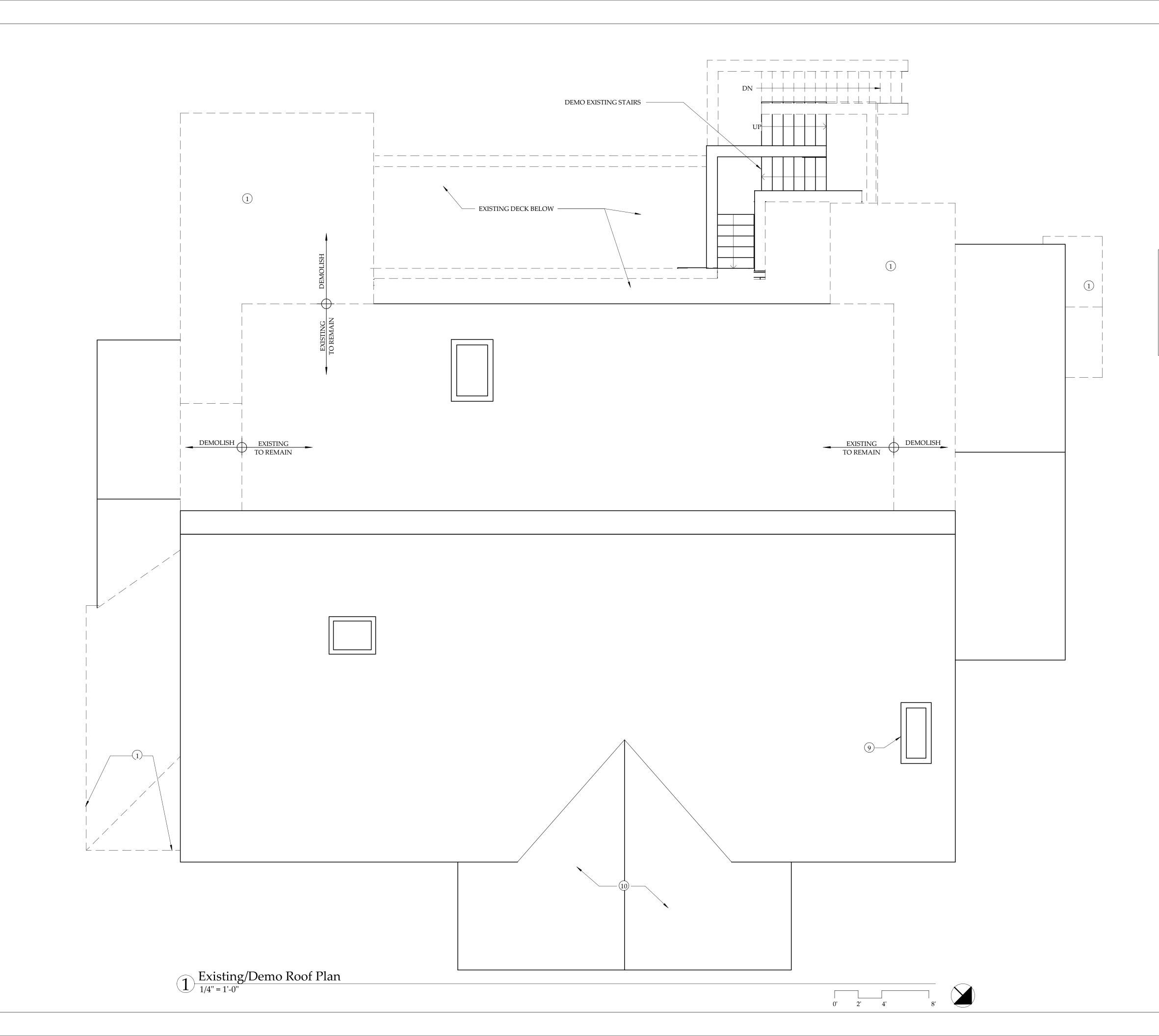
	Legend EXISTING WALL TO REMAIN DEMOLISHED	MT Studio Architecture 182 Elizabeth Street NE Atlanta GA 30307 404-274-5900 tarver@mts-architecture.com		
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LOW	DEMOLITION NOTES (01) REMOVE ADDITION. TAKE CARE AT CORNERS TO PRESERVE THE ORIGINAL SHAKES			
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IAIN	06) REPAIR RAILING			
	07 REMOVE DECK AND REPAIR SIDING WHERE THE DECK WAS ATTACHED			
	09 REPAIR CHIMNEY			
	10 REPAIR PORCH FRAMING AND SIDING TO ORIGINAL CONDITION. TAKE CARE IN DEMOLITION OF BEADED BOARD CEILING AND FRAMING MEMBERS FOR RE-USE ON SITE			

- ROOF BELOW TO REMAIN

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EXISTING WALL TO REMAIN

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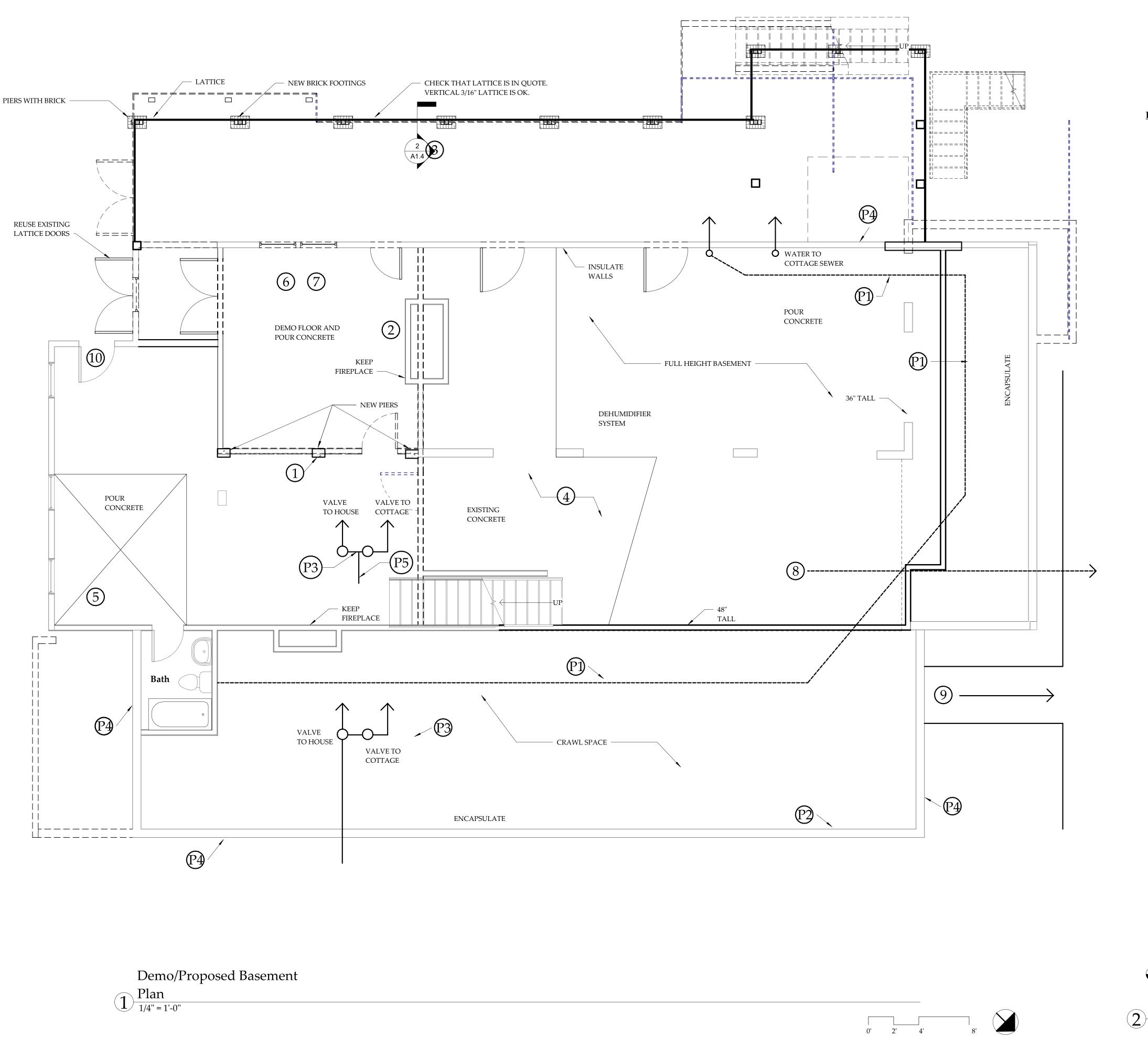
DEMOLITION NOTES

(01) REMOVE ADDITION. TAKE CARE AT CORNERS TO PRESERVE THE ORIGINAL SHAKES

09 REPAIR CHIMNEY

10 REPAIR PORCH FRAMING AND SIDING TO ORIGINAL CONDITION. TAKE CARE IN DEMOLITION OF BEADED BOARD CEILING AND FRAMING MEMBERS FOR RE-USE ON SITE

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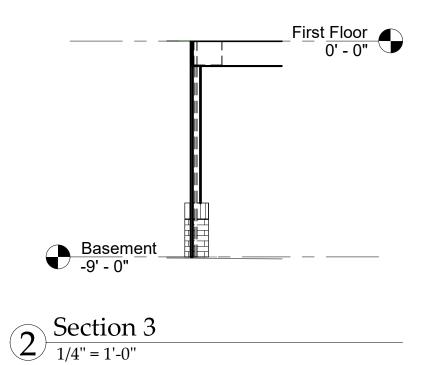
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EXISTING WALLS

NEW WALLS

<u>Basement Repair Key Notes</u>

- 1 Show piers at A, B, C.
- (2) Maintain the gas line at fire place.
- \bigcirc Clear corrugated plastic roofing sloped 1/4" per foot at underside of existing deck. See detail.
- (4) Show extents at existing concrete.
- 5 Demo concrete and pour new 4" slab 10 over vapor barrier.
- (6) Pour new 4" slab over vapor barrier.
- (7) Demo existing floor.
- 8 New interior basement drain & sump pump.
- 9 New 3'-0" deep x 3'-0" wide french drain.
- (10) Demo door. New window with security.
- (P1) Demo existing sewer line & re-route plumbing drain along this route.
- (P2) Permanently and securely cap plumbing drain.
- (P3) Add valve separating water to the cottage.
- P4 Hose bibb.
- (P5) Whole-house water filler separated by valves shut-off.



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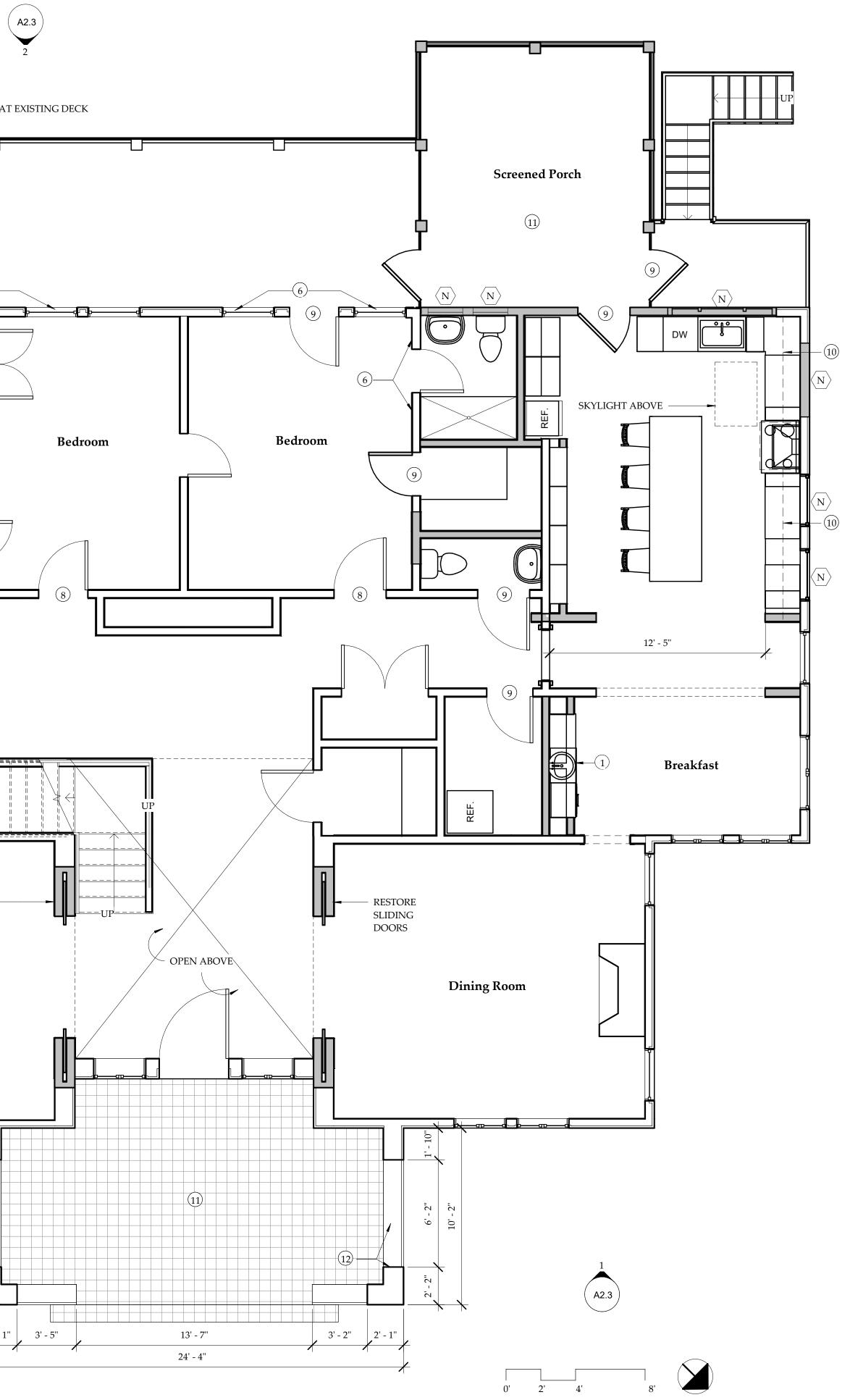
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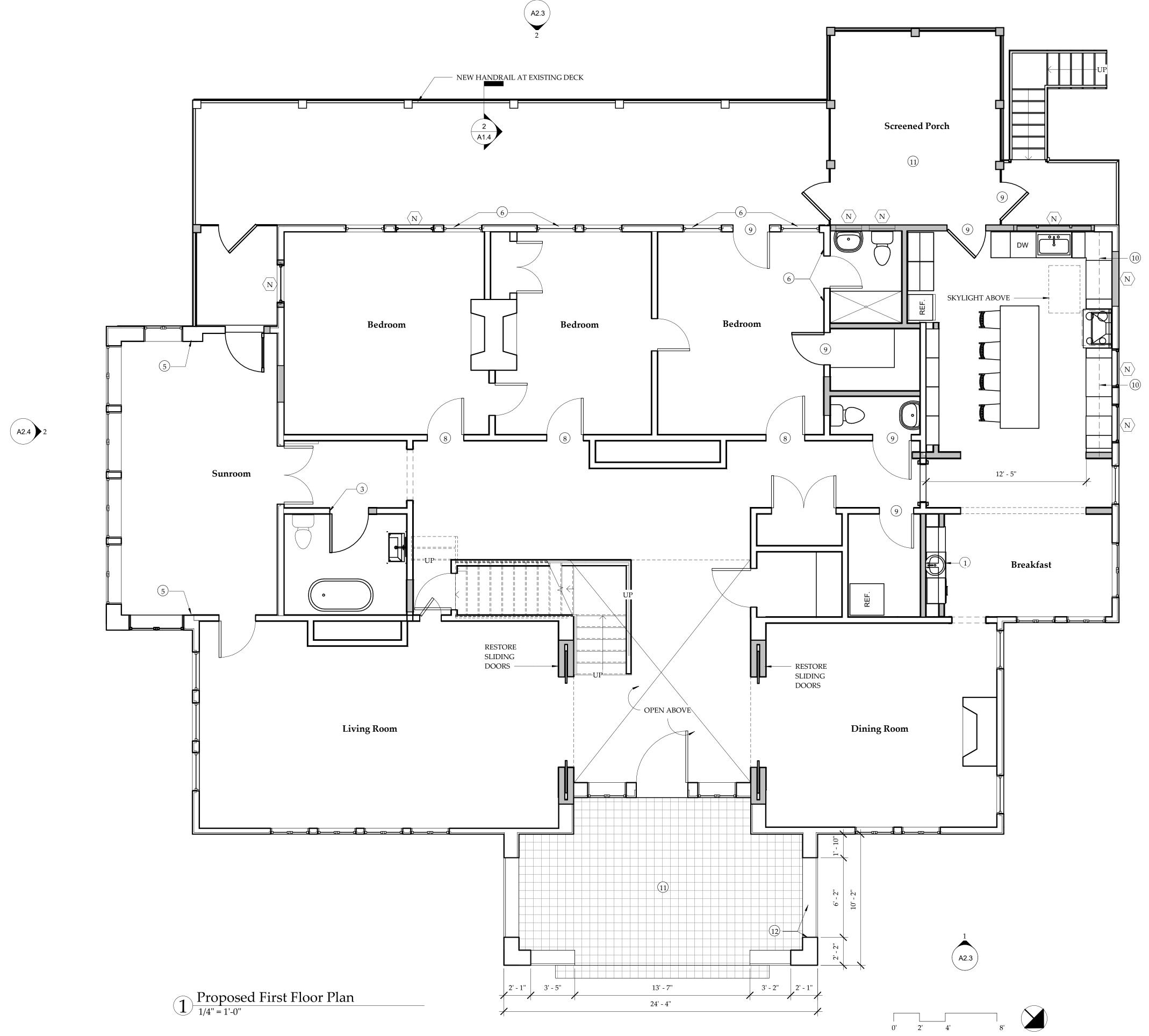
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1/4" = 1'-0"

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Legend EXISTING WALLS NEW WALLS	MT Studio Architecture 182 Elizabeth Street NE Atlanta GA 30307 404-274-5900 tarver@mts-architecture.com	
KITCHEN NOTES: NEW WHITE OAK FLOOR AT KITCHEN WITH WHITE OAK TRANSITION STRIPS TO THE EXISTING FLOOR PAINTED 1x6 BASEBOARD PAINTED 1x4 CEILING TRIM WINDOW NOTES: ALL WINDOWS ARE EXISTING EXCEPT WHERE	No. Description Date AUDC 04/14/2021 . .	
NOTED WITH AN N ALL NEW WINDOWS ARE IN EXISTING OPENINGS EXCEPT WHERE NOTED	Siebert-Bleavins Repairs and Renovation 182 Elizabeth Street NE Atlanta GA 30307	
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EXISTING WALLS

NEW WALLS

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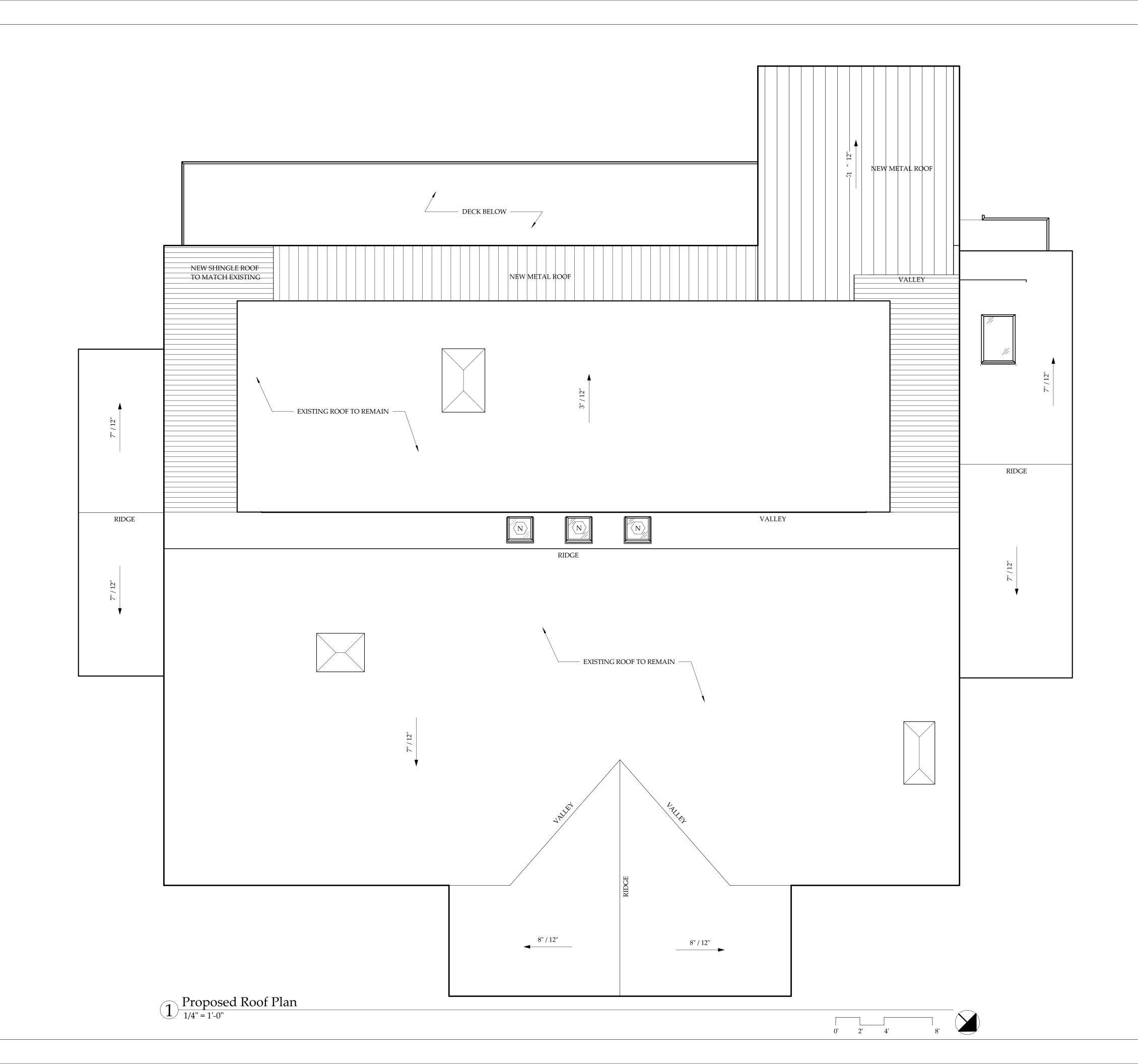
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EXISTING SHINGLE ROOF

NEW ASPHALT SHINGLE ROOF TO MATCH

NEW STANDING SEAM



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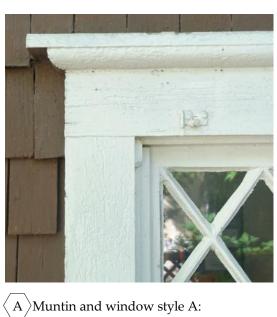
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probable original window location with modified or unmodified window



B Muntin and window style B: probable 1950s - 1970s window with simplified trim



 $\langle C \rangle$ Rectilinear muntin and trim style C







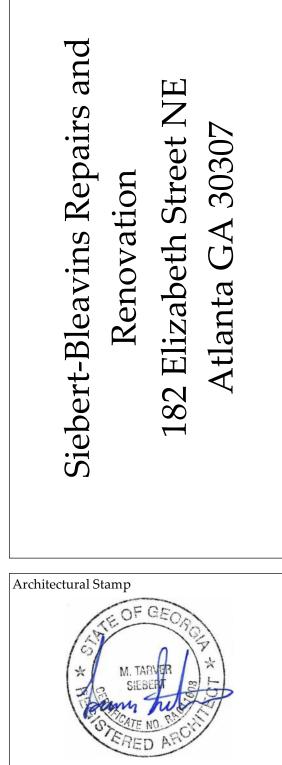
Z Door type: probable 1970s door - note the thick muntins, stiles & rails.

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No.	Description	Date
	AUDC	04/14/2021



Existing Elevations

Project number	1411
Date	2021/08/18
Drawn by	AM
Checked by	MTS



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 \bigcirc Split shakes, presumed to be "original" -Note irregularities and lack of saw cut pattern

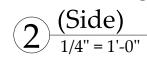


2 Cut shingles which appear to be much newer than the "original" shakes

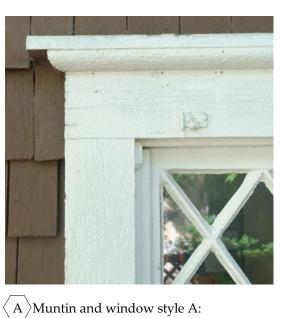


(3) T-III plywood cut and layered to resemble shingles - installed 1974-1994





0' 2' 4' 8'



A Muntin and window style A: probable original window location with modified or unmodified window



B Muntin and window style B: probable 1950s - 1970s window with simplified trim



 $\langle C \rangle$ Rectilinear muntin and trim style C



DMinimal trim



 $\left< \begin{array}{c} Z \end{array} \right>$ Door type: probable 1970s door - note the thick muntins, stiles & rails.

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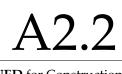
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Elevations 2

Project number	1411
Date	2021/08/18
Drawn by	AM
Checked by	MTS



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REPAIR CHIMNEY

REPAIR PORCH TO ITS STATE PRIOR TO TREE DAMAGE. NEW EAVE RAKES, SHINGLES, AND OTHER TRIM TO MATCH EXISTING MATERIALS, SIZE, AND COMPOSITION

FRAMERS: USE THE EXISTING CURVED EAVE TRIM AS A TEMPLATE FOR NEW TRIM

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No.	Description	Date
	AUDC	04/14/2021

Street NE

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Atlant

REPAIR ANY DAMAGED SHAKES. ENDEAVOR TO RETAIN EXISTING SHAKES NEW METAL ROOF

NEW SHINGLE ROOF TO MATCH EXISTING

WINDOW	NOTES

ALL WINDOWS EXISTING UNLESS NOTED OTHERWISE

- $\left< N \right>$ New window in existing opening
- $\langle M \rangle$ NEW WINDOW IN NEW OPENING

----- NEW BRASS SCREEN

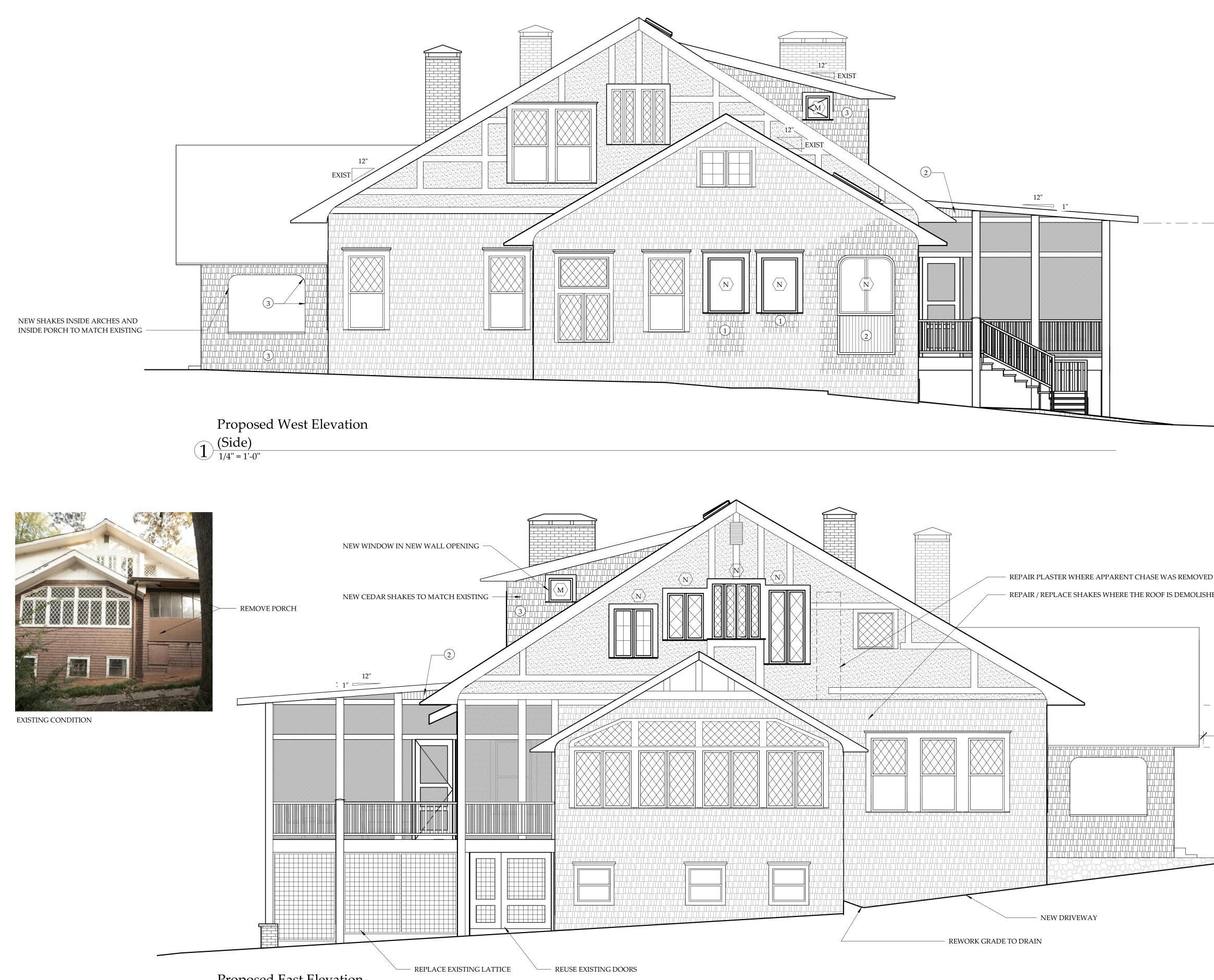
NEW SCREEN DOOR

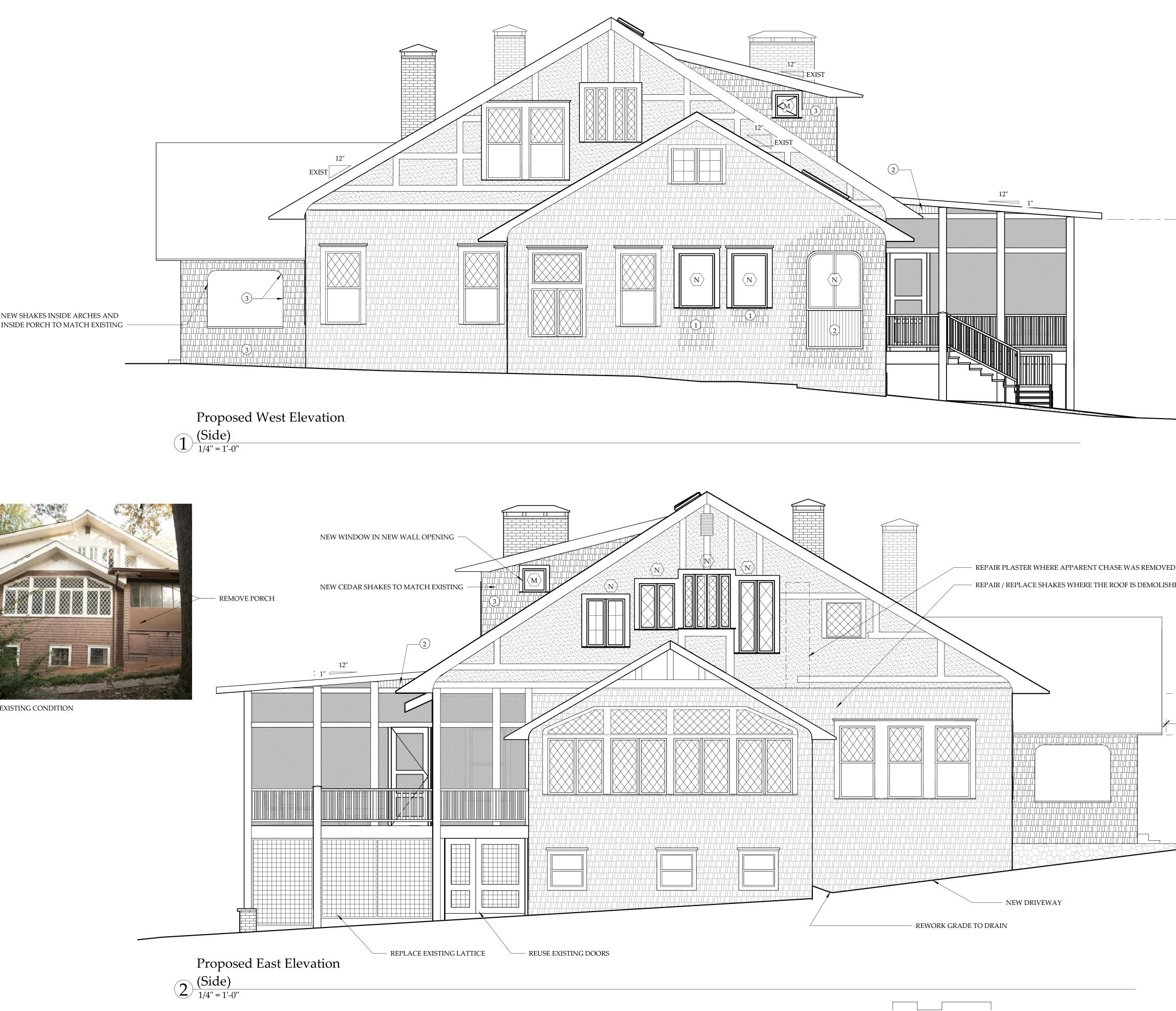
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Proposed	
Elevations	
Project number	141

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i ioject number	

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0'	2'	4'	8'

MT Studio	
Architecture	
182 Elizabeth Street NE	

182 Elizabeth Street NE Atlanta GA 30307 404-274-5900 tarver@mts-architecture.com

Description

No.

AUDC

Date

04/14/2021

ELEVATION NOTES

1 FILL AREAS OF NEW WINDOW WITH SHAKES TO MATCH EXISTING

(2) FILL AREA WITH VERTICAL BEAD-BOARD SALVAGED FROM THE PORCH CEILING

(3) NEW SHAKE SIDING TO MATCH EXISTING

CEILING HEIGHT & BEARING POINT 10' - 9"

) ED	<u>CEILING HEIGH</u> T 10' - 9"	& BEARING POINT_	Siebert-Bleavins Repairs and Renovation	Atlanta GA 30307
	3 1/4"	/	Architectural Stamp	
	FRONT PORCH EA 7' - 4 3/4"	GRANITE RUBBLE WALL	Proposed Elevations	ALCININA PROVIDENCE
		WINDOW NOTES		
		ALL WINDOWS EXISTING UNLESS NOTED OTHERWISE	Project number	1411
		$\langle N \rangle$ NEW WINDOW IN EXISTING OPENING	Date	2021/08/18
			Drawn by	Author
		$\langle M \rangle$ NEW WINDOW IN NEW OPENING	Checked by A2.4	Checker
			ISSUED for Construction	
			Original page size is 22x34.	
			Scale	1/4" = 1'-0"